

**LEGEND** - ITEMS THAT MAY APPEAR IN A DRAINAGE BELOW

- M.U.E. = MUNICIPAL UTILITY EASEMENT
- U.E. = UTILITY EASEMENT
- S.E. = SEWER EASEMENT
- B.E. = BRANCH EASEMENT
- S.S.E. = SANITARY SEWER EASEMENT
- S.W.S.E. = STORM SEWER EASEMENT
- W.L.E. = WATER LINE EASEMENT

- F.I.R. = FOUND IRON ROD
- F.I.P. = FOUND IRON PIPE
- S.I.R. = SET IRON ROD
- W.P. = WOODEN POST
- M.P. = METAL POST
- C.F.# = CLERK'S FILE NUMBER
- P.O.C. = POINT OF COMMENCEMENT
- P.O.B. = POINT OF BEGINNING
- B.L. = BUILDING LINE
- F.M. = FOUND
- S.F. = SET
- U.T.S. = UNABLE TO SET

- P.A.E. = PERMANENT ACCESS EASEMENT
- P.U.E. = PUBLIC UTILITY EASEMENT
- W.S.E. = WATER & SEWER EASEMENT
- E.E. = ELECTRIC EASEMENT
- P.C. = POINT OF CURVATURE
- P.T. = POINT OF TANGENCY
- P.R.C. = POINT OF REVERSE CURVATURE
- P.C.C. = POINT OF COMPOUND CURVATURE
- P.P. = POWER POLE
- S.F.M.F. = SEARCHED FOR, NOT FOUND
- U.T.S. = UNABLE TO SET

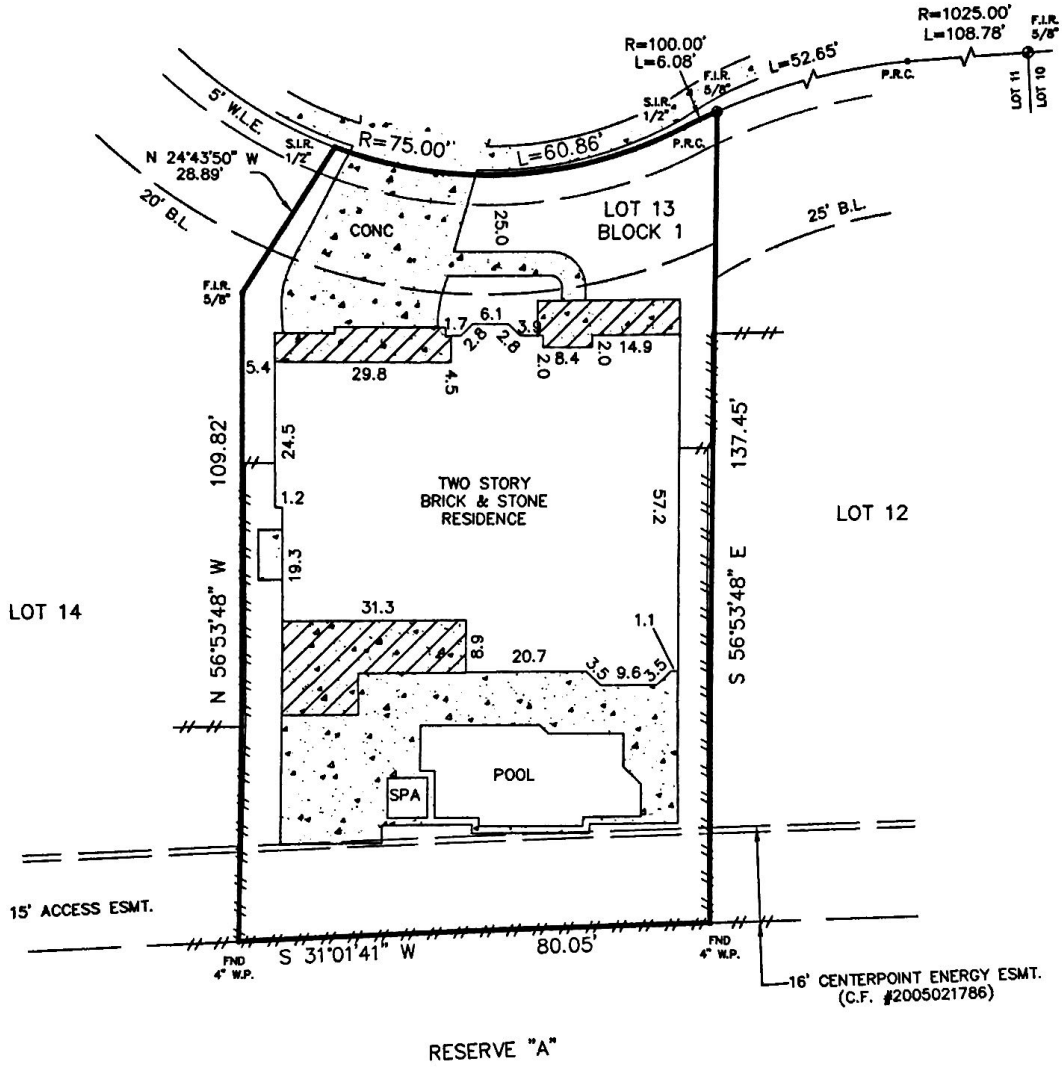
- ⊙ CONTROL MONUMENT
- PROPERTY LINE
- EASEMENT LINE
- - - BUILDING SETBACK LINE
- BUILDING WALL

