

*Ayana Mack*

H.C.F.C.D. DRAINAGE EASEMENT

$R=1004.43'$   
 $A=58.51'$

FND POST  
@ 0.4'

FND POST  
@ 0.55'

ELEC

16' U.E.

TEL CTV

5'x 20' A.E.

LOT 24

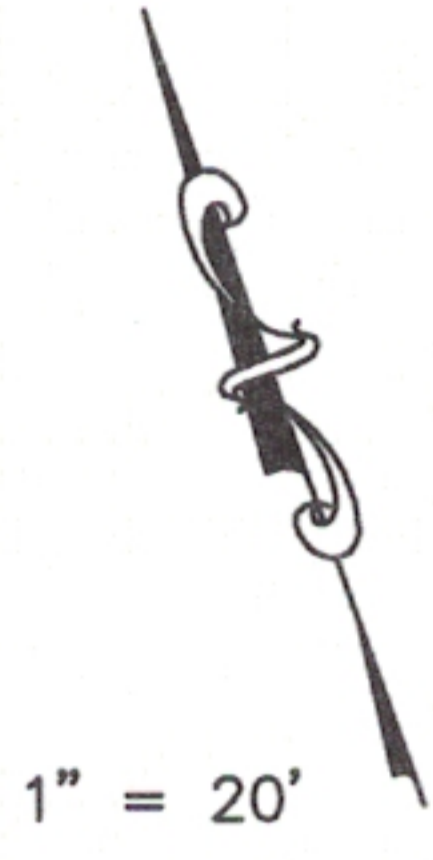
LOT 26

SCREENED  
WOOD  
DECK

LOT 25  
BLOCK 18

BRICK & FRAME  
RESIDENCE

WOOD  
DECK



1" = 20'

N 22°28'47" E 120.00'

S 19°08'32" W 120.00'

$A=65.50'$

$A=65.50'$   $R=1124.43'$

$A=25.98'$

FND 1/2" I.R. (DCM)

FND 5/8" I.R. (BENT)

FND 1/2" I.R. (DCM)

FND 5/8" I.R. (BENT) @ P.R.C.

VILLAGE SPRINGS DRIVE  
(60' R.O.W.)

BEARINGS BASED ON SUBDIVISION PLAT  
DCM = DIRECTIONAL CONTROL MONUMENT  
B.L. = BUILDING LINE  
U.E. = UTILITY EASEMENT  
A.E. = AERIAL EASEMENT  
S.S.E. = SANITARY SEWER EASEMENT  
STM.S.E. = STORM SEWER EASEMENT

Fence locative ties are approximate and may not be used for boundary determination.  
Bearings based on identified monuments along the right-of-way line of Village Springs Drive.  
3' Drainage Easements (H380639)  
Building lines per restrictions (G987640)  
Agreement for electric service (G167067)

- OVERHEAD ELECTRIC EASEMENT
- BUILDING LINE
- FENCE
- GAS METER
- COVER
- CONCRETE



Derek Hoffpauir  
GF No. 3028919-04671

SURVEYOR INFORMATION:

LAPLANT SURVEYORS, INC.  
17150 BUTTE CREEK 135  
Houston, Texas 77090  
281-440-8890  
orders@houstonlandsurveying.com

JOB NUMBER: 190928

CERTIFIED TO:  
Ngech Chang  
Ayana Mack

NOTES

LEGAL DESCRIPTION:

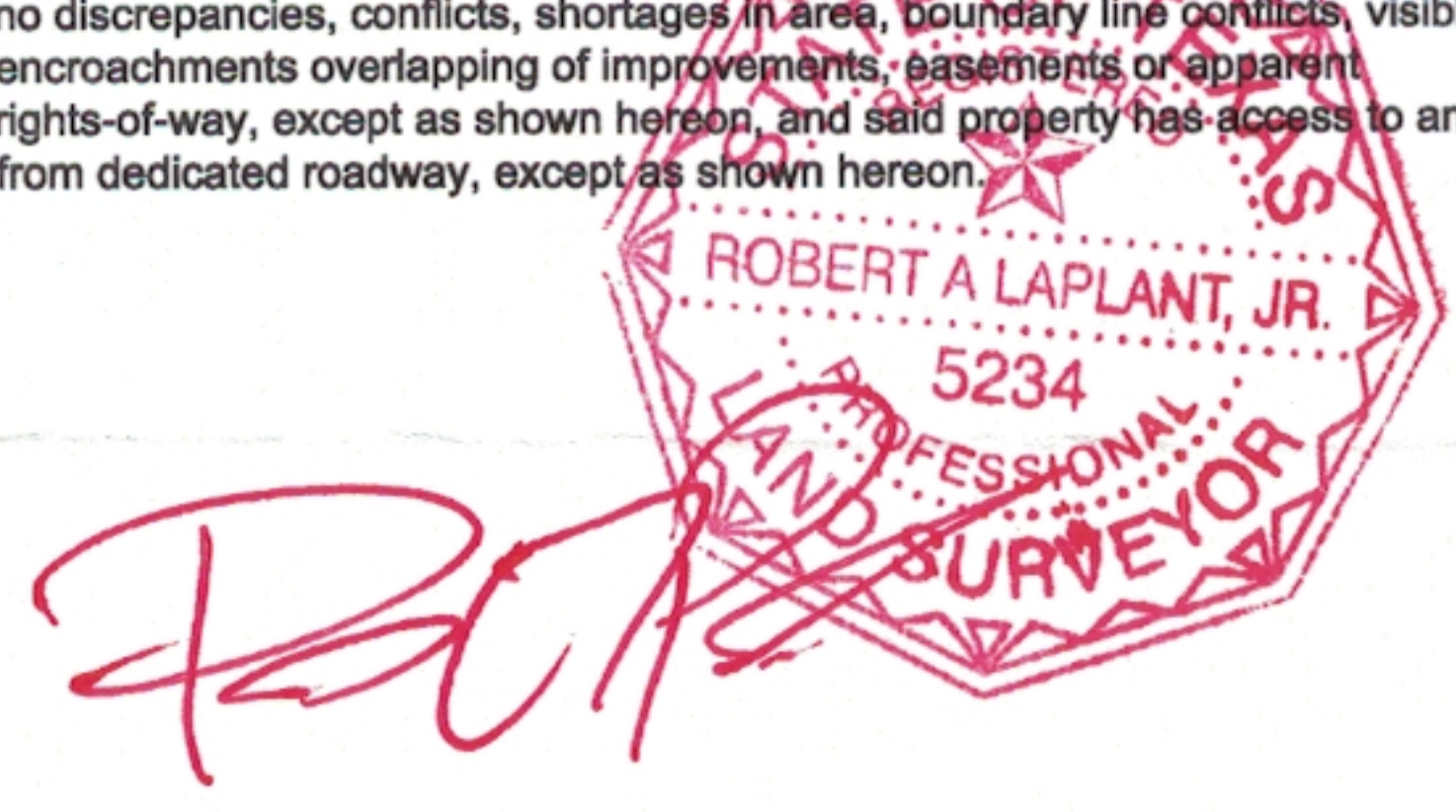
Lot 25, Block 18, Section 2  
Elm Grove Village  
Volume 286, Page 139  
Harris County Map Records  
5118 Village Springs Drive  
Kingwood, Texas 77339

FLOOD ZONE

SUBJECT PROPERTY SHOWN HEREON APPEARS TO BE LOCATED IN FLOOD ZONE "AE", SPECIAL FLOOD HAZARD AREA, PER F.I.R.M. PANEL NUMBER 48201C-03051, LAST REVISION DATE 6-18-07. THIS SURVEYOR MAKES NO GUARANTEES AS TO THE ACCURACY OF THE ABOVE INFORMATION. THE LOCAL F.E.M.A. AGENT SHOULD BE CONTACTED FOR VERIFICATION.

CERTIFICATION

The undersigned does hereby certify that this survey was this day made, on the ground of the property, legally described hereon and correct, and that there are no discrepancies, conflicts, shortages in area, boundary line conflicts, visible encroachments overlapping of improvements, easements or apparent rights-of-way, except as shown hereon, and said property has access to and from dedicated roadway, except as shown hereon.



SURVEYOR'S NAME: ROBERT A. LAPLANT, JR.  
DATED: 11-25-2019  
NOT VALID WITHOUT AN AUTHENTICATED SIGNATURE AND AUTHENTICATED SEAL

THIS SURVEY IS BASED ON TITLE COMMITMENT AS PROVIDED BY TITLE COMPANY, AND IS CERTIFIED FOR THE ABOVE DESCRIBED TRANSACTION ONLY AND NOT VALID FOR ANY OTHER TRANSACTIONS NOT DATED HEREON. SURVEYOR SHALL HAVE NO LIABILITY FOR ANY SUCH USE.

FIRM No. 10145800