

Long Star Services

PROPERTY INSPECTION REPORT

Prepared For: Lee Palmer
Concerning: 2903 Greens Ferry CT Report #2005012 Richmond, TX 77406
Inspection Date: 05/01/2020
By: Inspector Name: Kirk Long License Number: 6026 Date: May 1, 2020
Phone: 281-731-9089 E-Mail: klong@longstarservices.com

PURPOSE, LIMITATIONS AND INSPECTOR / CLIENT RESPONSIBILITIES

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions. If any item or comment is unclear, you should ask the inspector to clarify the findings. It is important that you carefully read ALL of this information.

This inspection is subject to the rules ("Rules") of the Texas Real Estate Commission ("TREC"), which can be found at www.trec.texas.gov.

The TREC Standards of Practice (Sections 535.227-535.233 of the Rules) are the minimum standards for inspections by TREC-licensed inspectors. An inspection addresses only those components and conditions that are present, visible, and accessible at the time of the inspection. While there may be other parts, components or systems present, only those items specifically noted as being inspected were inspected. The inspector is NOT required to turn on decommissioned equipment, systems, utility services or apply an open flame or light a pilot to operate any appliance. The inspector is NOT required to climb over obstacles, move furnishings or stored items. The inspection report may address issues that are code-based or may refer to a particular code; however, this is NOT a code compliance inspection and does NOT verify compliance with manufacturer's installation instructions. The inspection does NOT imply insurability or warrantability of the structure or its components. Although some safety issues may be addressed in this report, this inspection is NOT a safety/code inspection, and the inspector is NOT required to identify all potential hazards.

In this report, the inspector shall indicate, by checking the appropriate boxes on the form, whether each item was inspected, not inspected, not present or deficient and explain the findings in the corresponding section in the body of the report form. The inspector must check the Deficient (D) box if a condition exists that adversely and materially affects the performance of a system or component or constitutes a hazard to life, limb or property as specified by the TREC Standards of Practice. General deficiencies include inoperability, material distress, water penetration, damage, deterioration, missing components, and unsuitable installation. Comments may be provided by the inspector whether or not an item is deemed deficient. The inspector is not required to prioritize or emphasize the importance of one deficiency over another.

Some items reported may be considered life-safety upgrades to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards or Deficiencies below.

THIS PROPERTY INSPECTION IS NOT A TECHNICALLY EXHAUSTIVE INSPECTION OF THE STRUCTURE, SYSTEMS OR COMPONENTS. The inspection may not reveal all deficiencies. A real estate inspection helps to reduce some of the risk involved in purchasing a home, but it cannot eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is recommended that you obtain as much information as is available about this property, including any sellers disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for or by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspector's responsibility to confirm that information obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous or future reports.

ITEMS IDENTIFIED IN THE REPORT DO NOT OBLIGATE ANY PARTY TO MAKE REPAIRS OR TAKE OTHER ACTIONS, NOR IS THE PURCHASER REQUIRED TO REQUEST THAT THE SELLER TAKE ANY ACTION. When a deficiency is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods.

Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions. Examples of such hazards include:

- * malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathrooms, kitchens, and exterior areas;
- * malfunctioning arc fault protection (AFCI) devices;
- * ordinary glass in locations where modern construction techniques call for safety glass;
- * malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- * malfunctioning carbon monoxide alarms;
- * excessive spacing between balusters on stairways and porches;
- * improperly installed appliances;
- * improperly installed or defective safety devices;
- * lack of electrical bonding and grounding; and
- * lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined.

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered" because they were present prior to the adoption of codes prohibiting such conditions. While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate licensees also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms require a seller to remedy conditions revealed by an inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for the sale or purchase of the home.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

Time of inspection: 8:15

Temperature: 67 degrees

House is a vacant (staged) 2 story brick and wood trim home with a 2 car attached garage.,

Note: It should be noted that a vacant house can experience latent defects related to plumbing, mechanical equipment and appliances due to the lack of use. This can include seal failure to drain lines and appliances, drainage concerns, etc.. All appliances, mechanical equipment, plumbing lines and drains, etc. should be monitored after the house is occupied and components are used on a daily basis.,

The house has experienced recent repair, painting, and updating.

