

REVISIONS	

SUPPLIED TO:

- 1.) FRAMER
- 2.) CONCRETE LABOR
- 3.) CORNICHE LABOR

21043 COTTONWOOD COVE

ISSUE DATE
6-13-2020

DRAFTSMAN
RST

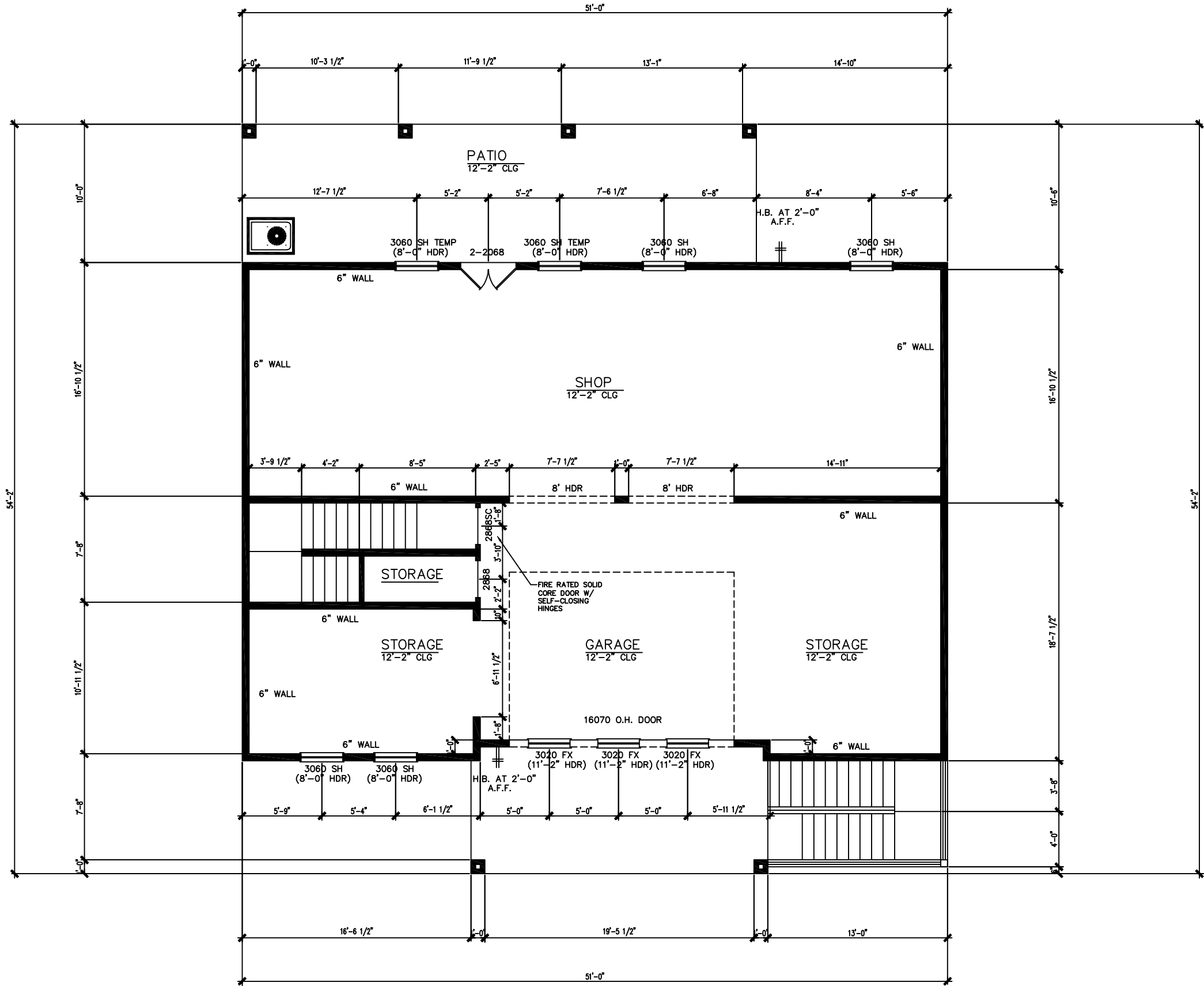
PLAN NAME
COTTONWOOD

PLAN NUMBER
2020

SQUARE FOOTAGES	
	FRAME
Total Living Area	2064

FRAMING/
CONCRETE
1

SHEET 1-1



SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

REVISIONS	

SUPPLIED TO:
1.) FRAMER
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3.) CORNICE LABOR

21043 COTTONWOOD COVE

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FRAMING/
CONCRETE
2
SHEET 2-1

CITY OF HOUSTON CODE REQUIREMENTS

ALL WORK TO COMPLY WITH ALL APPLICABLE CITY OF HOUSTON CURRENT ADOPTED CODES, CURRENT CODE AMENDMENTS, AND CODE INTERPRETATIONS AS DEFINED BY CITY OF HOUSTON CODE DEVELOPMENT.

THE FOLLOWING NOTES HAVE BEEN IDENTIFIED AS NECESSARY, BUT ARE NOT A COMPLETE LIST OF CODE REQUIREMENTS FOR THE CITY OF HOUSTON.

GARAGE:

- R309.1 Opening protection. Openings from a private garage directly into a room used for sleeping purposes shall not be permitted. Other openings between the garage and residence shall be equipped with solid wood doors not less than 1 3/8 inches (35 mm) in thickness, solid or honeycomb core steel doors not less than 1 3/8 inches (35 mm) thick, or 20-minute fire-rated doors all of which shall be self-closing.
- R309.2 Separation required. The garage shall be separated from the residence and its attic area by not less than 1/2-inch (12.7 mm) gypsum board applied to the garage side. Garages beneath habitable rooms shall be separated from all habitable rooms above by not less than 5/8-inch (15.9 mm) Type X gypsum board or equivalent. Where the separation is a floor-ceiling assembly, the structure supporting the separation shall also be protected by not less than 1/2-inch (12.7 mm) gypsum board or equivalent. Garages located less than 3 feet (914 mm) from a dwelling unit on the same lot shall be protected with not less than 1/2-inch (12.7mm) gypsum board applied to the interior side of exterior walls that are within this area. Openings in these walls shall be regulated by Section R309.1. This provision does not apply to garage walls that are perpendicular to the adjacent dwelling unit wall. Attic disappearing stairs may be installed in the garage ceiling provided the exposed panel is not less than 3/8-inch thick fire retardant-treated plywood or covered with a minimum of 16 gage sheet metal.

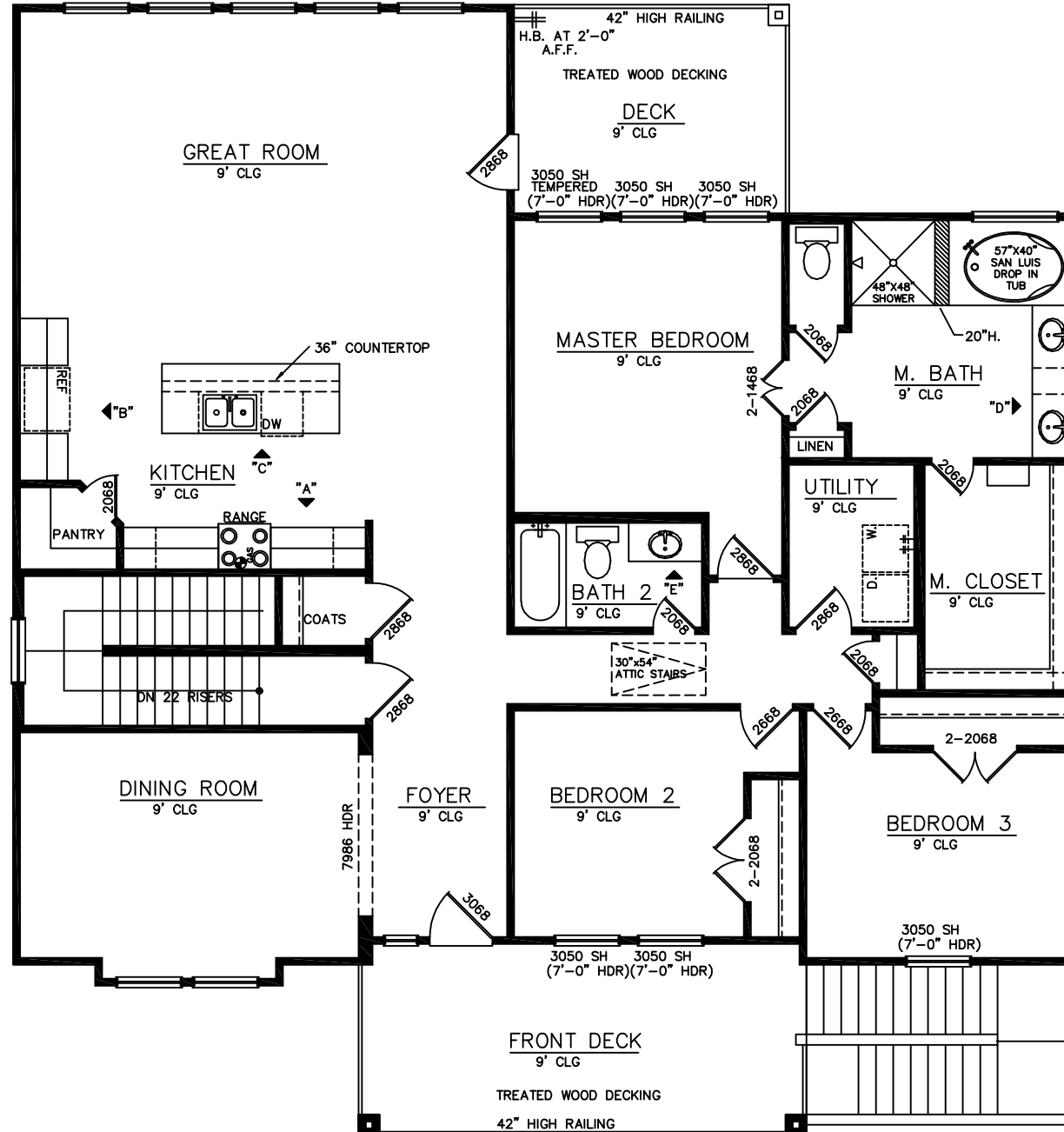
ATTIC ACCESS:

- Code Word 97-107. Attic (Garage Disappearing Stairs). Disappearing stairs may be used in fire-protected garage ceilings in residential garages provided the exposed panel of plywood on the garage side is not less than 3/8 inch fire retardant plywood or covered with a minimum 16 gage sheet metal.
- M1305.1.3 2006 IRC Amendments - Appliances in attics. Attics containing appliances requiring access shall be provided with a pull down stairway with a clear opening not less than 22 inches in width and a load capacity of not less than 350 pounds.

HANDRAILS & GUARDRAILS:

- Table R301.5 and Footnote d 2006 IRC. Handrails & Guardrails (Design Loads). Handrails and guards shall be designed for a minimum 200 lb live load and a single concentrated load applied in any direction at any point along the top.

ALL WORK SHALL ALSO COMPLY WITH ALL OTHER APPLICABLE CITY OF HOUSTON REQUIREMENTS.



FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

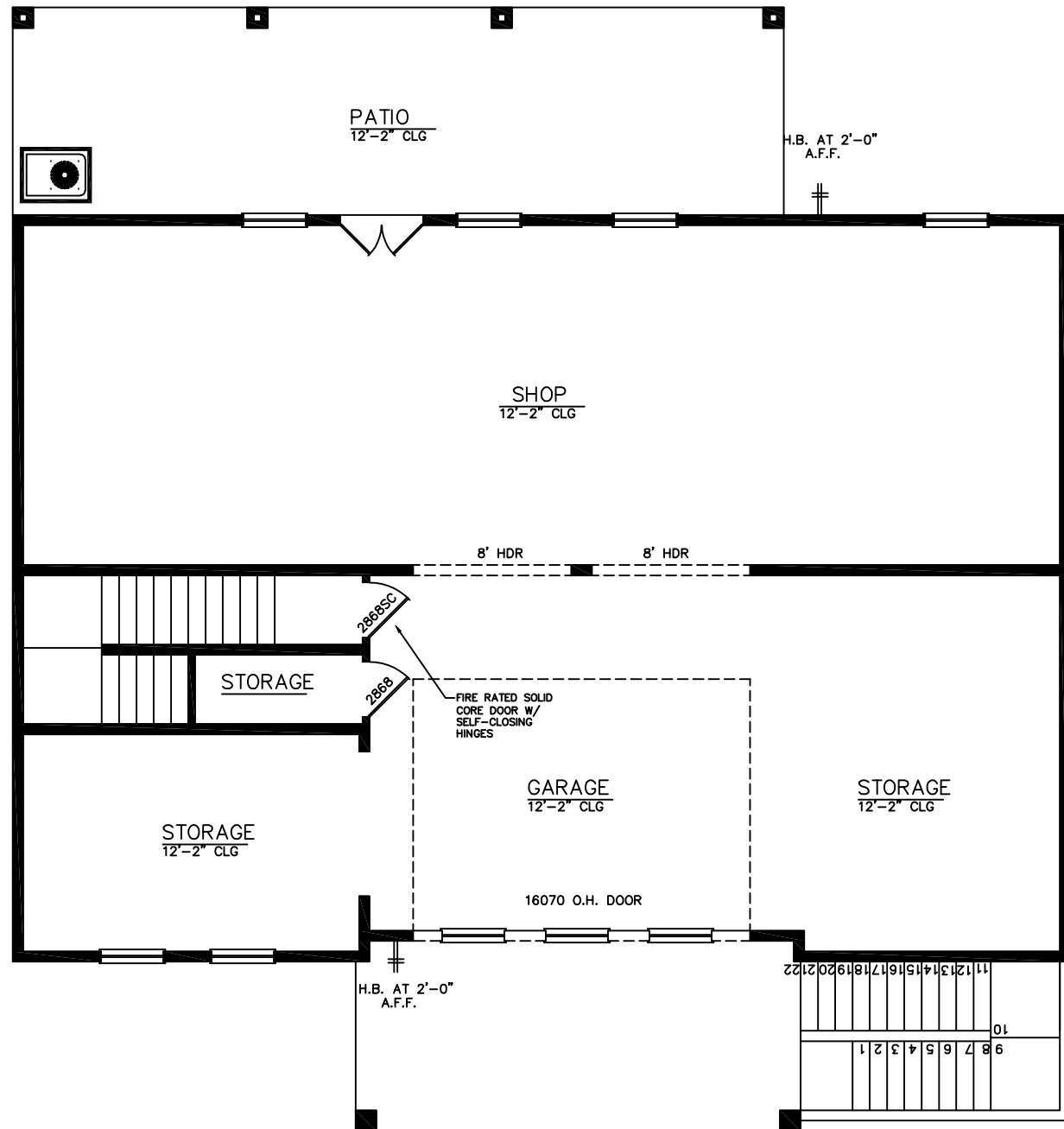
REVISIONS	

SUPPLIED TO:

1.) FRAMER	4.) STAIR LABOR	7.) C-TILE LABOR
2.) CORNICE LABOR	5.) TRIM LABOR	8.) CABINET LABOR
3.) SHEETROCKER	6.) CARPET LABOR	9.) PLUMBER

21043 COTTONWOOD COVE

ISSUE DATE	6-13-2020
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PLAN NAME	COTTONWOOD
PLAN NUMBER	2020
TRIM/ FINISH-OUT	1



REVISIONS	

- SUPPLIED TO:
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21043 COTTONWOOD COVE

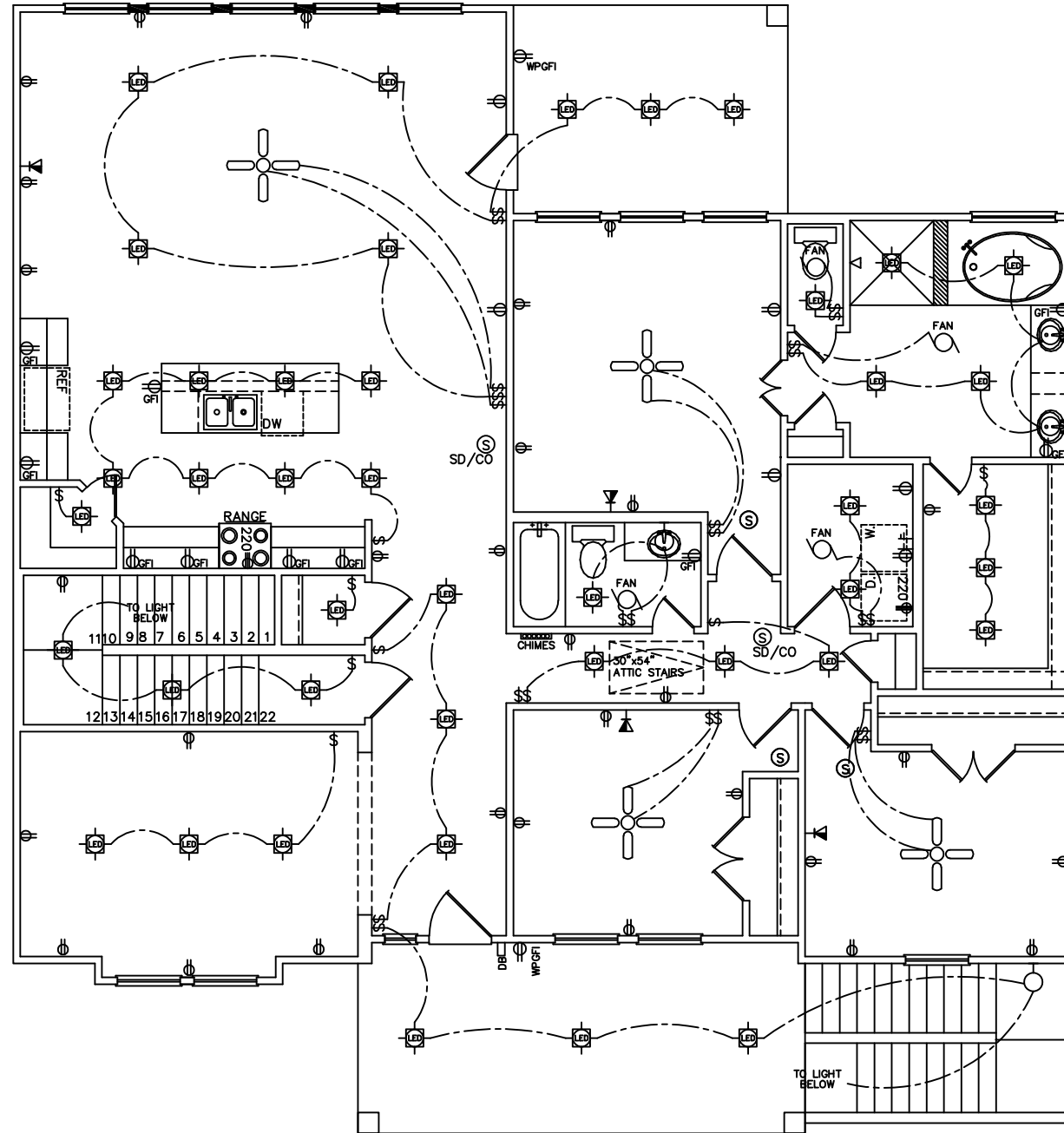
ISSUE DATE	6-13-2020
DRAFTSMAN	RST
PLAN NAME	COTTONWOOD
PLAN NUMBER	2020
TRIM/ FINISH-OUT 2	
SHEET 2-2	

GENERAL ELECTRICAL NOTES:

1. BREAKER BOX TO BE LOCATED PER PLAN.
2. ALL PLUGS AND SMOKE DETECTORS PER IRC CODES AND WHERE LOCATED ON PLAN. ALL SMOKE DETECTORS SHOULD BE IN AN AREA ACCESSIBLE BY 16' EXTENSION LADDER OR 6' STEP LADDER. SMOKE DETECTORS MUST BE MIN. OF 30" FROM ANY R.A.G. INCLUDING ADJACENT ROOMS. DETECTORS SHALL BE INSTALLED INTERCONNECTED SO THAT THE ACTUATION OF ONE WILL ACTIVATE ALL OTHERS.
3. COACH LIGHTS MOUNT PER ELEV.
4. SWITCHES TO BE 54" AFF. (TOP OF BOX).
5. PRE-WIRE LOW VOLTAGE FOR O.H. DOOR OPENER -- LOW VOLTAGE AT 8" AFF. ON EACH SIDE OF O.H. DOOR. OPENER BUTTONS TO BE 5'-0" AFF.
6. DOORBELL WIRING PER PLAN BY COMMUNITY -- BUTTON TO BE AT 42" A.F.F. WHERE APPLICABLE AND LOCATION DENOTED ON PLAN.
7. DOORBELL CHIMES AND SECURITY SIREN BOX PER PLAN 8" FROM CLG. TO BOTTOM OF BOX.
8. MICROWAVE/VENTHOOD PLUG TO BE LOCATED AT 84" AFF TO BOTTOM OF BOX. (IF OVER COOKTOP). MICROWAVE AND REFRIGERATOR OUTLETS TO BE DEDICATED 20 AMP.
9. BATH VANITY LIGHT FIXTURE BLOCKING TO BE AT 86" A.F.F. (TO BOTTOM OF BLOCKS).
10. VANITY LIGHT BOXES TO BE AT 86" AFF. (TO BOTTOM OF BOX).
11. INSTALL GFCI PLUGS AT ALL SINK VANITIES: SIDEWALL PLUG TO BE 8" FROM BACK WALL. BATH VANITY PLUGS TO BE AT 42" AFF. TO BOTTOM OF BOX.
12. INSTALL GFCI PLUGS AT ALL SINK VANITIES AND AT KITCHEN COUNTERTOPS.
13. KITCHEN COUNTERTOP PLUGS AND SWITCHES TO BE VERTICAL AT 42" AFF. (TO BOTTOM OF BOX). ALL PLUGS AND SWITCHES AT BAR TOP TO BE HORIZONTAL AT 38" AFF. TO BOTTOM OF BOX.
14. GARBAGE DISPOSAL TO HAVE PLUG.
15. SECURITY KEYPADS TO BE LOCATED ABOVE SWITCHES, PER PLAN. SECURITY PANEL AT 67" AFF. TOP OF BOX, STRUCTURED WIRING PANEL AT 53" AFF. TOP OF BOX.
16. TELEPHONE, T.V., AND PLUG BELOW KNEE SPACE AT PLANNING CENTER TO BE AT 13" AFF. TO BOTTOM OF BOX.
17. PLANNING CENTER 110V OUTLET ABOVE COUNTER TO BE 36" AFF. TO BOTTOM OF BOX. -- BOX TO BE VERTICAL.
18. WALK IN CLOSET LIGHT TO BE 18" FROM SHELF.
19. NO WIRES TO BE RUN OVER ATTIC CAT WALKS.
20. LIGHT IN ATTIC AT HVAC WORK PLATFORM AND W/H/ PLATFORM (PER IRC CODES) TO BE SWITCHED IN ATTIC, ACCESSIBLE FROM ATTIC LADDER. IF LOCATION REQ.'S PROVIDE 2 LIGHTS, 1 AT UNIT AND ACCESS OPENING (ON 1 SWITCH).
21. INSTALL SPLIT OUTLET BELOW SINK FOR DISPOSAL AND DISHWASHER AND CENTER AT SINK BASE, SWITCH FOR DISPOSAL ONLY.
22. 110V SERVICE OUTLET IN ATTIC AT HVAC AND W/H PLATFORM.
23. BLOCK AND WIRE FOR ALL CEILING FANS AND LIGHTS IN ALL SECONDARY BDRMS, MASTER BDRM, GAME ROOM, AND FAMILY RM. SEPERATE SWITCH FOR LIGHT AND FAN (2 GANG SWITCH).
24. 110V OUTLETS AT ISLAND TO BE 25" AFF. TO BOTTOM OF BOX. PLUG TO BE HORIZONTAL.
25. HVAC CONTRACTOR TO SUPPLY AND INSTALL ALL EXHAUST FANS. ELECTRICIAN TO WIRE. INSTALL 16" FROM BACK OF BOX TO WALL WHEN POSSIBLE AND CENTER OVER DRYER & TOILET.
26. THERMOSTAT TO BE LOCATED 60" AFF. TO CENTER OF BOX. LOCATIONS PER PLAN.
27. CLG FANS ARE SUPPLIED BY LIGHTING CONTRACTOR AND INSTALLED BY THE ELECTRICAL CONTRACTOR.
28. SEE SPECS FOR WATER SOFTENER OUTLET REQ.
29. PLUG FOR SPRINKLER SYSTEM AT 84" AFF. IN GARAGE.
30. EXTERIOR GFI AT A/C CONDENSER SHOULD BE LOCATED NEXT TO, AND AT THE SAME HEIGHT AS THE DISCONNECT.
31. DRYER VENT TO SIT ON BOTTOM PLATE.
32. INSTALL DRYER VENT BOX 1'-4" CENTERED, FROM SIDE WALL FACE OF STUD IN UTILITY WHERE DRYER IS LOCATED IN PLAN.
33. DOORBELL TRANSFORMER TO BE LOCATED IN ATTIC NEAR TOP OF LIGHT SWITCH.
34. SECURITY MOTION DETECTOR PER PLAN TO BE MOUNTED @ 7'-6" A.F.F.
35. REFERENCE PARTIAL FLOOR PLANS FOR ADDITIONAL LIGHTS AT EXTENDED FRONT PORCH PER ELEVATION.

