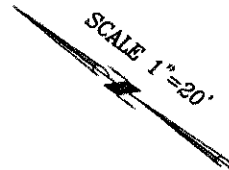
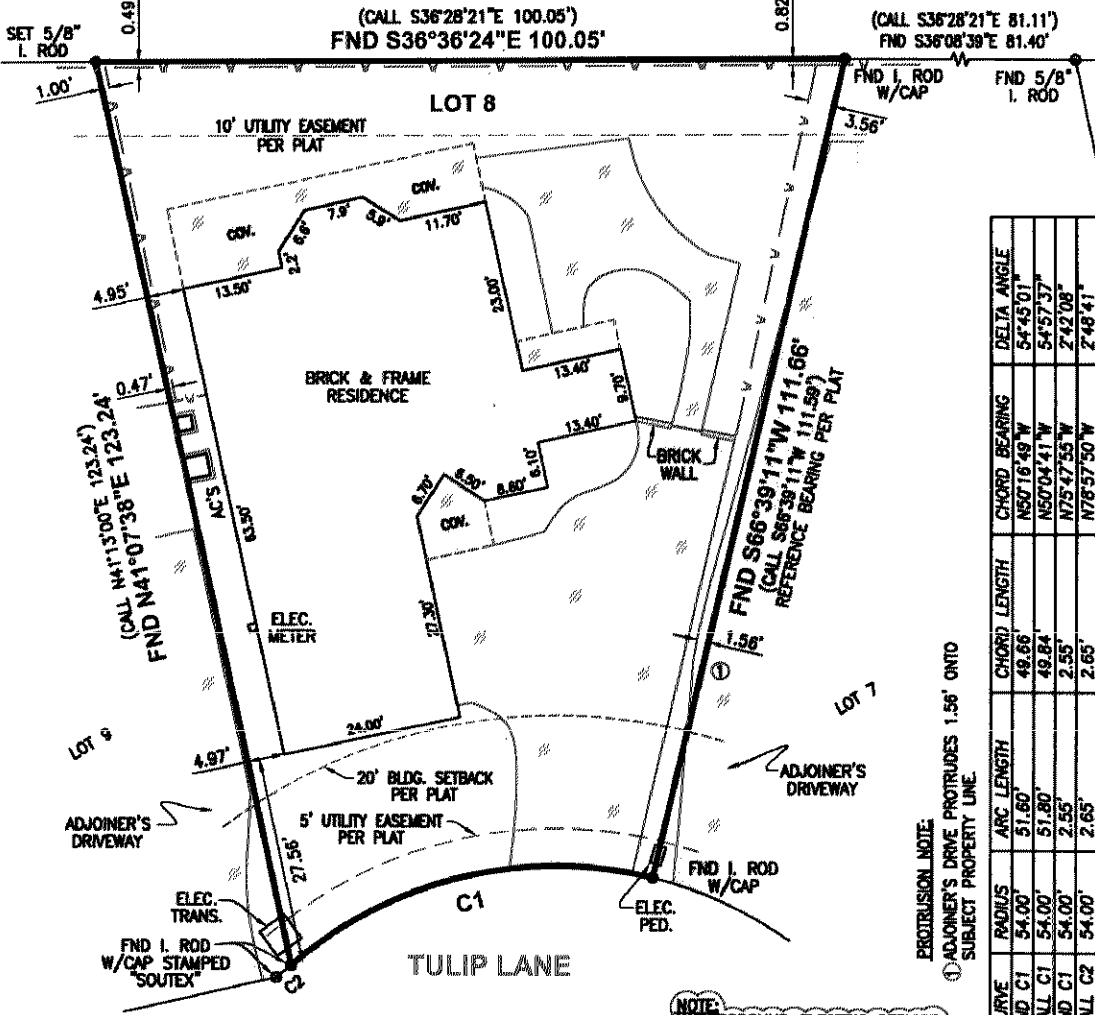


NOTE:

1. NOTHING IN THIS SURVEY IS INTENDED TO EXPRESS AN OPINION REGARDING OWNERSHIP OR TITLE.
2. THE WORD CERTIFY IS UNDERSTOOD TO BE AN EXPRESSION OF PROFESSIONAL JUDGMENT BY THE SURVEYOR, WHICH IS BASED ON HIS BEST KNOWLEDGE, INFORMATION AND BELIEF, FORMED IN THE COURSE OF HIS PERFORMING THE SURVEY IN COMPLIANCE WITH THE STANDARDS OF PRACTICE REQUIRED AND PROMULGATED BY THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYORS AND THE TEXAS SOCIETY OF PROFESSIONAL SURVEYORS. AS SUCH, IT CONSTITUTES NEITHER A GUARANTEE NOR A WARRANTY, EXPRESSED OR IMPLIED.
3. ALL SET 5/8" IRON RODS SET WITH CAPS STAMPED "M.W. WHITELEY & ASSOCIATES".
4. SUBJECT TRACT'S AIR CONDITIONING UNITS ARE ON PROPERTY LINE.



JEFFERSON COUNTY DRAINAGE DISTRICT SEVEN MAIN "C" CANAL
VOLUME 1038, PAGE 355, DRJC
PER PLAT



CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
FND C1	54.00'	51.60'	48.66'	N50°16'49" W	54°45'01"
CALL C1	54.00'	51.80'	49.84'	N50°04'41" W	54°57'37"
FND C2	54.00'	2.55'	2.55'	N75°47'55" W	2°42'08"
CALL C2	54.00'	2.65'	2.65'	N78°57'50" W	2°48'41"

PROTRUSION NOTE:
① ADJOINER'S DRIVE PROTRUDES 1.56' ONTO SUBJECT PROPERTY LINE.