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

I NINPD

Inspector Name: Kirk Long TREC#6026

Company Name: Long Star Services

Address: 1202 Bittersweet DR

City State Zip: Richmond, TX 77406

Client Name: Lee Palmer

Property Address: 2903 Greens Ferry CT Report #2005012

City State Zip: Richmond, TX 77406

LONG STAR SERVICES

Inspection Agreement

(Please read carefully)

THIS AGREEMENT is made and entered into by and between LONG STAR SERVICES, referred to as Inspector, and buyer referred to as Client. The purpose of the inspection to be performed under the contract is solely an attempt to identify major defects or deficiencies in the items on the inspection report, which are reasonably observable at the time of this inspection.

In consideration of the promise and terms of this Agreement, the parties agree as follows:

1. The client will pay for the inspection of the Property, being the residence, and garage or carport, if applicable, located at the above referenced address.
2. The Inspector will perform a visual inspection and prepare a written report of the apparent condition of the readily accessible installed systems and components of the property existing at the time of the inspection. Latent and concealed defects and deficiencies are excluded from the inspection. This is a visual inspection only. We inspect only what we see. We do not disassemble anything. We do not inspect for any environmental issues such as lead paint, asbestos, mold, etc. We do not inspect for building codes, soil analysis, adequacy of design, capacity, efficiency size, value, flood plain location, pollution or habitability. Please remember that older houses do not meet the same standards as newer houses, even though items in both might be performing the function for which they are intended. We do not hold ourselves to be specialists for any particular item; nor are we engineers. We are a general real estate inspection company. This inspection report covers only the items listed in the report, which are reasonably observable, and are based only on the present condition of those items.
3. The on-site inspection is performed in accordance with the TREC Rules, Section and Sub-Section 535.222, Standards of Practice, and no other standards, from any source, shall apply. All state licensed inspectors are required to comply with the TREC Standards, many of which are open to interpretation on the part of the individual inspector. The inspection process is limited, by law, to visual only observations, operation and testing methods, which includes the use of non-destructive equipment, without dismantling of components or moving of household items or personal belongings. Although the inspection process and report may contain observations of or references to suspect building code violations, total compliance with structural and mechanical codes, specifications, statutes, and/or ordinances are specifically excluded from the TREC Standards of Practice. In addition, cosmetic defects and/or obvious damage, which may be attributed to normal wear and tear, especially in pre-owned properties, are excluded from this inspection process. You may obtain a copy of the TREC Standards of Inspection by contacting the Texas Real Estate Commission by mail at P.O. Box 12199, Austin, TX 78711-2188, by telephone at 1-800-250-8732 or 1-512-459-6544, or by internet @ www.trec.state.tx.us.
4. The parties understand and agree that the Inspector and its employees and its agents assume no liability or responsibility for the costs of repairing or replacing any unreported defects or deficiencies either current or arising in the future or any property damage, consequential damage or bodily injury of any nature. If repairs or replacement is done without giving the Inspector the required notice, the Inspector will have no liability to the Client. The client further agrees that the Inspector is liable only up to the cost of the inspection.
5. The parties agree and understand the Inspector is not an insurer or guarantor against defects in the structure, items, components or systems inspected. INSPECTOR MAKES NO WARRANTY, EXPRESS OR IMPLIED, AS TO THE FITNESS FOR USE, CONDITION, PERFORMANCE OR ADEQUACY OF ANY INSPECTED STRUCTURE, ITEM, COMPONENT, OR SYSTEM. We do not move furniture, rugs, paintings, or other furnishings, There is no responsibility expressed or implied for latent defects, or for defects not reasonably observable at the time of the inspection, or for defects that would require the removal of major or permanent coverings for observation. No representation is made concerning any condition other than the operability of any item. No representation is made as to the future performance of any item.

