

BRYAN & BRYAN INSPECTIONS

281.484.8318  InspectorTeam.com

Inspection Report For:
307 Sorrelwood, League City, TX 77573



Prepared For: Jason Norcross

Inspection Date: 3/24/2017

Prepared By: Rene Guajardo TREC#5945

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Date: 3/24/2017	Time: 03:00 PM	Report ID: 20170324-307-Sorrelwood
Property: 307 Sorrelwood League City TX 77573	Customer: Jason Norcross	Real Estate Professional: Kevin Jones Keller Williams Realty Clear Lake/NASA

Comment Key or Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

Inspected (IN) = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

Not Inspected (NI) = I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

Not Present (NP) = This item, component or unit is not in this home or building.

Deficient (D) = The item, component or unit is not functioning as intended, or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

Remedy as Needed = Remedy as Needed is a recommendation for a third party evaluation of the noted component to determine the best method to remedy any and all deficiencies of the component . Licensed tradesmen should always be used when applicable. If not, use a qualified or certified tradesman.

General Maintenance = The primary goal of the inspection is identifying items that are deficient and in need of immediate repair or evaluation. In this report, additional items of interest are added for your consideration. General maintenance items are essentially a "heads up" for items that are not necessarily deficient or in need of "repair" but should be addressed for long term performance. An example would be caulking around the windows or clearing debris from the roof covering.

Limited/Inaccessible = Inaccessible, as defined under TREC guidelines, is any component that is not fully visibly accessible to the Inspector at the time of inspection. This includes, but is not limited to, home furnishings; boxes, automobiles or any other stored items as well as any components inside walls and ceilings and underneath the slab foundation. Any system or component not visible for any reason, by definition is inaccessible. TREC guidelines allows for Inspectors to subjectively determine accessibility. Client accepts that it is virtually impossible for the Inspector to notate every stored item in the inspected property. If Client desires inspection of any areas that are inaccessible, Client accepts responsibility to have the areas cleared for the inspection or, if desired, have the home re-inspected once the property is cleared of all items.

In Attendance:

Customer

Type of building:

Single Family (2 story)

Approximate age of building:

Over 25 Years

Occupancy:

The home was occupied at the time of inspection

Utilities:

All utilities were on during the inspection

Temperature:

70-75 Degrees

Weather:

Cloudy

Rain in last 3 days:

No

Summary

Bryan & Bryan Inspections

105 E. Spreading Oaks Ave.
Friendswood, TX 77546
(281) 484-8318

Customer
Jason Norcross

Address
307 Sorrelwood
League City TX 77573

I. Structural Systems

Remedy As Needed

B. Grading and Drainage

Inspected, Deficient

Replacement of any missing splash blocks at the base of all guttering downspouts is recommended to prevent soil erosion.

Gutters should be cleared of debris for proper drainage.



C. Roof Covering Materials

Inspected, Deficient

(3) There is physical evidence of shingle lift at multiple areas of roof covering. This is typically caused by high winds that lift the shingles but do not rip them off. These shingles do not re-adhere leaving them vulnerable to additional lift in high wind situations.



D. Roof Structures and Attics

Inspected, Deficient

(3) Noted vertical batt insulation that appears to have pulled away from the wall. For maximum R value, the insulation should be installed flush to the drywall.

Location(s): random areas



(4) The attic ladder door is not proper insulated or weather-stripped. This will help with keeping hot air inside the attic and not be pulled into the home.

E. Walls (Interior and Exterior)

Inspected

(4) Stress cracks are observed on the interior drywall. This is consistent with the structural movement of the home.

Location(s): Multiple Locations



F. Ceilings and Floors

Inspected, Deficient

Cracked floor tile and grout was observed at kitchen area.



G. Doors (Interior and Exterior)

Inspected, Deficient

(1) Doors between the garage and residence should be equipped with a self-closing device to secure the door without the use of manual force.



(2) Rear exterior storm door does not shut properly.