- WOODEN FENCE
- CHAIN LINK FENCE
- ⊙ METAL FENCE
- WIRE FENCE
- VINYL FENCE

SCALE  
1"=25'



8835 STOWE CREEK LANE  
(R.O.W. VARIES)



Reviewed & Accepted by: \_\_\_\_\_ Date \_\_\_\_\_ / \_\_\_\_\_ / \_\_\_\_\_ Date \_\_\_\_\_

**NOTES:**  
 BEARING BASIS: PLAT  
 - SUBJECT TO ANY AND ALL RECORDED AND UNRECORDED EASEMENTS  
 - SURVEYOR HAS NOT INDEPENDENTLY ABSTRACTED PROPERTY  
 - UNDERGROUND UTILITY INSTALLATIONS, UNDERGROUND IMPROVEMENTS, FOUNDATIONS AND/OR OTHER UNDERGROUND STRUCTURES WERE NOT LOCATED BY THIS SURVEY  
 - THIS SURVEY IS CERTIFIED FOR THIS TRANSACTION ONLY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS  
 - SUBJECT TO RESTRICTIVE COVENANTS AS PER TITLE COMMITMENT  
 - SUBJECT TO ZONING AND BUILDING ORDINANCES ENFORCED BY LOCAL MUNICIPALITIES  
 - UNDERGROUND ELECTRICAL SERVICE AGREEMENT WITH H.L.&P., C.F. #2007032812, O.P.R.F.B.C.

**LEGAL DESCRIPTION**  
 LOT 13, IN BLOCK 1, OF SIENNA VILLAGE OF WATERS LAKE SECTION NINETEEN, A SUBDIVISION IN FORT BEND COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED UNDER CLERK'S SLIDE NO. 20060204 OF THE PLAT RECORDS OF FORT BEND COUNTY, TEXAS.

MELISSA HAYSLIP  
 MATT HAYSLIP  
 ADDRESS  
 8835 STOWE CREEK LANE



JOB # 1508094  
 DATE 8-10-15  
 GF# 72-16378

**PRO-SURV**  
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 T.B.P.L.S. FIRM #10119300

I DO HEREBY CERTIFY THAT THIS SURVEY WAS THIS DAY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON (OR ON ATTACHED SHEET), AND THERE ARE NO ENCROACHMENTS EXCEPT AS SHOWN, AND WAS DONE BY ME OR UNDER MY SUPERVISION, AND CONFORMS TO OR EXCEEDS THE CURRENT STANDARDS AS ADOPTED BY THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING.

ONLY SURVEY MAPS WITH THE SURVEYOR'S ORIGINAL SIGNATURE ARE GENUINE TRUE AND CORRECT COPIES OF THE SURVEYOR'S ORIGINAL WORK AND OPINION  
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