6.If Client is married, Client represents that this obligation is a family obligation incurred in the interest of the family.

7.Systems, items, and conditions which are not within the scope of the building inspection include, but are not limited to: radon, formaldehyde, lead paint, asbestos, toxic or flammable materials, molds, fungi, other environmental hazards; pest infestation; security

Page 3 of 17

REI 7-5 (Revised 05/4/2015)

Client: Lee Palmer

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

and fire protection systems; household appliances; humidifiers; paint, wallpaper and other treatments to windows, interior walls, ceilings and floors; recreational equipment or facilities; underground storage tanks, energy efficiency measurements; concealed or private secured systems; water wells; heating systems accessories; solar heating systems; sprinkling systems; water softener; central vacuum systems, telephone, intercom or cable TV systems; antennae, lightning arrestors, trees or plants; governing codes, ordinances, statutes and covenants and manufacturer specifications. Client understands that these systems, items and conditions are excepted from this inspection. Any general comments about these systems, items and conditions of the written report are informal only and DO NOT represent an inspection.

8.The Inspection and report are performed and prepared for the sole and exclusive use and possession of the Client. No other person or entity may rely on the report issued pursuant to this Agreement. In the event that any person, not a party to this Agreement, makes any claim against Inspector, its employees or agents, arising out of the services performed by Inspector under this Agreement, the Client agrees to indemnify, defend and hold harmless Inspector from any and all damages, expenses, costs and attorney fees arising from such a claim.

9.The Inspection will not include an appraisal of the value or a survey. The written report is not a compliance inspection or certification for past or present governmental codes or regulations of any kind.

10.In the event of a claim by the Client that an installed system or component of the premises which was inspected by the Inspector was not in the condition reported by the Inspector; the Client agrees to notify the Inspector at least 72 hours prior to repairing or replacing such system or component. The Client further agrees that the Inspector is liable only if there has been a complete failure to follow the standards included in the report or State law. Furthermore, any legal action must be brought within six months from the date of the inspection or will be deemed waived and forever barred.

11.This inspection report is not intended as a tool for negotiating a sale or contract amount, nor is it not normally intended to enhance or hinder a sale; i.e., it is not intended as advice to buy or not to buy the property. As a prudent inspector, I believe it is my responsibility to inform you, my client, of everything I think you should know about the property while specifically addressing items that may be of concern especially those affecting value, durability and safety.

12.This Agreement represents the entire agreement between the parties and there are no other agreements either written or oral between them. This Agreement shall be amended only by written agreement signed by both parties. This Agreement shall be construed and enforced in accordance with the laws of the State of Texas, and if that states laws or regulations are more stringent than the forms of the agreement, the state law or rule shall govern.

ADDENDUM TO INSPECTION AGREEMENT

Any dispute, controversy, interpretations or claim including claims for, but not limited to, breach of contract, any form of negligence, fraud or misrepresentation arising out of, from or related to, this contract or arising out of, from or related to the inspection or inspection report shall be submitted to final and binding arbitration under the Rules and Procedures of the Expedited Arbitration of Home Inspection Disputes of Construction Arbitration Services, Inc. The decision of the Arbitrator appointed thereunder shall be the final and binding judgment on the Award may be entered in any Court of competent jurisdiction.

Client has read this entire Agreement and accepts and understands this Agreement as hereby acknowledged by receipt of and use of this report.

Client agrees to release reports to clients Realtor:

Signature:

Inspection Date: May 1, 2020

Client: Lee Palmer

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

I. STRUCTURAL SYSTEMS

A. Foundations

Type of Foundation: Slab on grade

Comments: The house foundation is performing as intended. No significant problems were observed.

Foundation elevation readings were taken throughout the house using Zipline Measurement equipment designed to check the level of the foundation. These readings did not deviate more than +/- 1/2". These deviations are within normal acceptable construction and performance standards.