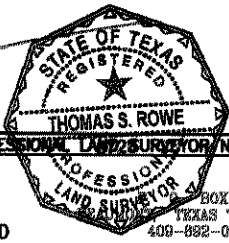
NOTE:
UNDERGROUND ELECTRIC SERVICE
EXACT LOCATION OF UNDERGROUND
ELECTRIC UNKNOWN.

SURVEYOR'S CERTIFICATION:

TO THE LEHOLDERS AND/OR THE OWNERS OF THE PREMISES SURVEYED AND TO STEWART TITLE GUARANTY COMPANY:
THE UNDERSIGNED DOES HEREBY CERTIFY THAT THIS SURVEY WAS THIS DAY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON AND IS CORRECT, AND THAT THERE ARE NO DISCREPANCIES, CONFLICTS, SHORTAGES IN AREA, BOUNDARY LINE CONFLICTS, ENCROACHMENTS, OVERLAPPING OF IMPROVEMENTS, EASEMENTS OR RIGHT-OF-WAYS, ON THE SURFACE OF THE GROUND EXCEPT AS SHOWN HEREON AND THAT SAID PROPERTY HAS ACCESS TO AND FROM A DEDICATED ROADWAY. ALL RECORDED EASEMENTS SHOWN AND NOTED PER STEWART TITLE GUARANTY COMPANY G.F. No. 15245030865

DATE SURVEYED: NOVEMBER 6, 2015

[Signature]
THOMAS S. ROWE - REGISTERED PROFESSIONAL LAND SURVEYOR No. 5728



MARK W. WHITELEY AND ASSOCIATES INCORPORATED
CONSULTING ENGINEERS, SURVEYORS, AND PLANNERS
T.B.P.L.S. FIRM NO. 10108700 ©

BOX 5482
TEXAS 77726-5482
409-892-0421
3250 EASTEX FRWY.
BEAUMONT, TEXAS 77703
(FAX) 409-892-1346

406 TULIP LANE
NEDERLAND, TEXAS 77627
Lot Number Eight (8), of HOLLAND HOMES, an addition in Jefferson County, Texas, according to the map or plat thereof recorded in Volume 16, Page 364 of the Map Records of Jefferson County, Texas.
Owner: Phuc Duc Tong
Census: 111.01
In accordance with the Flood Hazard Boundary Map, Department of Housing and Urban Development.
Community No.: 485492
Panel No.: 0305 D
Date of FIRM: 6-3-91
This property lies in Zone "C".
Location on map determined by scale on map. Actual field elevation not determined. Mark W. Whiteley and Associates does not warrant nor subscribe to the accuracy or scale of sold maps.
Zone "C" does not lie in the 100-year flood plain.

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FILE NO. 15-1301

**T-47 RESIDENTIAL REAL PROPERTY AFFIDAVIT
(MAY BE MODIFIED AS APPROPRIATE FOR COMMERCIAL TRANSACTIONS)**

Date: January 20, 2021

GF No. _____

Name of Affiant(s): Phuc Duc Tong,

Address of Affiant: 406 Tulip Ln, Nederland, TX 77627

Description of Property: LOT 8 HOLLAND HOMES

County Jefferson, Texas

"Title Company" as used herein is the Title Insurance Company whose policy of title insurance is issued in reliance upon the statements contained herein.

Before me, the undersigned notary for the State of TEXAS, personally appeared Affiant(s) who after by me being sworn, stated:

1. We are the owners of the Property. (Or state other basis for knowledge by Affiant(s) of the Property, such as lease, management, neighbor, etc. For example, "Affiant is the manager of the Property for the record title owners."):

2. We are familiar with the property and the improvements located on the Property.

3. We are closing a transaction requiring title insurance and the proposed insured owner or lender has requested area and boundary coverage in the title insurance policy(ies) to be issued in this transaction. We understand that the Title Company may make exceptions to the coverage of the title insurance as Title Company may deem appropriate. We understand that the owner of the property, if the current transaction is a sale, may request a similar amendment to the area and boundary coverage in the Owner's Policy of Title Insurance upon payment of the promulgated premium.

4. To the best of our actual knowledge and belief, since November 6, 2015 there have been no:

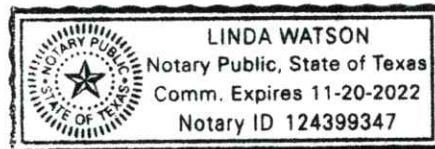
- a. construction projects such as new structures, additional buildings, rooms, garages, swimming pools or other permanent improvements or fixtures;
- b. changes in the location of boundary fences or boundary walls;
- c. construction projects on immediately adjoining property(ies) which encroach on the Property;
- d. conveyances, replattings, easement grants and/or easement dedications (such as a utility line) by any party affecting the Property.

EXCEPT for the following (If None, Insert "None" Below:) Added 2-car shop

5. We understand that Title Company is relying on the truthfulness of the statements made in this affidavit to provide the area and boundary coverage and upon the evidence of the existing real property survey of the Property. This Affidavit is not made for the benefit of any other parties and this Affidavit does not constitute a warranty or guarantee of the location of improvements.

6. We understand that we have no liability to Title Company that will issue the policy(ies) should the information in this Affidavit be incorrect other than information that we personally know to be incorrect and which we do not disclose to the Title Company.

Phuc Duc Tong
Phuc Duc Tong



SWORN AND SUBSCRIBED this 21 day of January, 2021
Linda Watson
Notary Public