REVISIONS	

SUPPLIED TO:
1.) ELECTRICIAN



LEGEND	
	TELEVISION/PHONE/DATA
	110V ELECTRICAL RECEPTICAL
	220V ELECTRICAL RECEPTICAL
	SWITCH
	RECESSED CAN LIGHT
	PENDANT LIGHT
	CEILING MOUNTED LIGHT
	24\"/>
	12\"/>
	SINGLE HALOGEN SPOT UNDER-CABINET LIGHT
	DIRECTIONAL CAN LIGHT (EYEBROW)

FIRST FLOOR
ELECTRICAL PLAN

SCALE: 1/8" = 1'-0"

21043 COTTONWOOD COVE

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6-13-2020
DRAFTSMAN
RST
PLAN NAME
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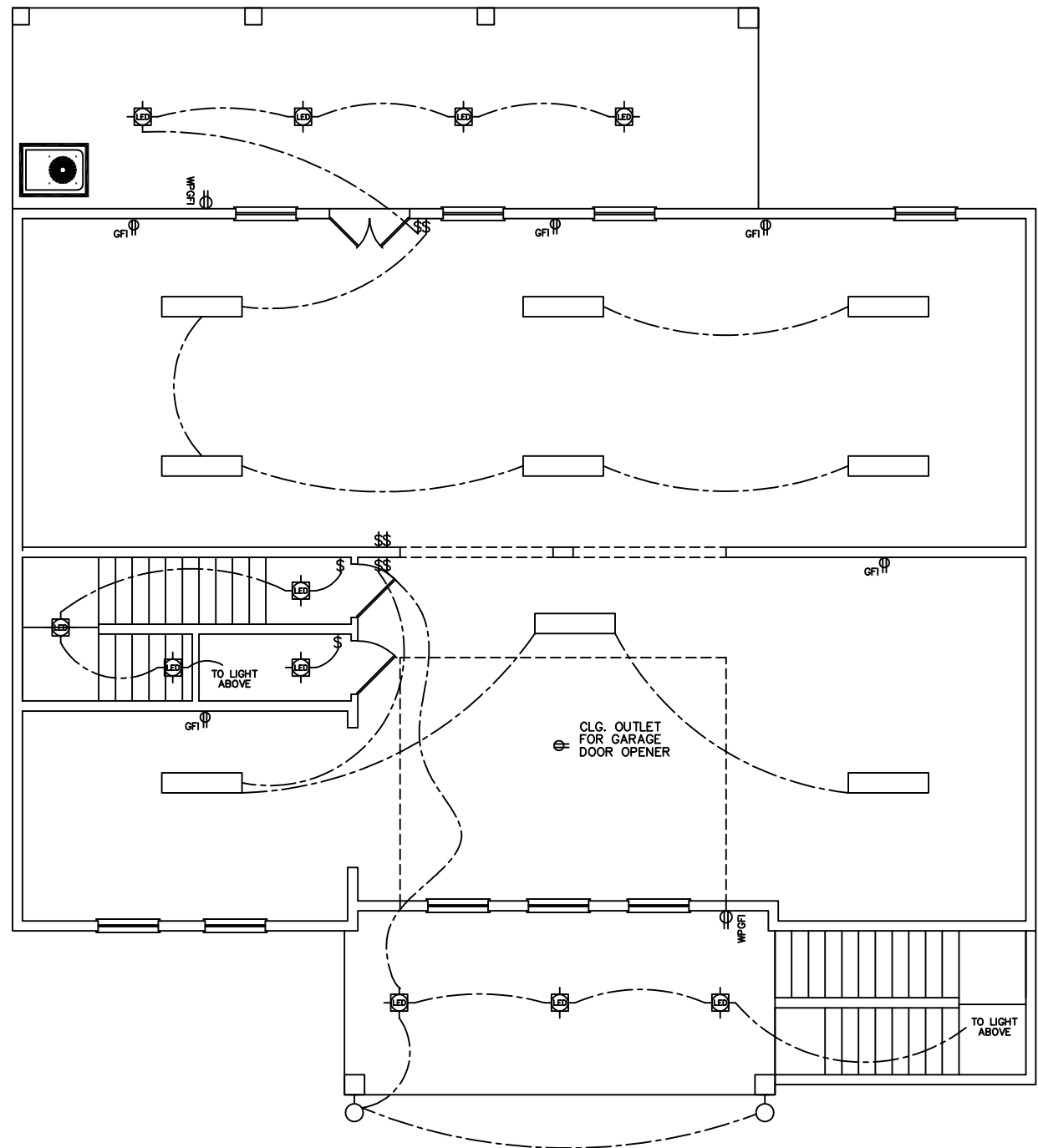
ELECTRICAL
1
SHEET 6-1

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REVISIONS	

SUPPLIED TO:
1.) ELECTRICIAN



LEGEND	
	TELEVISION/PHONE/DATA
	110V ELECTRICAL RECEPTICAL
	220V ELECTRICAL RECEPTICAL
	SWITCH
	RECESSED CAN LIGHT
	PENDANT LIGHT
	CEILING MOUNTED LIGHT
	24" FLUORESCENT UNDER-CABINET LIGHT
	12" FLUORESCENT UNDER-CABINET LIGHT
	SINGLE HALOGEN SPOT UNDER-CABINET LIGHT

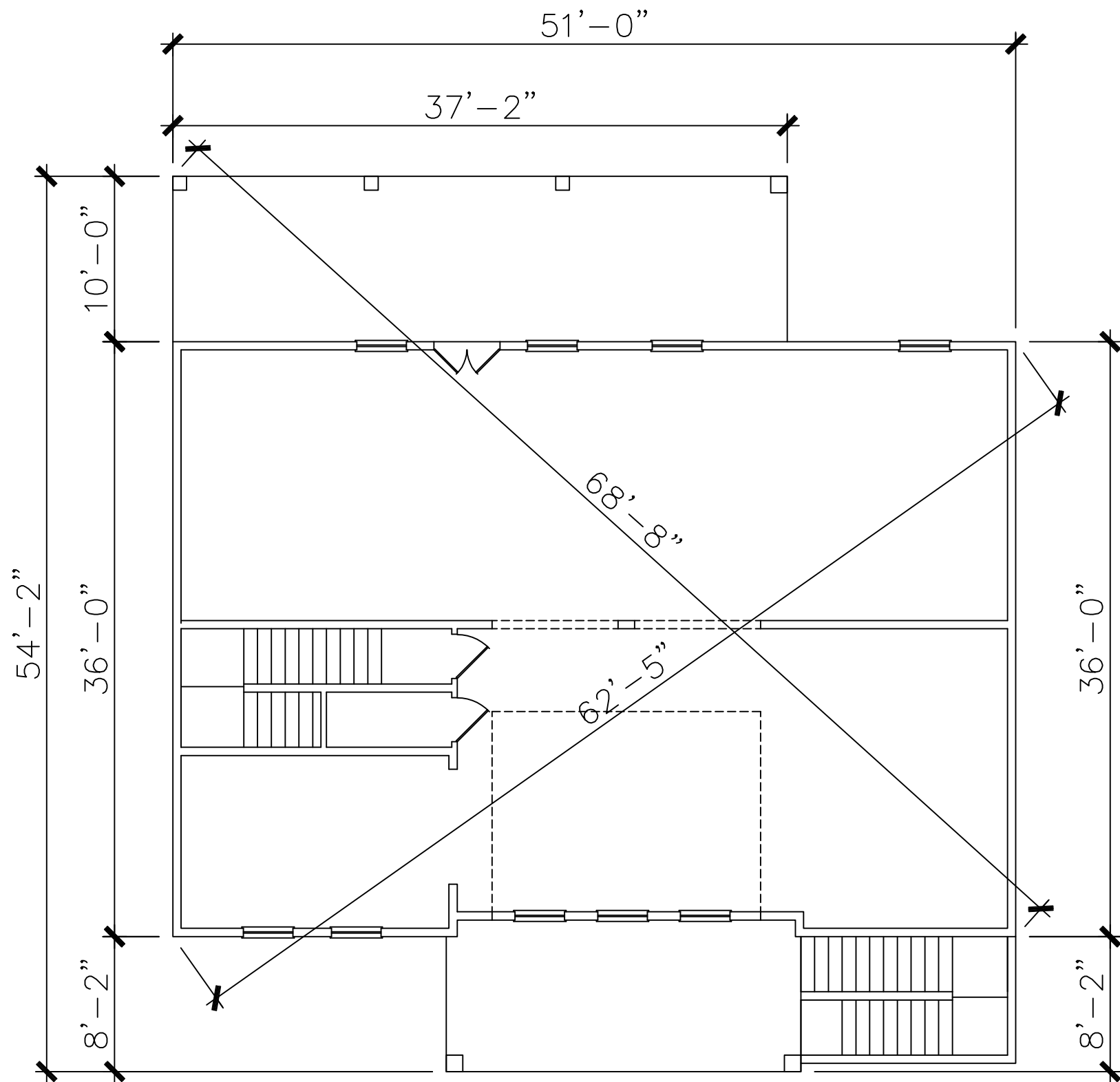
SECOND FLOOR ELECTRICAL PLAN
SCALE: 1/8" = 1'-0"

21043 COTTONWOOD COVE

ISSUE DATE 6-13-2020
DRAFTSMAN RST
PLAN NAME COTTONWOOD
PLAN NUMBER 2020
ELECTRICAL 2
SHEET 6-2

PLUMBING NOTES:

- 1.) MINIMUM OF 2 METAL STAKES PER PVC PIPE THROUGH SLAB
- 2.) ALL COPPER SECURED WITH METAL STAKES (USE TAPE TO PREVENT CONTACT)
- 3.) NO EXPOSED COPPER IN SLAB
- 4.) ALL PIPES MUST BE SEALED AT TOP
- 5.) TEMPORARY HOSE BIB TO BE ON EXTERIOR OF SLAB
- 6.) ALL PLUMBING MUST BE MINIMUM 1-1/2" AWAY FROM FORMS
- 7.) PLUMBING MUST BE PER PLAN
- 8.) PLACE ALL TRASH IN DESIGNATED AREA
- 9.) NOTIFY CONSTRUCTION MANAGER OF ANY PROBLEMS
- 10.) VERIFY ALL MEASUREMENTS BEFORE SLAB IS POURED
- 11.) WATER HEATER TO BE CENTRALLY LOCATED IN ATTIC TO MINIMIZE THE DISTANCE FROM KITCHEN AND MASTER BATH.



REVISIONS	

SUPPLIED TO:
1.) PLUMBER

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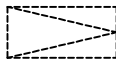




FORMSET
1
SHEET 8-1

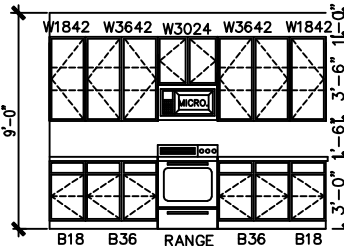
GENERAL NOTES

- 1.) REF. PARTIAL FLOOR PLAN & FRONT ELEVATION FOR WINDOW SIZES & LOCATIONS, PROJECTIONS, RAISED PLATES, ETC.
- 2.) ALL BRICK LEDGES TO BE 5 1/2"
- 3.) ALL ANGLES TO BE 45 D UNLESS NOTED OTHERWISE
- 4.) ALL SHOWER HEADS TO BE @ 6"-10" A.F.F.
- 5.) NUMBER OF WATER HEATERS TO BE LOCATED IN ATTIC: 1 (UP TO 2 1/2 BATHS)
2 (3 OR MORE BATHS)
- 6.) ALL DOOR OPENINGS TO BE CENTERED ON WALL UNLESS OTHERWISE NOTED. STANDARD DOOR JAMB TO BE 4".
- 7.) HARRIS COUNTY TO HAVE SELF CLOSING HINGES ON GARAGE PEDESTRIAN DOORS.

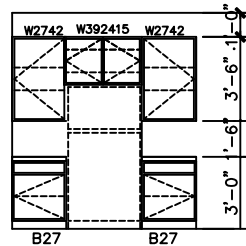
NOTES TO FRAMER:

- 1.) ALL DIMENSIONS ARE TO FACE OF STUDS UNLESS NOTED OTHERWISE
- 2.) CABINET BLOCKING ON KITCHEN WALLS @ 3 LOCATIONS: 37-1/2" A.F.F., 57-1/2" A.F.F., & 91-1/2" A.F.F. (TO BOTTOM OF BLOCK).
- 3.) ALL NON-LOAD BEARING INTERIOR WALL STUDS TO BE 24" O.C.
- 4.) MANTLE BLOCKING AT EACH SIDE OF FIREPLACE EVERY 24" O.C. A.F.F.
- 5.) ALL BEAMS WHICH ARE BRACED OFF OF MUST BE RAISED 1 1/2" FROM TOP PLATE
- 6.) ALL FINISHED CEILING HEIGHTS TO BE PER PLAN.
- 7.) ALL WINDOW ROUGH OPENING SIZES TO BE FRAMED SAME AS WINDOW CALL-OUT SIZE.
- 8.) TUB/SHOWER COMBO BLOCKING 26"-32" FROM WALL BOTTOM PLATE TO TOP PLATE
MASTER SHOWER BLOCKING 40"-46" FROM WALL BOTTOM PLATE TO TOP PLATE WHEN APPLICABLE IN PLAN
- 9.) VANITY LIGHT FIXTURE 2x4 BLOCKING TO BE IN ALL BATHS @ 86" A.F.F. (TO BOTTOM OF BLOCKS)
- 10.) CABINET BLOCKING FOR PLANNING CENTER TO BE @ 30" A.F.F. (TO TOP OF BLOCKS)
- 11.) BLOCK BETWEEN STUDS @ ALL RAKES W/ 2x MATERIAL AT ROOF LINE

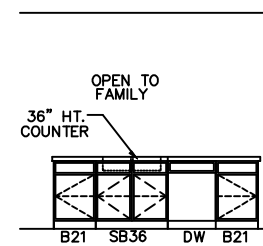
TRIM SCHEDULE	
LIVING	CROWN (SEE SPEC'S)
DINING	CROWN (SEE SPEC'S) CHAIR RAIL (SEE SPEC'S)
M. BDRM	CROWN (SEE SPEC'S)
1R/1S HGT	72" A.F.F. TO TOP OF SHELF
2R/1S HGT	84" A.F.F. TO TOP OF SHELF BOTTOM ROD @ 42" A.F.F.
ROD & SHELF SUPPORT	ALL RODS (EVERY 32" MIN. OF 1)
	30" x 54-1/2" ATTIC STAIRS
	22-1/2" x 30" ATTIC SCUTTLE
BASE	SEE SPEC'S
CASING	SEE SPEC'S
	TOILET PAPER HOLDER 25" A.F.F.
	TOWEL RING 55" A.F.F.
	TOWEL BAR 54" A.F.F.
TRIM ALL WINDOWS W/ STOOL & 2 1/4" MDF SKIRT	
MANTLE - (PER DETAIL) A.F.F. TO TOP OF MANTLE	
ALL BEDROOM DOORS TO BE 1" ABOVE CARPET (2" ABOVE CONC.)	
WORK AREA LEDGE-1X8 DOUBLE OG. W/ CASING BELOW	
PLANT LEDGES TO BE TRIMMED WITH 3/4" MDF AND 2 1/4" SKIRT (SPECIFY AREA OF HOME)	
ALL PULL DOWN STAIRS AND SCUTTLES TO BE TRIMMED W/ 2 1/4" MDF CASING W/ MASONITE COVER	



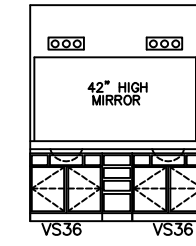
A KITCHEN



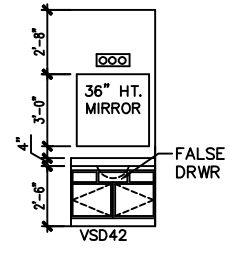
B KITCHEN



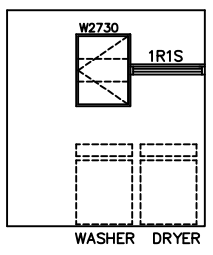
C KITCHEN



D M. BATH



E BATH 2

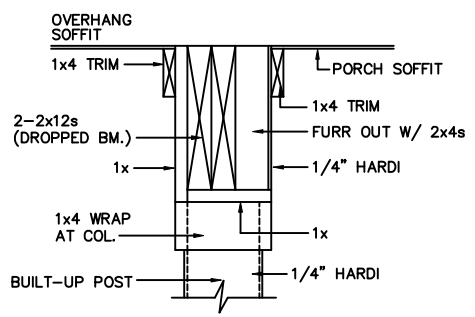


F UTILITY

SUPPLIED TO:

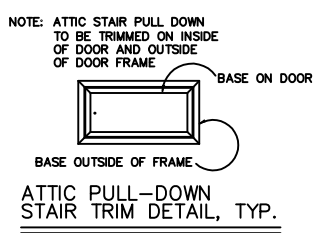
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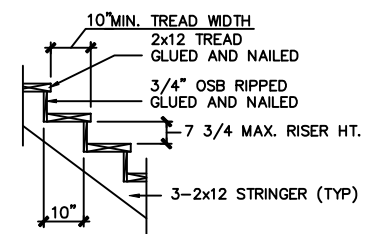


BUILT-UP POST DETAIL (PER PLAN)

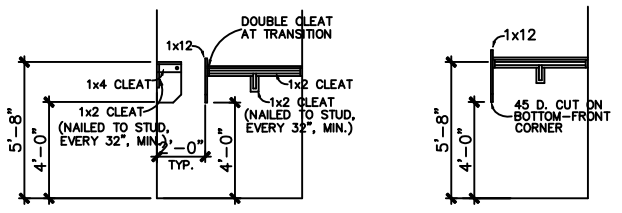
SCALE: N.T.S.



ATTIC PULL-DOWN STAIR TRIM DETAIL, TYP.

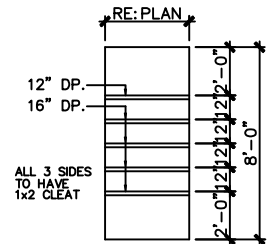


STAIR DETAIL, TYP.



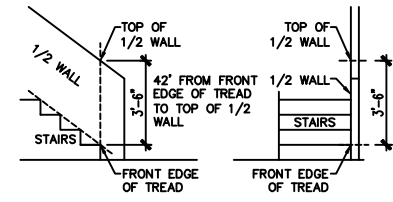
ROD & SHELF DETAILS, TYP.

- NOTES:
- 1.) 1x2 CLEAT ONLY ALONG REAR WALL AT ROD/SHELF
 - 2.) 1x4 CLEAT ONLY ALONG SIDES AT ROD/SHELF
 - 3.) CLEAT SUPPORT FOR SHELF BRACKET TO BE 9" FROM BOTTOM OF REAR WALL CLEAT
 - 4.) DOUBLE CLEAT AT ENDS OF ALL INTERIOR SHELVING



LINEN/PANTRY, TYP.

- NOTES:
- SUPPORT ALL INTERIOR CORNERS AT WALK-IN LINEN/PANTRY WITH 1x2 CLEAT VERTICALLY AT CORNER



1/2 WALL @ STAIRS DETAIL, TYP.

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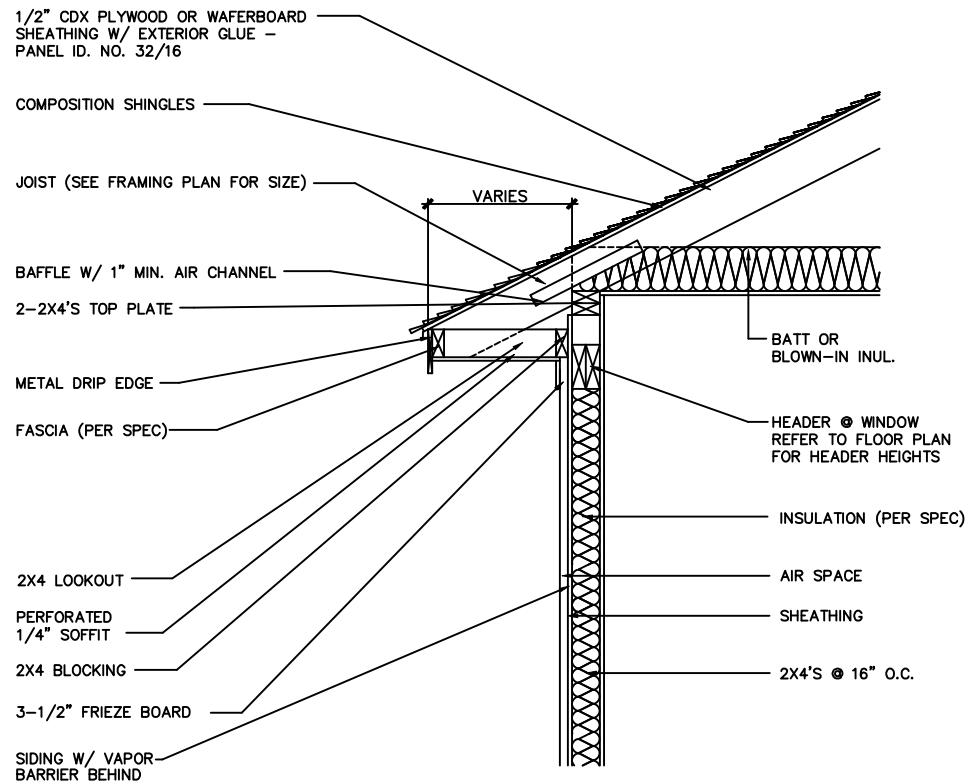
DRAFTSMAN
RST

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PLAN NUMBER
2020

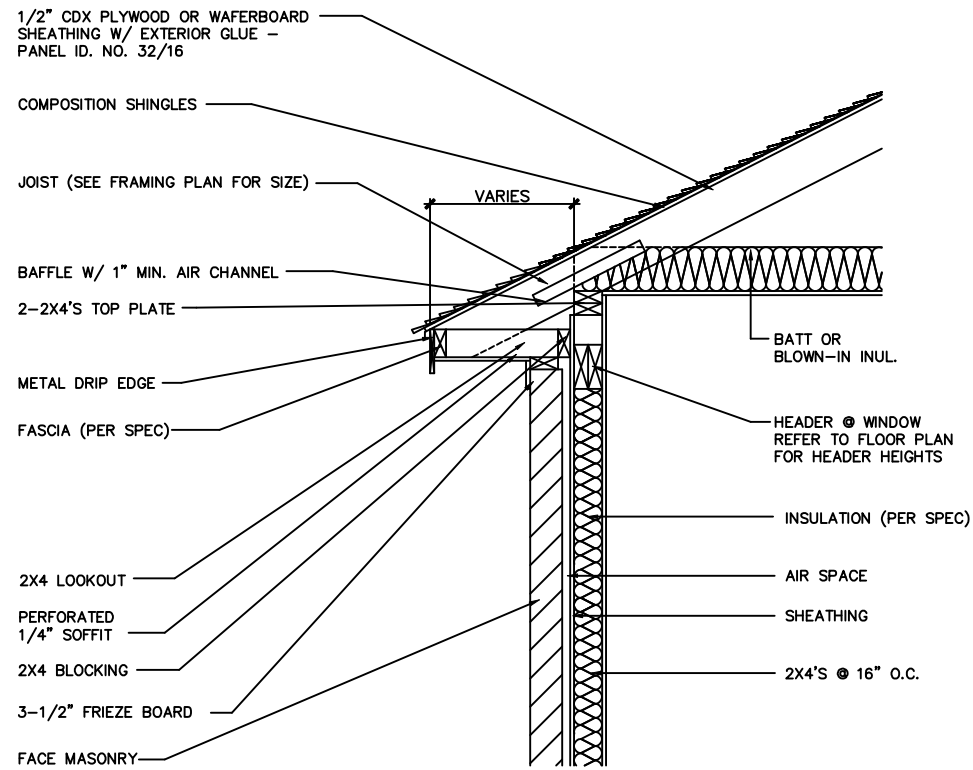
DETAILS
1

SHEET 1-D-1



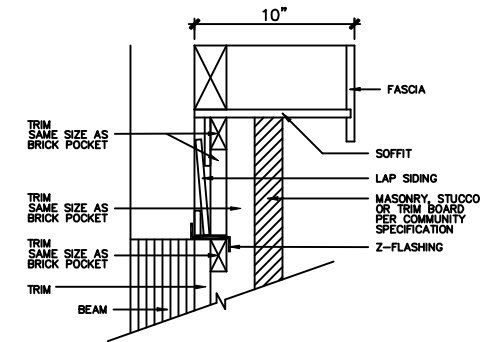
SOFFIT DETAIL AT SIDING

SCALE: N.T.S.
RE: PLANS & ELEV.'S FOR FRAMING & PITCH



SOFFIT DETAIL AT MASONRY

SCALE: N.T.S.
RE: PLANS & ELEV.'S FOR FRAMING & PITCH

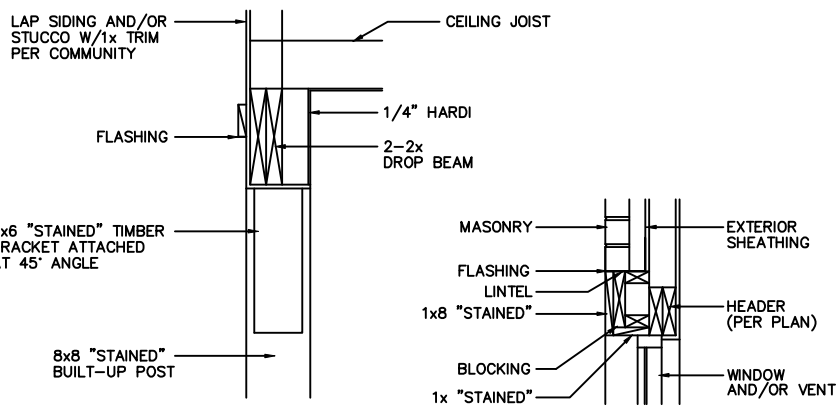


SHED ROOF PORCH/PATIO WALL TERMINATION AT RAKE DETAIL

REVISIONS	

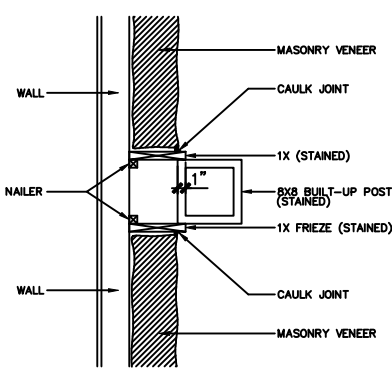
SUPPLIED TO:

1.) FRAMER	4.) TRIM LABOR	7.) CABINET LABOR
2.) SHEETROCKER	5.) CARPET LABOR	8.) PLUMBER
3.) STAIR LABOR	6.) C-TILE LABOR	

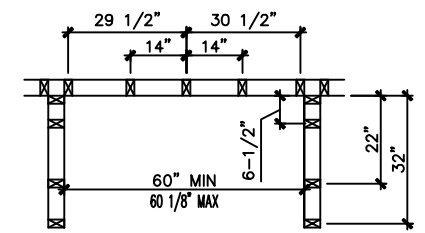


TYP. FLASHING @ GABLE TO DROP DOWN BEAM
SCALE: N.T.S.

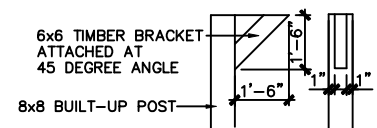
TYP. HEADER SECTION
SCALE: N.T.S.



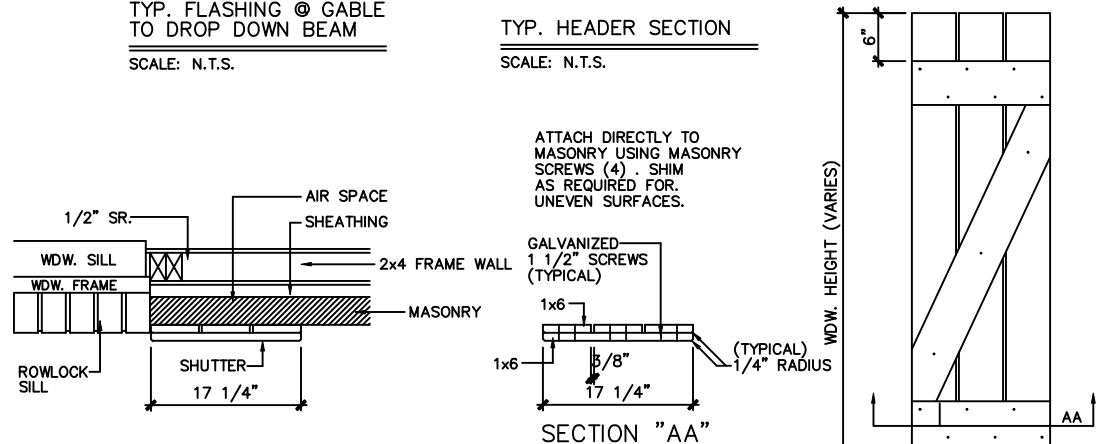
SECTION @ PORCH POST AGAINST MASONRY



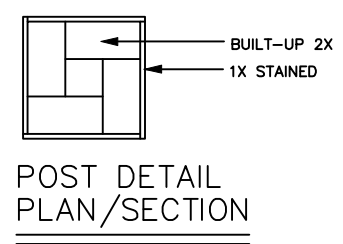
SECONDARY BATH DETAIL



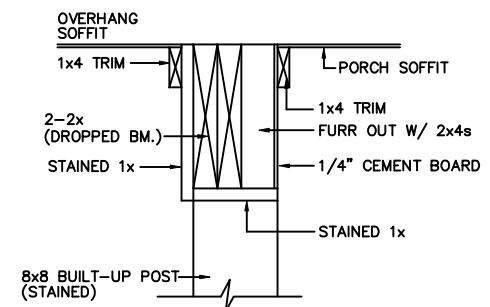
TYP. TIMBER BRACKET DETAILS



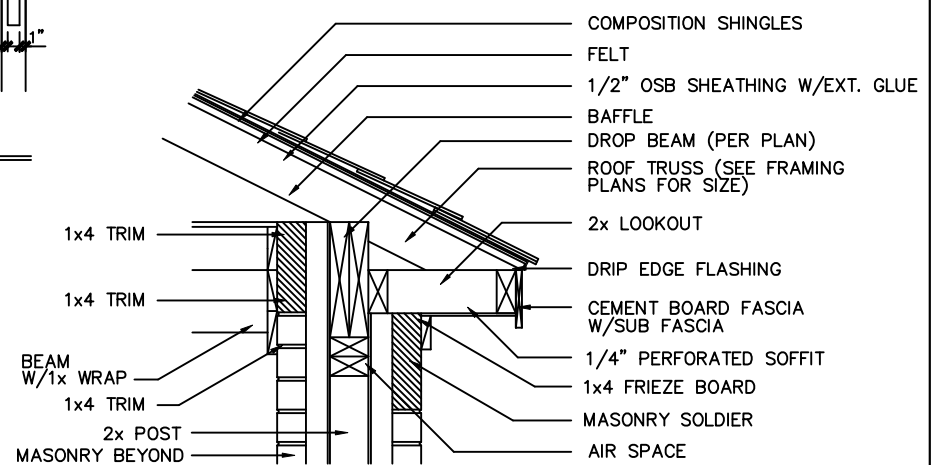
WOODEN SHUTTER DETAIL



POST DETAIL PLAN/SECTION



COVERED PORCH BEAM DETAIL



COVERED PORCH BEAM DETAIL W/MASONRY COLUMN

21043 COTTONWOOD COVE

ISSUE DATE	6-13-2020
DRAFTSMAN	RST
PLAN NAME	COTTONWOOD
PLAN NUMBER	2020
DETAILS	1
SHEET	1-D-3

CITY OF HOUSTON CODE REQUIREMENTS

ALL WORK TO COMPLY WITH ALL APPLICABLE CITY OF HOUSTON CURRENT ADOPTED CODES, CURRENT CODE AMENDMENTS, AND CODE INTERPRETATIONS AS DEFINED BY CITY OF HOUSTON CODE DEVELOPMENT.

THE FOLLOWING NOTES HAVE BEEN IDENTIFIED AS NECESSARY, BUT ARE NOT A COMPLETE LIST OF CODE REQUIREMENTS FOR THE CITY OF HOUSTON.

R302.5 Dwelling/garage opening/penetration protection.
Openings and penetrations through the walls or ceilings separating the dwelling from the garage shall be in accordance with Sections R302.5.1 through R302.5.3.

R302.5.1 Opening protection.
Openings from a private garage directly into a room used for sleeping purposes shall not be permitted. Other openings between the garage and residence shall be equipped with solid wood doors not less than 13/8 inches (35 mm) in thickness, solid or honeycomb-core steel doors not less than 13/8 inches (35 mm) thick, or 20-minute fire-rated doors, equipped with a self-closing device.

R302.5.2 Duct penetration.
Ducts in the garage and ducts penetrating the walls or ceilings separating the dwelling from the garage shall be constructed of a minimum No. 26 gage (0.48 mm) sheet steel or other approved material and shall have no openings into the garage.

R302.5.3 Other penetrations.
Penetrations through the separation required in Section R302.6 shall be protected as required by Section R302.11, Item 4.

R302.6 Dwelling/garage fire separation.
The garage shall be separated as required by Table R302.6. Openings in garage walls shall comply with Section R302.5. This provision does not apply to garage walls that are perpendicular to the adjacent dwelling unit wall.

TABLE R302.6 DWELLING/GARAGE SEPARATION

1. Separation from the residence and attics require not less than 1/2-inch gypsum board or equivalent applied to the garage side.
2. Separation from all habitable rooms above the garage require not less than 5/8-inch Type X gypsum board or equivalent.
3. Structure(s) supporting floor/ceiling assemblies used for separation required by this section must have not less than 1/2-inch gypsum board or equivalent.
4. Separation of Garages located less than 3 feet from a dwelling unit on the same lot require not less than 1/2-inch gypsum board or equivalent applied to the interior side of exterior walls that are within this area.
(For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm.)

R302.7 Under-stair protection.
Enclosed accessible space under stairs shall have walls, under-stair surface and any soffits protected on the enclosed side with 1/2-inch (12.7 mm) gypsum board.

R311.7 Stairways.

R311.7.1 Width.
Stairways shall not be less than 36 inches (914 mm) in clear width at all points above the permitted handrail height and below the required headroom height. Handrails shall not project more than 4.5 inches (114 mm) on either side of the stairway and the minimum clear width of the stairway at and below the handrail height, including treads and landings, shall not be less than 31 1/2 inches (787 mm) where a handrail is installed on one side and 27 inches (698 mm) where handrails are provided on both sides.

Exception: The width of spiral stairways shall be in accordance with Section R311.7.10.1.

R311.7.2 Headroom.
The minimum headroom in all parts of the stairway shall not be less than 6 feet 8 inches (2032 mm) measured vertically from the sloped line adjoining the tread nosing or from the floor surface of the landing or platform on that portion of the stairway.

Exception: Where the nosings of treads at the side of a flight extend under the edge of a floor opening through which the stair passes, the floor opening shall be allowed to project horizontally into the required headroom a maximum of 43/4 inches (121 mm).

R311.7.3 Vertical rise.
A flight of stairs shall not have a vertical rise larger than 12 feet (3658 mm) between floor levels or landings.

R311.7.4 Walkline.
The walkline across winder treads shall be concentric to the curved direction of travel through the turn and located 12 inches (305 mm) from the side where the winders are narrower. The 12-inch (305 mm) dimension shall be measured from the widest point of the clear stair width at the walking surface of the winder. If

winders are adjacent within the flight, the point of the widest clear stair width of the adjacent winders shall be used.

R311.7.5 Stair treads and risers.
Stair treads and risers shall meet the requirements of this section. For the purposes of this section all dimensions and dimensioned surfaces shall be exclusive of carpets, rugs or runners.

R311.7.6 Landings for stairways.
There shall be a floor or landing at the top and bottom of each stairway. The minimum width perpendicular to the direction of travel shall be no less than the width of the flight served. Landings of shapes other than square or rectangular shall be permitted provided the depth at the walk line and the total area is not less than that of a quarter circle with a radius equal to the required landing width. Where the stairway has a straight run, the minimum depth in the direction of travel shall be not less than 36 inches (914 mm).

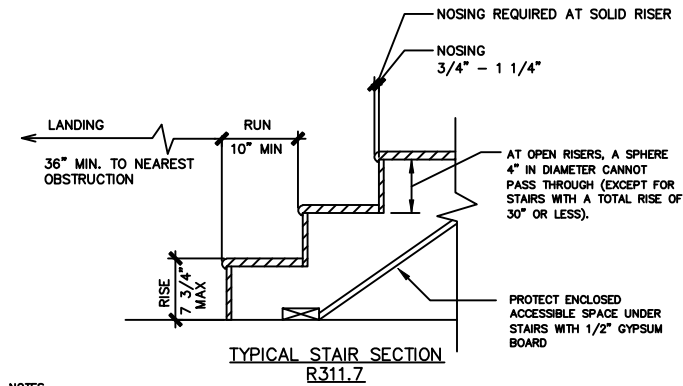
Exception: A floor or landing is not required at the top of an interior flight of stairs, including stairs in an enclosed garage, provided a door does not swing over the stairs.

R311.7.7 Stairway walking surface.
The walking surface of treads and landings of stairways shall be sloped no steeper than one unit vertical in 48 inches horizontal (2-percent slope).

R311.7.8 Handrails.
Handrails shall be provided on at least one side of each continuous run of treads or flight with four or more risers.

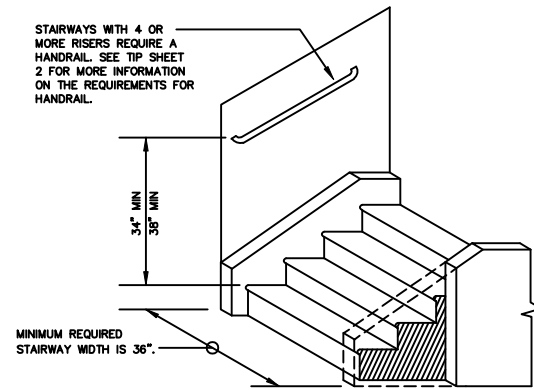
R311.7.9 Illumination.
All stairs shall be provided with illumination in accordance with Section R303.6.

R311.7.10 Special stairways.
Spiral stairways and bulkhead enclosure stairways shall comply with all requirements of Section R311.7 except as specified below.

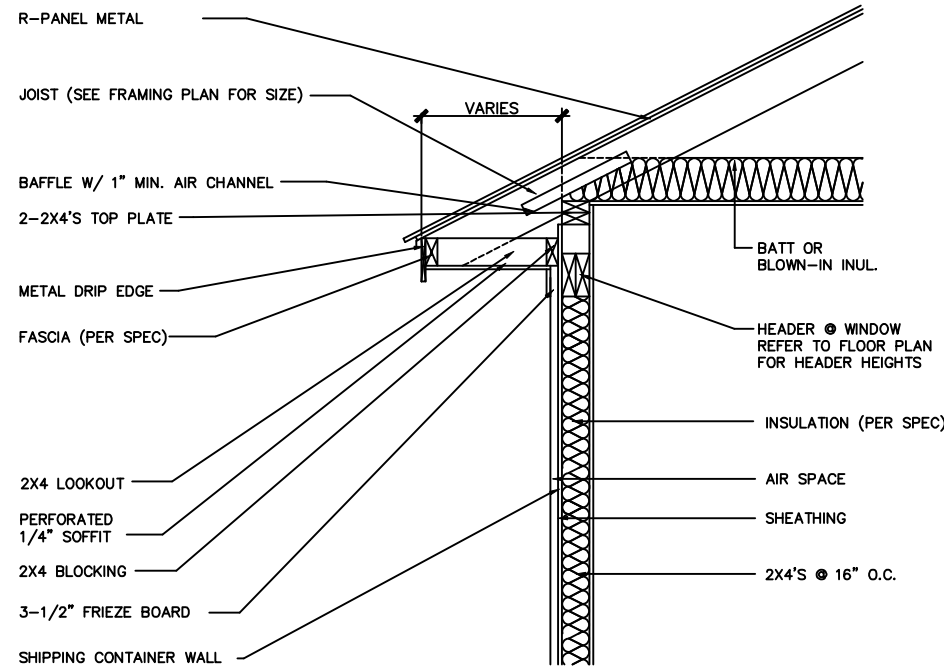
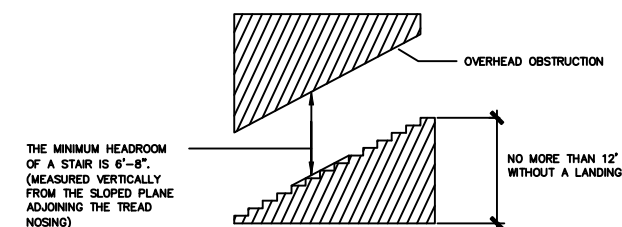


NOTES

1. THESE REGULATIONS APPLY TO STAIRWAYS FOR ONE- AND TWO-FAMILY DWELLINGS AND TOWNHOUSES SUBJECT TO THE 2012 INTERNATIONAL RESIDENTIAL CODE (IRC). REFER TO THE 2012 INTERNATIONAL BUILDING CODE FOR REQUIREMENTS FOR STAIRS IN OTHER CONDITIONS.
2. FOR EXCEPTIONS RELATED TO THE CONSTRUCTION OF CIRCULAR, SPIRAL, OR WINDING STAIRWAYS, SEE R311.7.9.
3. THE LARGEST RISE OR RUN WITHIN ANY FLIGHT OF STAIRS IS NOT TO EXCEED THE SMALLEST BY MORE THAN 3/8\".
4. A LANDING EXTENDING THE WIDTH OF THE STAIR AND MEASURING A MINIMUM OF 36\" IN THE DIRECTION OF TRAVEL IS REQUIRED AT THE TOP AND BOTTOM OF EVERY STAIRWAY.
5. A FLOOR LANDING IS NOT REQUIRED AT THE TOP OF AN INTERIOR FLIGHT OF STAIRS, PROVIDED A DOOR DOES NOT SWING OVER THE STAIRS.
6. HANDRAILS ARE REQUIRED FOR STAIRWAYS WITH FOUR OR MORE RISERS. SEE TIP SHEET 2 FOR ADDITIONAL INFORMATION REGARDING HANDRAILS.
7. INTERIOR AND EXTERIOR STAIRS MUST BE ILLUMINATED WITH AN ARTIFICIAL LIGHT SOURCE AT EACH LANDING OR OVER EACH STAIRWAY SECTION PER R303.6. LIGHT ACTIVATION MUST BE ACCESSIBLE AT THE TOP AND BOTTOM OF EACH LANDING WITHOUT TRAVERSING ANY STEPS. EXTERIOR STAIRWAYS MUST BE CONTROLLED FROM INSIDE THE DWELLING UNIT UNLESS CONTINUOUSLY ILLUMINATED OR AUTOMATICALLY CONTROLLED.

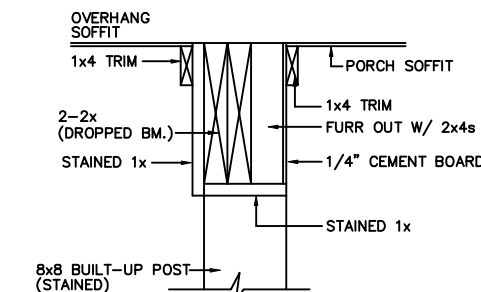
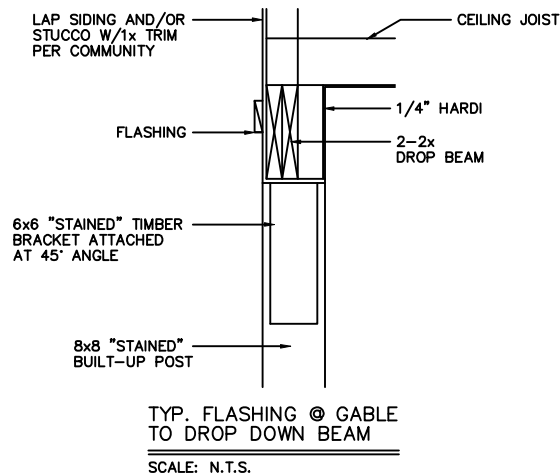


TYPICAL STAIR SECTION

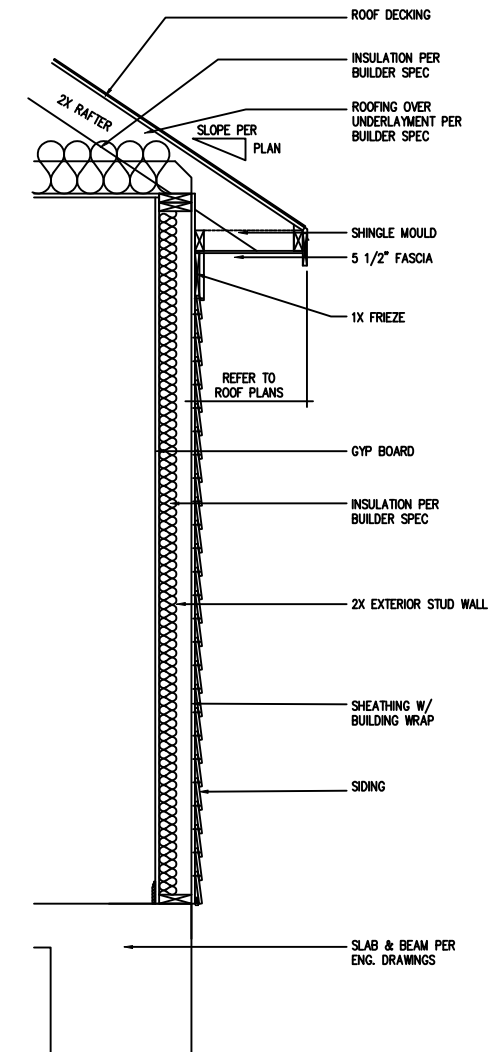


SOFFIT DETAIL

SCALE: N.T.S.
RE: PLANS & ELEV.'S FOR FRAMING & PITCH



COVERED PORCH BEAM DETAIL



Wall Section at Siding

21043 COTTONWOOD COVE

ISSUE DATE	6-13-2020
DRAFTSMAN	RST
PLAN NAME	COTTONWOOD
PLAN NUMBER	2020



CHIMNEY CHASE NOTES WHEN APPLICABLE IN PLAN:

- 1.) CHIMNEY ROUGH-FRAMING TO BE 28-1/2" X 28-1/2" OUTSIDE TO OUTSIDE
- 2.) HEIGHT OF CHIMNEY TO BE 2'-0" HIGHER THAN ANY POINT WITHIN 10'-0"
- 3.) FRAMER TO BUILD CRICKET BEHIND CHIMNEY
- 4.) FRAMER RESPONSIBLE FOR PLACING CHIMNEY SO THAT FLUE CAN BE INSTALLED WITHOUT ELBOW. CENTER OF CHIMNEY TO BE 12" BACK FROM FACE OF FIREPLACE

BRICK NOTES:

- 1.) WEEP-HOLES EVERY HEAD JOINT @ 1ST. COURSE
- 2.) LEAVE OUT EVERY FOURTH BRICK ON BOTTOM COURSE TILL BRICK COMPLETE
- 3.) WINDOW ROWLOCKS TO HAVE 1/2" SLOPE, MINIMUM OR WINDOW SILLS
- 4.) NO CORE HOLES TO BE VISIBLE AT ROWLOCKS OR WINDOW SILLS
- 5.) BRICK QUOINS TO BE LOCATED FROM TOP PLATE DOWN (RE: FRONT ELEVATION FOR SPECIFICS)
- 6.) BRICK BAND PROJECTION:
 - SINGLE ROWLOCK /SINGLE SOLDIER- 7/8" PROJECTION.
 - DOUBLE ROWLOCK & ROWLOCK/SOLDIER - 7/8" & 3/8" PROJECTION RESPECTIVELY.
 - TRIPLE ROWLOCK - 7/8", 3/8", & FLUSH PROJECTION RESPECTIVELY.
- 7.) BRICK SOLDIERS AT SOFFIT PER ELEVATION.

CORNICE NOTE:
 NAIL WINDOWS AT FRONT ENTRY DIRECTLY TO 2x FRAMING - ALL OTHER WINDOWS IN BRICK TO BE FURRED-OUT W/ 1x2'S

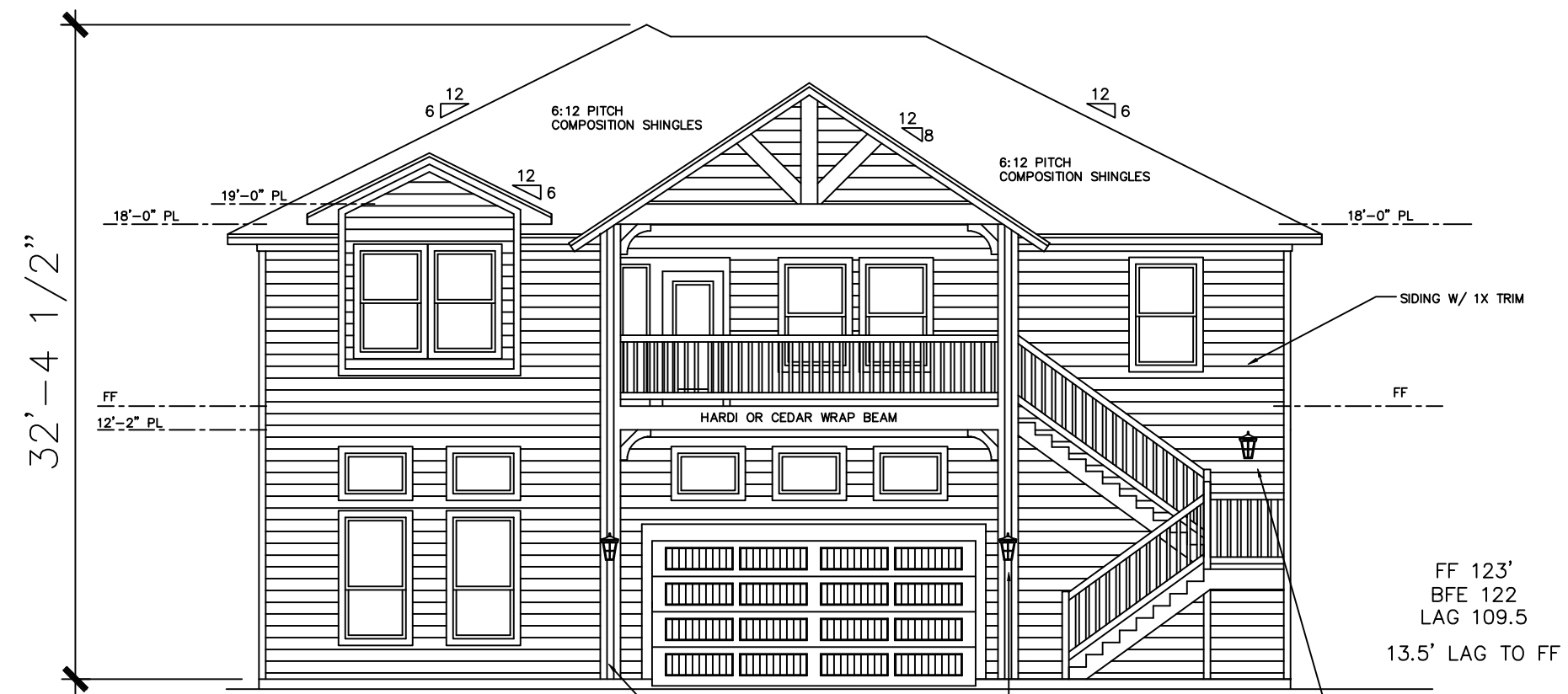
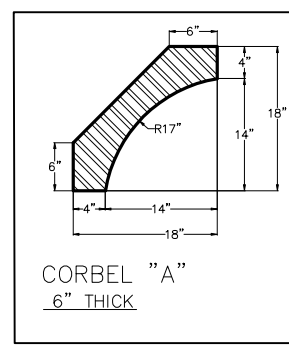
SUPPLIED TO:

1.) FRAMER	4.) SHINGLE LABOR
2.) CORNICE LABOR	5.) BRICK LABOR
3.) DECKER	6.) ELECTRICIAN

F
12'-2" PL

REAR ELEVATION

SCALE: 1/8" = 1'-0"



32'-4 1/2"

FF 123'
 BFE 122
 LAG 109.5
 13.5' LAG TO FF

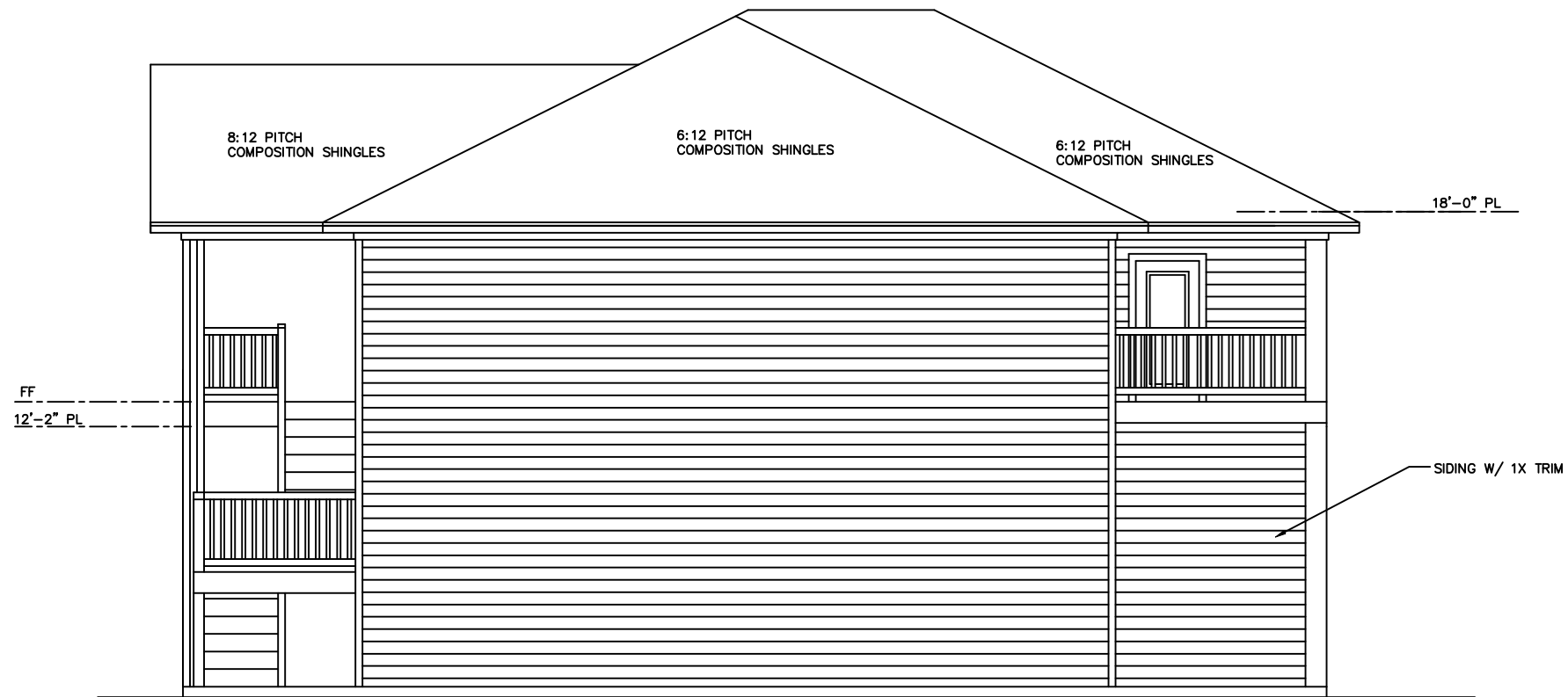
FRONT ELEVATION

SCALE: 1/8" = 1'-0"

21043 COTTONWOOD COVE

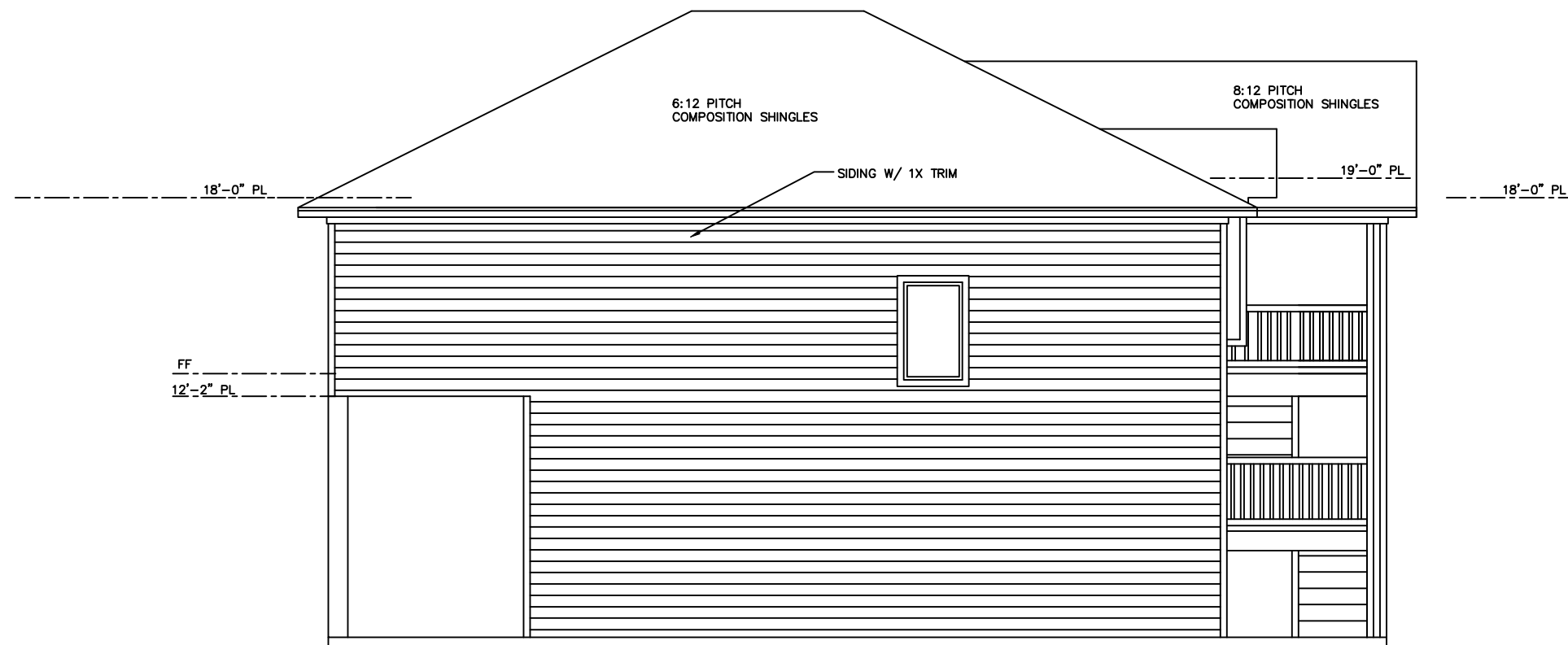
ISSUE DATE	6-13-2020
DRAFTSMAN	RST
PLAN NAME	COTTONWOOD
PLAN NUMBER	2020

FRONT AND REAR ELEVATIONS
 SHEET 3



RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

21043 COTTONWOOD COVE

ISSUE DATE
6-13-2020

DRAFTSMAN
RST

PLAN NAME
COTTONWOOD

PLAN NUMBER
2020

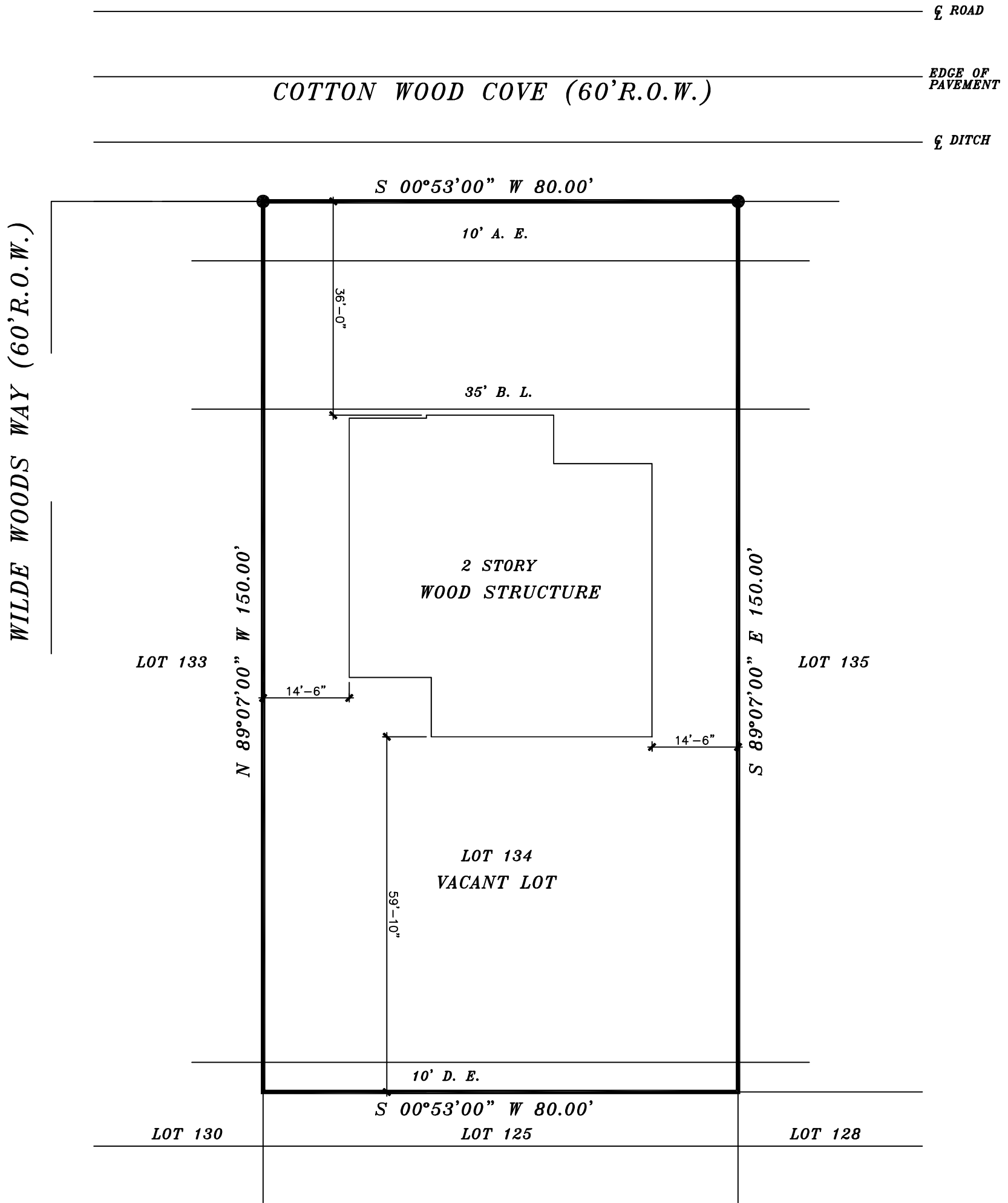
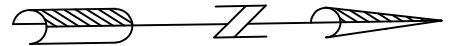
SIDE
ELEVATIONS

SHEET 3F-2



NOTES:

1. BEARINGS ARE BASED ON RECORDED PLAT.
2. SUBJECT TO ZONING, ORDINANCES, CONDITIONS, COVENANTS AND RESTRICTIONS OF SUBDIVISION.
3. THIS SURVEYING COMPANY HAS NOT PERFORMED ABSTRACTING ON THIS PROPERTY, THEREFORE THERE MAY EXIST ADDITIONAL EASEMENTS, RESTRICTIONS AND OTHER ENCUMBRANCES OF RECORD.
4. TOPOGRAPHIC SURVEY BASED ON A SOFT GRID.
5. "CM" - CONTROLLING MONUMENT



BORROWER: ROBERTO RAMOS
ADDRESS: 21043 COTTONWOOD COVE, SPRING, TEXAS 77380

LEGAL DESCRIPTION: LOT ONE HUNDRED THIRTY-FOUR (134), OF TIMBER LAKES ADDITION, SECTION THREE (3), PART A (3-A), A SUBDIVISION IN MONTGOMERY COUNTY, TEXAS ACCORDING TO THE MAP OR PLAT THEREOF, RECORDED IN VOLUME 7, PAGE 399 OF THE MAP RECORDS OF MONTGOMERY COUNTY, TEXAS.

This lot DOES lie in the 100 year flood plain and is in ZONE AE as located by the Federal Insurance Administration designated Flood Hazard Area Community Panel No. 48339C0680G dated 08/18/2014. No responsibility assumed for Flood Plain Determination or Floodway.

LENDER:

TITLE COMPANY: AMERICAN TITLE COMPANY

I do certify that this survey was this day made on the ground and that this plat correctly represents the property legally described hereon. That the facts found at the time of this survey show the improvements and that there are no discrepancies apparent on the ground except as shown. This survey is based on the title commitment referenced in G.F. No. 3069919-00527, This survey is certified for this transaction only.

G.F. NO. 3069919-00527

SCALE: 1"=20'

DATE: 10-15-19

JOB NO. 103319-92

DRAFTED BY: CMS



TEXAS STAR SURVEYING

FIRM NO. 10137800

P. O. BOX 890433, HOUSTON, TEXAS 77289
 PHONE (281) 331-8414 FAX (281) 486-0642