Proper soil moisture maintenance and drainage around the slab is important to maintain stability and integrity of the foundation. Poor moisture maintenance can result in considerable structural movement of the slab. This condition should be monitored.

B. Grading and Drainage - Comments:

C. Roof Covering Materials

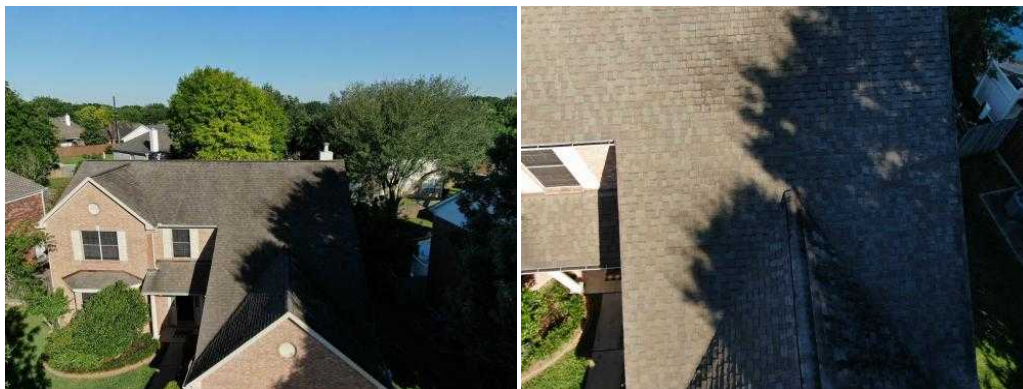
Type of Roof Covering: Composition shingles

Viewed from: Due to the height, the roof was inspected by drone.

Comments: The roof covering appears to be approximately 10 years of age., Normal gravel loss due to common wear and tear was observed. No severe gravel loss or shingle damage was observed.

Not all roofs are walked on due to the height, slope of roof, weather and safety concerns. Weather conditions, high winds, hail and extreme temperatures affect roofing from day to day. The condition of the roof should be constantly monitored. (Roofing is not inspected or checked for insurability, due to the fact that different insurance companies have different standards or requirement for insuring homes.), Normal gravel loss was noted with no severe damaged observed.

