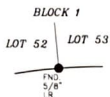
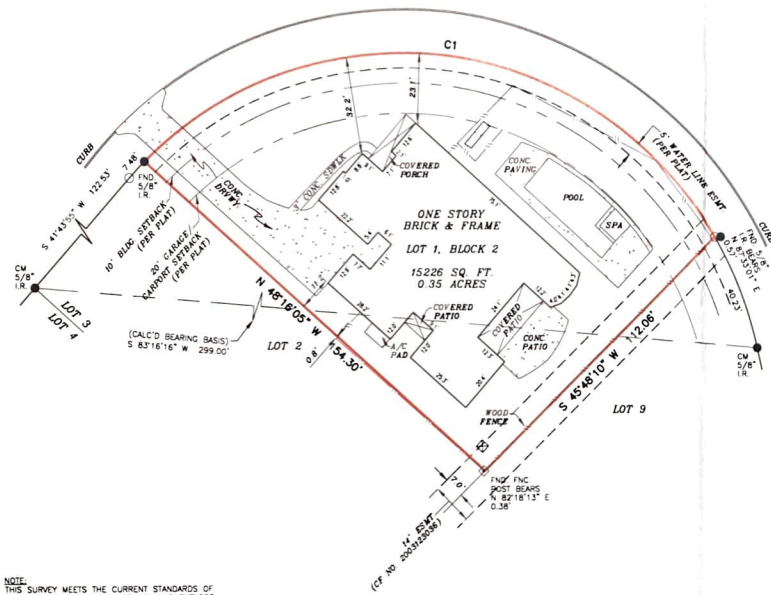


CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	125.00'	226.93'	197.03'	S 82°49'51" E	104°01'01"

TransAct
TITLE



N. CONCORD VALLEY CIRCLE
(50' R.O.W.)

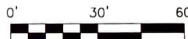


LEGEND

These standard symbols will be found in the drawing.

- BOUNDARY LINE
- EASEMENT LINE
- BUILDING SETBACK LINE
- WOOD FENCE
- PROPERTY CORNER
- FOUND IRON ROD
- FENCE POST
- TELEPHONE PEDESTAL
- CONTROL MONUMENT

GRAPHIC SCALE



NOTE:
THIS SURVEY MEETS THE CURRENT STANDARDS OF THE TEXAS SOCIETY OF PROFESSIONAL SURVEYORS STANDARDS AND SPECIFICATION FOR A CATEGORY 1A CONDUIT SURVEY.

THIS SURVEY IS BASED ON A TITLE COMMITMENT REPORT ISSUED BY WESTCO LAND TITLE INSURANCE COMPANY OF NO. 12003097 ISSUED ON 02/10/2020.

THE EASEMENT AS RECORDED IN CLERK'S FILE NO. VOLUME 970, PAGE 76, VOLUME 324, PAGE 129, VOLUME 324, PAGE 135, DEED RECORDS, MONTGOMERY COUNTY, TEXAS, DOES NOT APPEAR TO AFFECT THE SUBJECT PROPERTY.

FLOOD INFORMATION
FIRM 48339C PANEL D515 G
REV. DATE 08/18/2014
ZONE "A"

FLOOD INFORMATION PROVIDED HEREON IS BASED ON SCALING THE LOCATION OF THE SUBJECT TRACT ON THE FLOOD INSURANCE RATE MAPS. THE INFORMATION SHOULD BE USED TO DETERMINE FLOOD INSURANCE RATES ONLY AND IS NOT INTENDED TO IDENTIFY SPECIFIC FLOODING CONDITIONS. WE ARE NOT RESPONSIBLE FOR THE F.I.R.M.'S ACCURACY.

I, **DONALD MATT COOKSTON**, a Registered Professional Land Surveyor in the State of Texas, do hereby certify to:

TRANSCACT TITLE

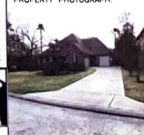
that the above map is true and correct according to an actual field survey, made by me or under my supervision, of the property shown hereon or described by field notes accompanying this drawing. I further certify that all easements and rights-of-way of which I have been advised are shown hereon and that, except as shown, there are no apparent visible encroachments, no apparent visible overlapping of improvements and no apparent discrepancies or conflicts in the boundary lines, as of the date of the field survey.
Surveyor: **PETER PIETRA AND CHARLOTTE CAROC**

Address: **128 N. CONCORD VALLEY CIR., SPRING, TX 77382** Cf. No. **12003097**

LEGAL DESCRIPTION OF THE LAND:
LOT 1, IN BLOCK 2, OF THE WOODLANDS VILLAGE OF STERLING RIDGE, SEC. 25, A SUBDIVISION IN MONTGOMERY COUNTY, TEXAS ACCORDING TO THE MAP OR PLAT THEREOF, RECORDED IN CABINET U, SHEET 22 OF THE MAP RECORDS OF MONTGOMERY COUNTY, TEXAS.

SUBJECT TO RESTRICTIVE COVENANTS AND/OR EASEMENTS RECORDED IN CABINET U, SHEET 22, MAP RECORDS, MONTGOMERY COUNTY, TEXAS CLERK'S FILE NO. 9348561; MONTGOMERY COUNTY, TEXAS CLERK'S FILE NO. 2003123036; MONTGOMERY COUNTY, TEXAS CLERK'S FILE NO. 2003133737; MONTGOMERY COUNTY, TEXAS CLERK'S FILE NO. 2003133738; MONTGOMERY COUNTY, TEXAS CLERK'S FILE NO. 2005018115; MONTGOMERY COUNTY, TEXAS

PROPERTY PHOTOGRAPH:



Overland Consortium Inc.
Surveyors

Tel: 281 940 8869 Fax: 281 207 6476

1528 W. CONTOUR DR., SUITE 204, SAN ANTONIO, TX 78212

LAND TITLE SURVEY

JOB NO.	202018998	NO.	REVISION	DATE
DATE	02/13/20			
DRAWN BY:	AK/SW			
APPROVED BY:	DMC			



FIRM REGISTRATION NO. 10190700

DONALD MATT COOKSTON, R.P.L.S.
Registered Professional Land Surveyor
Registration No. **4733**

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