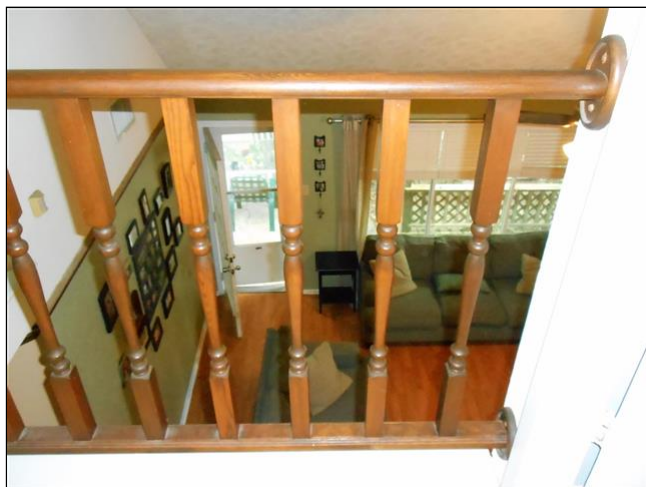


I. Stairways (Interior and Exterior)

Inspected, Deficient

Stairway handrails should turn in towards the wall at the upper end of the handrails as a safety measure to prevent an individual from getting caught on the open end of the handrail (safety).

Stair railing balusters are spaced greater than the recommended maximum spacing of 4" apart.



K. Porches, Balconies, Decks and Carports

Inspected, Deficient

Rear patio structure shows signs of water penetration and wood decay. Hanger brackets should be installed with nails specified by manufacturer. Recommend installation of rafter hangers for additional support and stability.



General Maintenance Summary

D. Roof Structures and Attics

Inspected, Deficient

(5) The screening on the attic gable vent has been damaged. This may allow access to rodents or other pest.



E. Walls (Interior and Exterior)

Inspected

(2) Cracks in exterior brick veneer consistent with normal settlement was observed at various areas of exterior. These are considered cosmetic at this time. Monitor as needed. Monitor. If the cracks continue to widen, consult a qualified contractor or professional engineer



Limited/Inaccessible

C. Roof Covering Materials

Inspected, Deficient

(2) General Photo of Roof Covering

The roof fastening method is not verified. The Inspector reasonably determines that actions of the inspector to ascertain the method of fastening may cause damage to the roofing shingles.

D. Roof Structures and Attics

Inspected, Deficient

(2) **Note:** Only accessible areas of the attic are inspected. The inspector does not crawl/walk over areas that may be unsafe or not easily accessible.

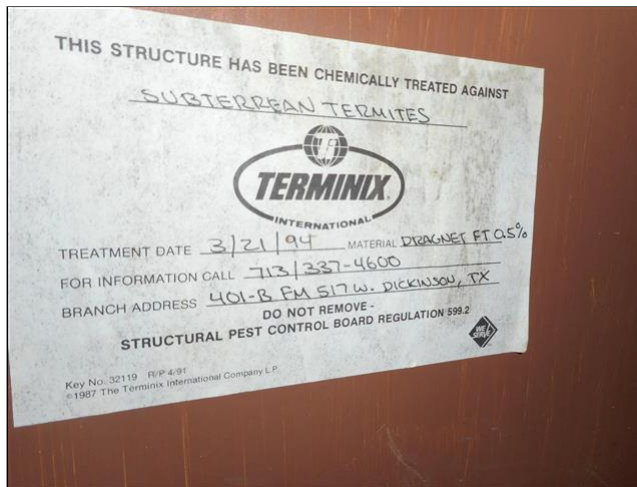
E. Walls (Interior and Exterior)

Inspected

(1) **Note:** The home was occupied at the time of inspection. The inspector does not move storage/furnishings to inspect items blocking visual observation of components. Items blocked by storage/furnishing are not inspected.