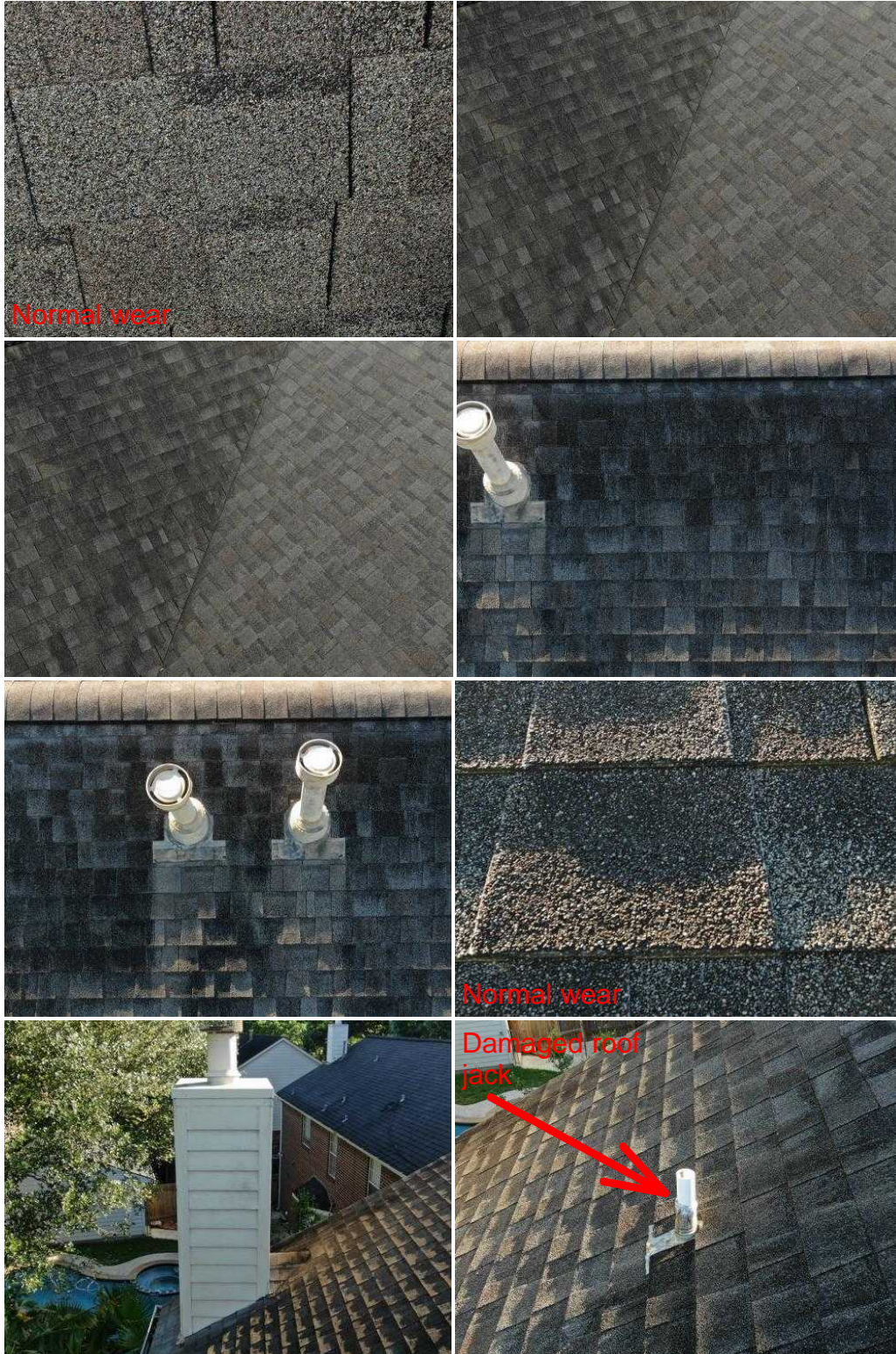
The lead roof jack vent pipe flashing was noted to be damaged around the top of the roof jack. These protective flashings prevent moisture from leaking around the vent pipe that is penetrating the roof. Often times squirrels or other animals chew on these resulting in this type of damage. This damage should be corrected.



I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

C. Roof Covering Materials (continued)



I=Inspected NI=Not Inspected NP=Not Present D=Deficient

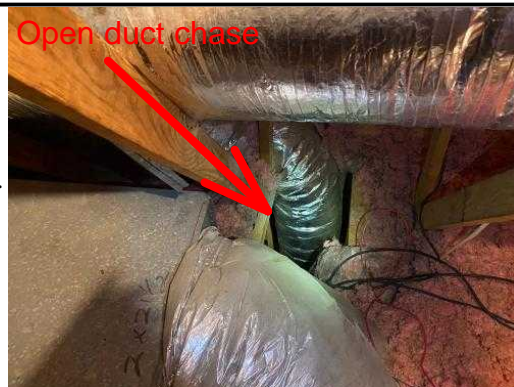
I NI NP D

D. Roof Structures and Attics

Viewed from: Entered attic
 Approximate Average Depth of Insulation: 12 inches
 Comments:

The attic access drop down stairs gaps when closed resulting in thermal loss. This should be corrected as needed.,

Proper fireblocking is needed to form an effective fire barrier between the top floor and the attic per IRC Section R602.8. An open air duct chase was noted in an area in the attic which is not sealed with proper firestopping material resulting in exposed studs and structural members between the attic and the second floor. Fire-blocking provides a potential 30 minute fire stop to prevent the spread of fire through open spaces such as this. Fire stopping should be installed in the attic over this opening using appropriate material such as sheetrock, metal, or 2" thick lumber. In addition the chase is not insulated resulting in thermal loss through the interior sheetrock walls which are exposed to the high temperature extremes of the attic. Sealing this opening and covering the seal with insulation will correct this condition.



E. Walls (Interior and Exterior) - Comments:

F. Ceilings and Floors - Comments:

G. Doors (Interior and Exterior) - Comments:

The master closet pocket door does not have door pull hardware.



H. Windows - Comments: Double pane windows, A random sample of windows was tested with no severe operational damage or defects.

Numerous window screens are missing on the rear of the house and should be replaced.

Vinyl window trim damage was noted on several windows at the latches. This has resulted from the latches hitting the trim. This does not have an adverse affect on the window operation.



I. Stairways (Interior and Exterior) - Comments:

The stair newel post are loose at the top and bottom of the stairs.

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

I. Stairways (Interior and Exterior) (continued)

J. Fireplaces and Chimneys - Comments: The fireplace is equipped with gas logs.

K. Porches, Balconies, Decks, and Carports - Comments:

The rear fence is leaning.

L. Other - Comments:

II. ELECTRICAL SYSTEMS

A. Service Entrance and Panels - Comments: The breaker panel is located on the rear of the house and is equipped with a 150 amp main breaker.

Circuits for all family room, dining room, living room, parlors, libraries, dens, bedroom, sunrooms, recreation rooms, closets, hallways or similar rooms or areas should be equipped with Arc Fault Breakers located in the breaker panel per current new construction National Electric Code 210-12b and IRC code E3802.9. Arc Faults have not been installed for all of these locations as is common for this age home. They were not required when this house was built when this house was built.

The main aluminum electrical service connections in the breaker panel are not covered with an antioxidant that protects the wiring connection from corrosion.



B. Branch Circuits, Connected Devices, and Fixtures

Type of Wiring: Copper

Comments: All available switches and outlets were tested. No furniture or appliances were moved or unplugged during this inspection., The smoke alarms were tested by pushing the manual check button.

The outlets below the dining room shelf unit are inoperable.



I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

A. Heating Equipment

Type of Systems: Forced air central system

Energy Sources: Natural gas

Comments: Two heating units are located in the attic and are equipped with electronic ignition. The systems were tested with no apparent operating defects. Manufactured by American Standard in 2007.

As is not uncommon for homes of this age and location, the heating system is older. It may require a slightly higher level of maintenance, and may be more prone to major component breakdown. Predicting the frequency or time frame for repairs on any mechanical device is virtually impossible.,

Due to the lack of known maintenance history on the heating and A/C systems, it is recommended to have the units serviced by a licensed HVAC technician. This equipment should be services at least once a year.,

The gas piping for the heater is not equipped with a "sediment trap" as required by current IRC code Section G2418 to allow for collection of sediment and condensate from the gas line. The leg must be in an easily accessible location to facilitate cleaning and condensate removal.

B. Cooling Equipment

Type of Systems: Forced air central system

Comments: The house is equipped with a 3 ton and a 2 ton A/C system both manufactured by American Standard in 2007.

Both systems were tested with no apparent operating defects. , The A/C temperature differentials were measured at 18 degrees which is within the required 15-20 degrees range.

As is not uncommon for homes of this age and location, the air conditioning system is older. It may require a slightly higher level of maintenance, and may be more prone to major component breakdown. Predicting the frequency or time frame for repairs on any mechanical device is virtually impossible.,

Due to the lack of known maintenance history on the heating and A/C systems, it is recommended to have the units serviced by a licensed HVAC technician. This equipment should be services at least once a year.

, The manufacturer requires a maximum 30 amp and 20 amp breaker in the breaker panel for the A/C unit. The current breakers are 40 amp breaker. This should be corrected to prevent possible damage to the unit or void the manufacturers warranty.

C. Duct Systems, Chases, and Vents - Comments: Insulated flex

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

IV. PLUMBING SYSTEM

A. Plumbing Supply, Distribution Systems and Fixtures

Location of water meter: Front of house
Location of main water supply valve: Right side of the house
Static water pressure reading: 50 PSI
Comments: Copper water supply piping

B. Drains, Wastes, and Vents - Comments: PVC,

It should be noted that house that are older which have experienced past foundation problems or common settlement and shifting of soil as well as house with larger trees around the house can experience damage to the underground and through the slab plumbing piping resulting in poor drainage and leakage. This condition can have an adverse effect on the foundation. No evidence of piping drain line damage was observed at this time. Further investigation by a leak detection contractor would be required to confirm the integrity of this type of piping.

C. Water Heating Equipment

Energy Sources: Natural gas
Capacity: 40 gallon
Comments: 40 gallon unit in the attic The water heater was recently manufactured. Water heaters have an average life expectancy of 10-15 years.,

Improper clearance was observed between the water heater exhaust vent piping and the wood roof decking. Current code required a minimum 1" clearance between the piping and any combustible material.



D. Hydro-Massage Therapy Equipment - Comments:

E. Other - Comments:

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

V. APPLIANCES

A. Dishwashers - Comments:

B. Food Waste Disposers - Comments:

C. Range Hood and Exhaust Systems - Comments:

D. Ranges, Cooktops, and Ovens - Comments:

The oven should be cleaned before use.

E. Microwave Ovens - Comments:

F. Mechanical Exhaust Vents and Bathroom Heaters - Comments:

The upstairs bathroom exhaust vent piping is currently terminating in the eave or soffit area and not “directly to the outside” as directed by the current code, IRC Section R303.3. The proper installation would require this exhaust piping terminate at a sealed outlet that would prohibit ventilation air and humidity from exhausting into the attic space. Exhaust vent termination into the soffit area is no longer acceptable per the current code requirements.

G. Garage Door Operators - Comments:

H. Dryer Exhaust Systems - Comments:

I. Other - Comments:

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

VI. OPTIONAL SYSTEMS

A. Landscape Irrigation (Sprinkler) Systems - Comments:

B. Swimming Pools, Spas, Hot Tubs, And Equipment

Type of Construction:

Comments:

C. Outbuildings - Comments:

D. Private Water Wells (A coliform analysis is recommended)

Type of Pump:

Type of Storage Equipment:

Comments:

E. Private Sewage Disposal (Septic) Systems

Type of System:

Location of Drain Field:

Comments:

F. Other - Comments:

Summary

I. STRUCTURAL SYSTEMS

C. Roof Covering Materials The roof covering appears to be approximately 10 years of age., Normal gravel loss due to common wear and tear was observed. No severe gravel loss or shingle damage was observed.

Not all roofs are walked on due to the height, slope of roof, weather and safety concerns. Weather conditions, high winds, hail and extreme temperatures affect roofing from day to day. The condition of the roof should be constantly monitored. (Roofing is not inspected or checked for insurability, due to the fact that different insurance companies have different standards or requirement for insuring homes.), Normal gravel loss was noted with no severe damaged observed.

The lead roof jack vent pipe flashing was noted to be damaged around the top of the roof jack. These protective flashings prevent moisture from leaking around the vent pipe that is penetrating the roof. Often times squirrels or other animals chew on these resulting in this type of damage. This damage should be corrected.



Summary (continued)

C. Roof Covering Materials (continued)



D. Roof Structures and Attics

The attic access drop down stairs gaps when closed resulting in thermal loss. This should be corrected as needed.,

Proper fireblocking is needed to form an effective fire barrier between the top floor and the attic per IRC Section R602.8. An open air duct chase was noted in an area in the attic which is not sealed with proper firestopping material resulting in exposed studs and structural members between the attic and the second floor. Fire-blocking provides a potential 30 minute fire stop to prevent the spread of fire through open spaces such as this. Fire stopping should be installed in the attic over this opening using appropriate material such as sheetrock, metal, or 2" thick lumber. In addition the chase is not insulated resulting in thermal loss through the interior sheetrock walls which are exposed to the high temperature extremes of the attic. Sealing this opening and covering the seal with insulation will correct this condition.



