

CITY ORDINANCES
 **RESTRICTIVE COVENANTS
 ***BORDER GUIDELINES

WIRE FENCE - X
CHAIN LINK FENCE - O
IRON FENCE - I
WOOD FENCE - W
OVER-HEAD UTILITIES - U

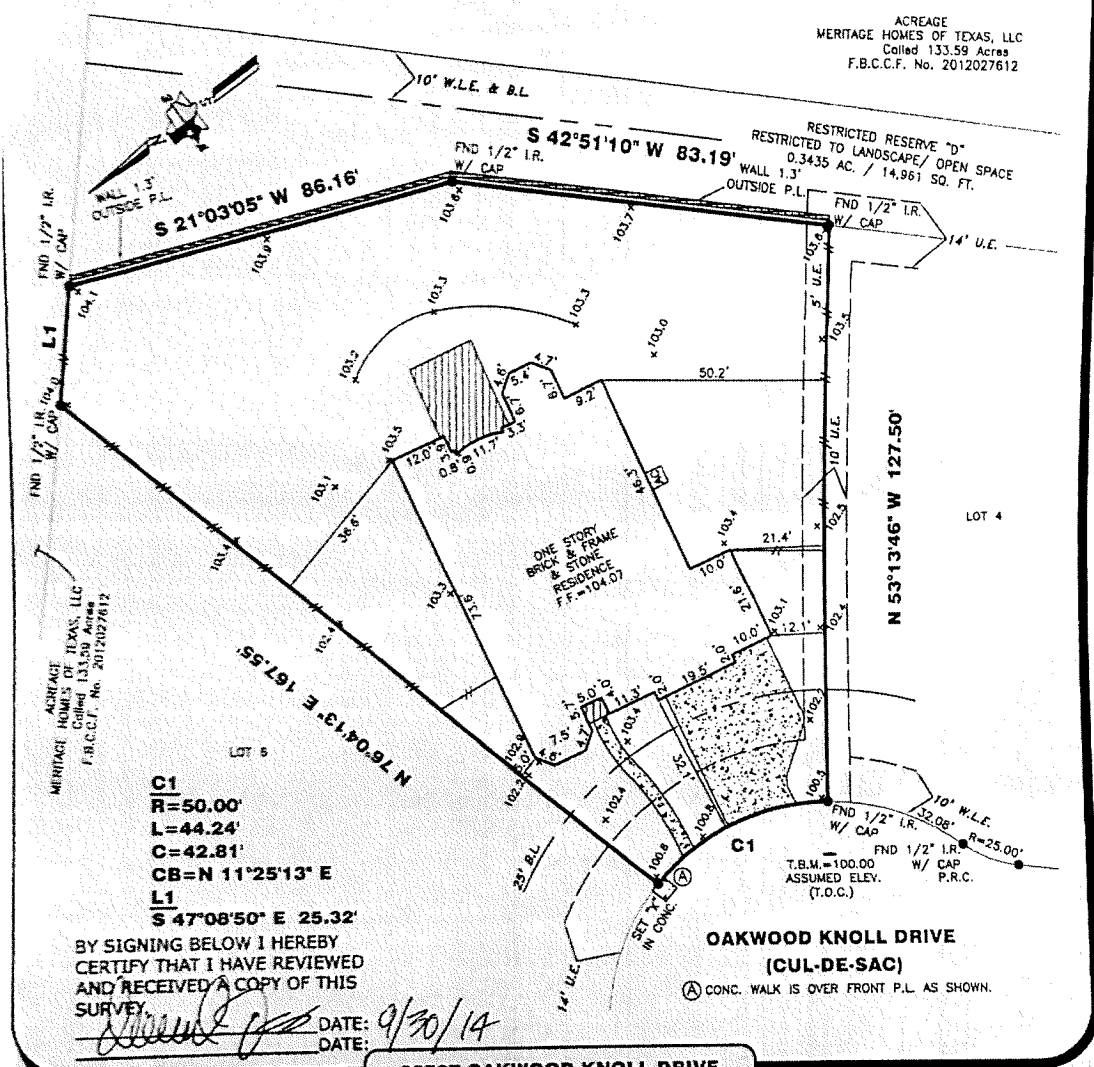
BL = BUILDING LINE
FL = PROPERTY LINE
UE = UTILITY EASEMENT
AE = AERIAL EASEMENT
MH = MANHOLE
FNC = FENCE
BUILDING LINE
ESMT LINE
AERIAL ESMT

IR = IRON ROD
IP = IRON PIPE
PUE = PUBLIC UTILITY ESMT
PAE = PERMANENT ACCESS ESMT
MUE = MUNICIPAL UTILITY ESMT
SSE = SANITARY SEWER ESMT
WLE = WATERLINE EASEMENT
ROW = RIGHT OF WAY
FND = FOUND