Note: Shelving and personal storage prevented complete inspection access to garage components. Inaccessible areas are not covered under the scope of this inspection.

(3) There is evidence of prior possible wood destroying insect activity on garage left wall. Recommend inquiry with seller for any treatment or warranty documentation.



H. Windows

Inspected

- (1) **Note:** If thermal windows are present, the time of day, temperature and dirty windows may prevent determinations of thermal seal failure.
- (2) Note: All accessible windows open and shut properly at this time.
- (3) Note: All accessible windows open and shut properly at this time.

II. Electrical Systems

Remedy As Needed

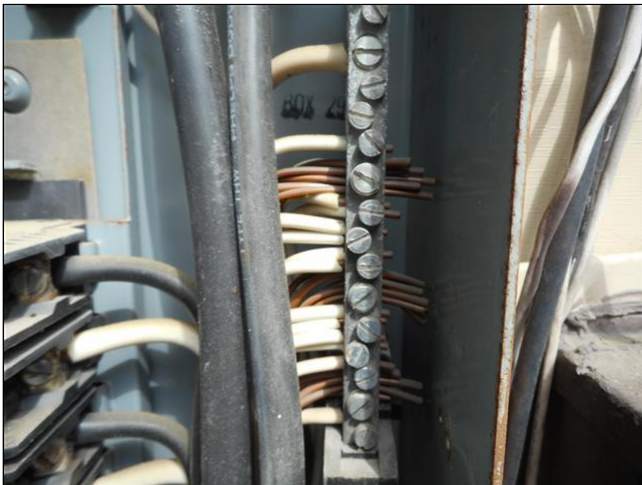
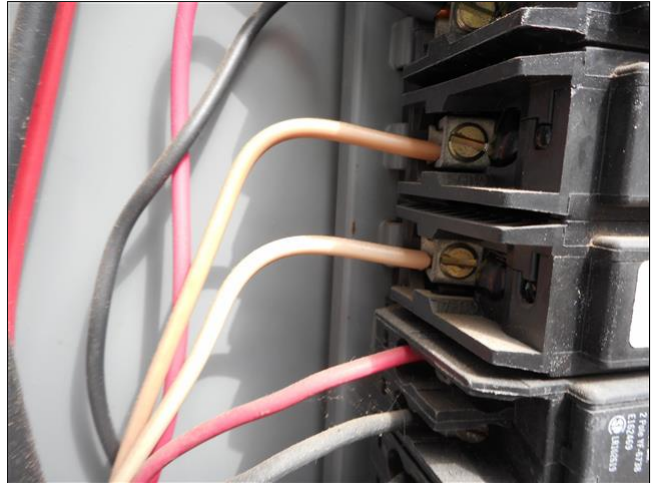
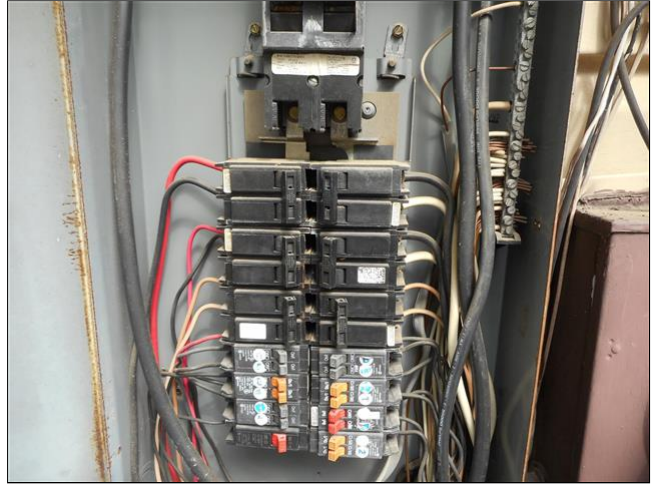
A. Service Entrance and Panels

Inspected, Deficient

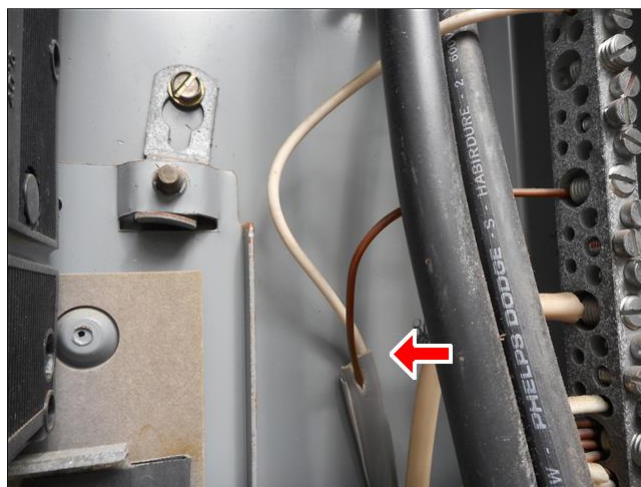
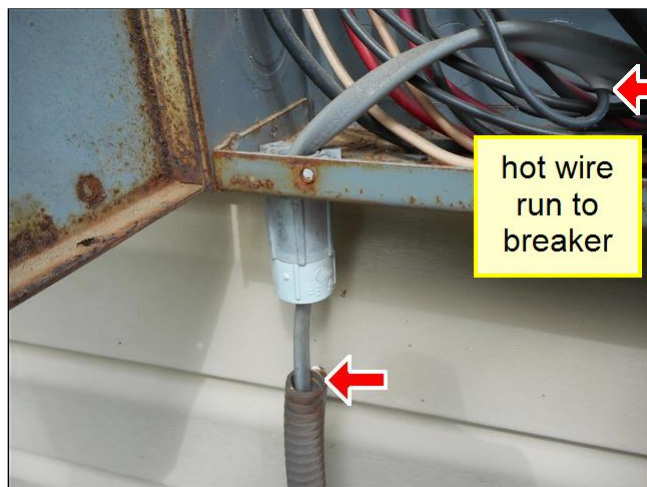
(1) General Photo of the Distribution Panel Arc-fault safety protection is not installed for all of the living and bedroom areas. This protection was required by the National Electric code for homes built after 2008. The Texas Real Estate Commission requires inspectors to list as "deficient" any arc-fault protection not installed in these areas; regardless of the homes age.

White wires connected to breakers should be marked as hot with black or red electrical tape.

"Double lugged" neutral wires on the breaker box neutral bar observed (improper): one neutral wire per connector is allowed.



(2) Conduit is not sealed under service panel.



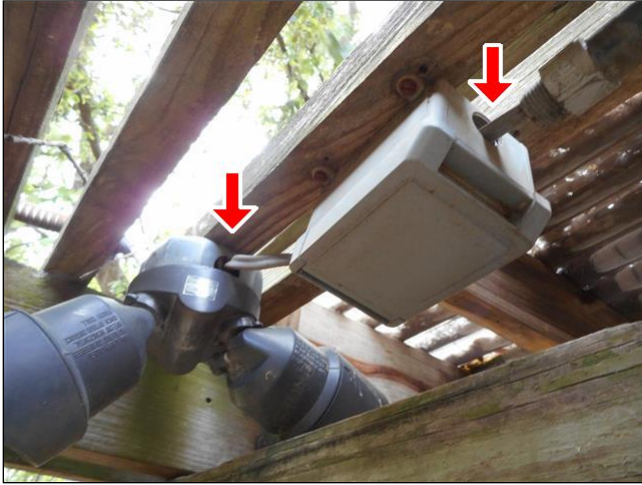
B. Branch Circuits, Connected Devices and Fixtures

Inspected, Deficient

(2) Current building standards recommend installation of ground fault protection at all receptacles including, but not limited to; all wet areas (within 36" of plumbing fixtures), kitchen, bathrooms, garage, and exterior. NO gfi protection was observed at kitchen.



(3) A full evaluation and repair costs estimates by an electrician is recommended due to multiple exterior light fixtures and conduits. Power source for rear patio light fixtures was not located. The fixtures do not appear to be functional. Various wires were improperly run through walls or gutters at rea patio and front and right exterior walls.



(4) Lights are not functioning. This may be a result of a bad bulb: test with new bulb and remedy if needed.
Location(s): front entrance, top of stairs, attic crawl space



Limited/Inaccessible

B. Branch Circuits, Connected Devices and Fixtures

Inspected, Deficient

(1) **Note:** GFI receptacles do not always reset after being tested. The inspector does not trip GFI receptacles in the garage or exterior if an operable freezer or refrigerator are present in the garage.

III. Heating, Ventilation and Air Conditioning Systems

Remedy As Needed

C. Duct Systems, Chases and Vents

Inspected, Deficient

Hole on side of return air plenum should be properly sealed to prevent penetration of unfiltered air from the attic.



IV. Plumbing System

Remedy As Needed

A. Plumbing Supply, Distribution System and Fixtures

Inspected, Deficient

(3) The master shower window stool does not have proper slope towards the tub to direct water away from the window. Water was observed penetrating through window frame during shower use. Cracked tile was observed at right side of window.



(4) Water flow is very weak at master bath left lavatory.



(5) Access panel covers are missing from master bathtub area.



B. Drains, Waste and Vents

Inspected, Deficient

(2) Slow drainage was indicated. The cause could not be determined. Evaluate and remedy as needed.

Location(s): hall bath lavatory



C. Water Heating Equipment

Inspected, Deficient

(4) The overflow pan and tpr drain lines should be routed to terminate at exterior.

General Maintenance Summary

C. Water Heating Equipment

Inspected, Deficient

(3) Note: The manufacturer recommends replacement of the TPR valve every three years to ensure proper emergency function. Inspection company does not test TPR valves due to safety hazard or possible damage to unit.



Limited/Inaccessible

A. Plumbing Supply, Distribution System and Fixtures

Inspected, Deficient

(2) **Note:** It is not uncommon for plumbing seals (gaskets, commode seals, etc.) to dry out when a property is vacant for an extended period of time. These dried out seals may crack and leak after a short period of time when placed back into service. If the property has been vacant, monitoring is recommended. Inspectors cannot determine life expectancy of plumbing seals or gaskets.

C. Water Heating Equipment

Inspected, Deficient

(2) The breaker for the water heater was off at time of inspection. Inspector turned breaker on to check water heater function. Unit appeared to be functioning properly.

V. Appliances

Remedy As Needed

D. Ranges, Cooktops and Ovens

Inspected, Deficient

(2) There is no anti-tipping device installed on the oven/range to prevent tipping if the door is climbed on while opened. This is a possible safety hazard. Evaluate and remedy as needed.

G. Garage Door Operator(s)

Inspected, Deficient

The safety beam sensors are improperly located.



H. Dryer Exhaust System

Inspected, Deficient

Cleaning of the dryer exhaust vent is recommended as normal maintenance and to prevent excessive lint build-up in the line. Vent cover should be secured.



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I NI NP D

I. Structural Systems

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

General Limitation/Notes:

- The interior component inspection is visual only and is non-intrusive.
- Hidden damage behind any interior wall finish cannot be determined. This is considered a "latent" defect and is beyond the scope of this inspection.
- Only accessible windows are operated; furniture or other stored items are not moved to gain access to windows.
- If thermal windows are present, dirt and the time of day may prevent determinations of thermal seal failure.
- Window locks and latches are NOT addressed under the scope of this inspection.
- Carbon monoxide detectors, security systems, and central vac systems are not covered under the scope of the inspection.
- Leak testing is not performed under the scope of this inspection (visual inspection only). If leak testing is desired, consult with a qualified roofing contractor.

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- