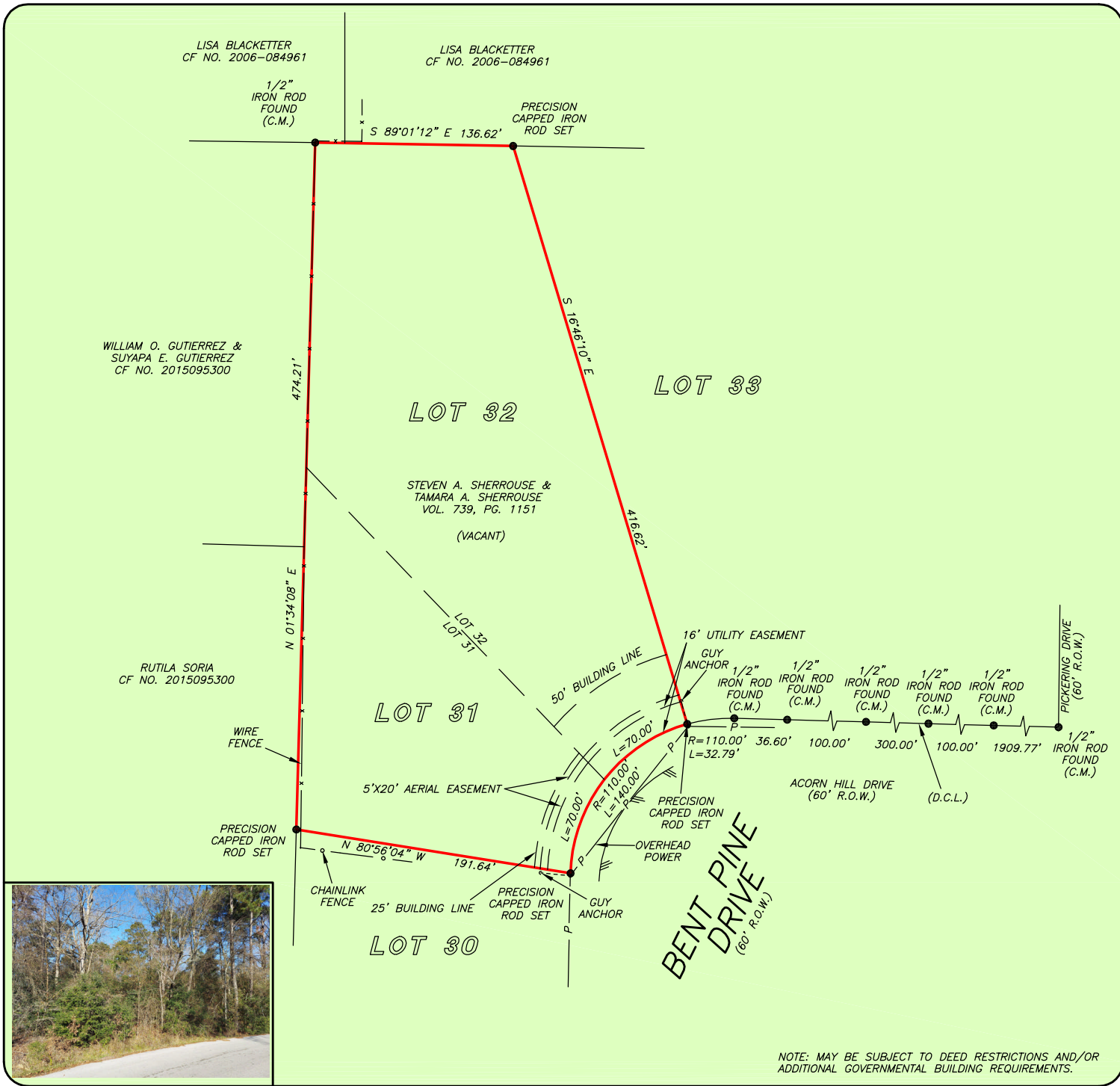


GF NO. 3016920-04910 TEXAS AMERICAN TITLE
 ADDRESS: BENT PINE ROAD DRIVE
 CONROE, TEXAS 77302
 BORROWER: GRABA EQUITY CORPORATION

SCALE: 1" = 100'

LOTS 31 AND 32 ACORN HILL ESTATES

A SUBDIVISION IN MONTGOMERY COUNTY, TEXAS,
 ACCORDING TO THE MAP OR PLAT THEREOF
 RECORDED IN CABINET C, SHEET 37A, OF THE
 PLAT RECORDS OF MONTGOMERY COUNTY, TEXAS



NOTE: MAY BE SUBJECT TO DEED RESTRICTIONS AND/OR ADDITIONAL GOVERNMENTAL BUILDING REQUIREMENTS.

THIS PROPERTY IS AFFECTED BY THE 100 YEAR FLOOD PLAIN AS PER FIRM PANEL NO. 48339C 0575 G MAP REVISION: 04/02/2014 ZONE AE BASED ONLY ON VISUAL EXAMINATION OF MAPS. INACCURACIES OF FEMA MAPS PREVENT EXACT DETERMINATION WITHOUT DETAILED FIELD STUDY

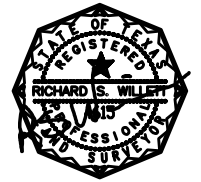
A SUBSURFACE INVESTIGATION WAS BEYOND THE SCOPE OF THIS SURVEY

D.C.L. = DIRECTIONAL CONTROL LINE RECORD BEARING: CAB. C, SH. 37A, M.C.P.R.

DRAWN BY: AC

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND, THAT THIS PLAT CORRECTLY REPRESENTS THE FACTS FOUND AT THE TIME OF SURVEY AND THAT THERE ARE NO ENCROACHMENTS APPARENT ON THE GROUND, EXCEPT AS SHOWN HEREON. THIS SURVEY IS CERTIFIED FOR THIS TRANSACTION ONLY AND ABSTRACTING PROVIDED IN THE ABOVE REFERENCED TITLE COMMITMENT WAS RELIED UPON IN PREPARATION OF THIS SURVEY.

RICHARD S. WILLETT
 PROFESSIONAL LAND SURVEYOR
 NO. 4615
 JOB NO. 21-00045
 JANUARY 13, 2021



PRECISION
 surveyors

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