LEGEND
 CONCRETE
 COVERED
 SDD

ELECT BOX
A/C PAD
FIRE HYDRANT
LIGHT STANDARD
UTILITY POLE
MANHOLE
WATER METER
UTIL. PEDESTAL

SCALE 1"=30'



PROPERTY INFORMATION

LOT 5 BLOCK 2

SUBDIVISION:
 MONTERREY AT WILLOWBEND SEC. 2

RECORDING INFO:
 PLAT NO. 20130140, PLAT RECORDS,
 FORT BEND COUNTY, TEXAS

BORROWER:
 RICHARD DAVIS

TITLE CO.
 CAREFREE TITLE AGENCY, INC.
 G.F.# HOU-5080 G.F. DATE: 12-03-13

SURVEYED FOR:
 MERITAGE CORP./LEGACY & HAMMONDS HOMES

DRAWING INFORMATION

TRI-TECH JOB NO: 112678-13
 CLIENT JOB NO: 65141310147
 DRAWN BY: MR
 BEARING BASE: REFERRED TO PLAT NORTH
 FIELD DATE: 02/01/14

FLOOD INFORMATION

F.I.R.M. NO: 48157C PANEL: 01101
 REVISED DATE: 04-02-14 ZONE: X

FLOOD INFORMATION PROVIDED HEREON IS BASED ON LOCATING THE LOCATION OF THE SUBJECT TRACT ON THE FLOOD INSURANCE RATE MAPS. THE INFORMATION SHOULD BE USED TO DETERMINE FLOOD INSURANCE RATES ONLY AND IS NOT INTENDED TO IDENTIFY SPECIFIC FLOODING CONDITIONS. WE ARE NOT RESPONSIBLE FOR THE F.I.R.M.'S ACCURACY. FLOOD INFORMATION IS SUBJECT TO LETTER OF ANY CHANGE.

NOTES:

ALL BASEMENTS AND BUILDING LINES SHOWN ARE PER THE RECORDED PLAT UNLESS OTHERWISE NOTED.

ALL ROD CAPS ARE STAMPED "GUSTON", UNLESS OTHERWISE NOTED.

SUBJECT TO A DRAINAGE EASEMENT 20' ON EACH SIDE OF THE CENTERLINE OF ALL NATURAL DRAINAGE COURSES IN THE ADDITION AS SHOWN ON RECORDED PLAT OF S/D ADDITION.

RESTRICTIVE COVENANTS AND EASEMENTS AS DEFINED PER PLAT NO. 20130140, F.B.C.C.F. FILE NO. 2012027612.

C.D.P. ORDINANCE 88-478 PER A.C.C.F. #13288 AND C.D.P. ORDINANCE 88-472 PER C.D.P. #13287 AND AMENDED BY C.D.P. ORDINANCE 199-262.

PROPERTY SUBJECT TO RECORDED RESTRICTIONS, REGULATIONS, & ORDINANCES IF ANY.

ALL BUILDING LINES, RECORDED EASEMENTS, UNRECORDED EASEMENTS, BUILDING RESTRICTIONS (DEED RESTRICTIONS, ETC.) AND ZONING ORDINANCES (INCLUDING CITY OF HOUSTON) IF ANY, THAT AFFECT SUBJECT PROPERTY SHOULD BE REVIEWED.

THIS SURVEY DOES NOT ADDRESS ANY EASES, EUTERS OR OTHER OVERHANGING STRUCTURE FEATURES, WHICH MAY PROTRUDE OVER BOUNDARY, EASEMENT AND/OR BUILDING LINES UNLESS OTHERWISE SHOWN HEREON.

A DRIVING HOUR AREA, EASEMENT MAY EXIST ADJACENT TO ANY EXISTING UTILITY. OWNER AND BUILDER SHOULD VERIFY WITH APPLICABLE UTILITY COMPANIES PRIOR TO PLANNING OR CONSTRUCTION.

REVISIONS

NO.	DATE	REASON	BY
1	01-16-14	FORM	JF-TDA
2	05-16-14	FINAL	JF-TDA

TRI-TECH SURVEYING COMPANY, L.P.

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 Houston Texas, 77042 Fax: (713) 667-4610

CERTIFICATION FIRM REG NUMBER 10115900

I, the undersigned registered professional land surveyor, do hereby state that the plat shown hereon represents a boundary survey made on the ground under my supervision of the tract or parcel of land, according to the map or plat thereof, indicated hereon.

THIS SURVEY IS VALID FOR THIS TRANSACTION ONLY. THIS SURVEY IS INVALID WITHOUT THE ORIGINAL EMBOSSED SURVEYOR'S SEAL AND SIGNATURE.

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[Signature]
 SURVEYOR REGISTRATION