Summary (continued)

G. Doors (Interior and Exterior)

The master closet pocket door does not have door pull hardware.



H. Windows Double pane windows, A random sample of windows was tested with no severe operational damage or defects.

Numerous window screens are missing on the rear of the house and should be replaced.

Vinyl window trim damage was noted on several windows at the latches. This has resulted from the latches hitting the trim. This does not have an adverse affect on the window operation.



I. Stairways (Interior and Exterior)

The stair newel post are loose at the top and bottom of the stairs.

K. Porches, Balconies, Decks, and Carports

The rear fence is leaning.

II. ELECTRICAL SYSTEMS

A. Service Entrance and Panels The breaker panel is located on the rear of the house and is equipped with a 150 amp main breaker.

Circuits for all family room, dining room, living room, parlors, libraries, dens, bedroom, sunrooms, recreation rooms, closets, hallways or similar rooms or areas should be equipped with Arc Fault Breakers located in the breaker panel per current new construction National Electric Code 210-12b and IRC code E3802.9. Arc Faults have not been installed for all of these locations as is common for this age home. They were not required when this house was built when this house was built.

The main aluminum electrical service connections in the breaker panel are not covered with an antioxidant that protects the wiring connection from corrosion.



Summary (continued)

B. Branch Circuits, Connected Devices, and Fixtures All available switches and outlets were tested. No furniture or appliances were moved or unplugged during this inspection., The smoke alarms were tested by pushing the manual check button.

The outlets below the dining room shelf unit are inoperable.



III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

A. Heating Equipment Two heating units are located in the attic and are equipped with electronic ignition. The systems were tested with no apparent operating defects. Manufactured by American Standard in 2007. ,

As is not uncommon for homes of this age and location, the heating system is older. It may require a slightly higher level of maintenance, and may be more prone to major component breakdown. Predicting the frequency or time frame for repairs on any mechanical device is virtually impossible.,

Due to the lack of known maintenance history on the heating and A/C systems, it is recommended to have the units serviced by a licensed HVAC technician. This equipment should be services at least once a year.,

The gas piping for the heater is not equipped with a “sediment trap” as required by current IRC code Section G2418 to allow for collection of sediment and condensate from the gas line. The leg must be in an easily accessible location to facilitate cleaning and condensate removal.

B. Cooling Equipment The house is equipped with a 3 ton and a 2 ton A/C system both manufactured by American Standard in 2007. Both systems were tested with no apparent operating defects. , The A/C temperature differentials were measured at 18 degrees which is within the required 15-20 degrees range.

As is not uncommon for homes of this age and location, the air conditioning system is older. It may require a slightly higher level of maintenance, and may be more prone to major component breakdown. Predicting the frequency or time frame for repairs on any mechanical device is virtually impossible.,

Due to the lack of known maintenance history on the heating and A/C systems, it is recommended to have the units serviced by a licensed HVAC technician. This equipment should be services at least once a year.

, The manufacturer requires a maximum 30 amp and 20 amp breaker in the breaker panel for the A/C unit. The current breakers are 40 amp breaker. This should be corrected to prevent possible damage to the unit or void the manufacturers warranty.

Summary (continued)

IV. PLUMBING SYSTEM

C. Water Heating Equipment 40 gallon unit in the attic, The water heater was recently manufactured. Water heaters have an average life expectancy of 10-15 years.,

Improper clearance was observed between the water heater exhaust vent piping and the wood roof decking. Current code required a minimum 1" clearance between the piping and any combustible material.



V. APPLIANCES

D. Ranges, Cooktops, and Ovens

The oven should be cleaned before use.

F. Mechanical Exhaust Vents and Bathroom Heaters

The upstairs bathroom exhaust vent piping is currently terminating in the eave or soffit area and not "directly to the outside" as directed by the current code, IRC Section R303.3. The proper installation would require this exhaust piping terminate at a sealed outlet that would prohibit ventilation air and humidity from exhausting into the attic space. Exhaust vent termination into the soffit area is no longer acceptable per the current code requirements.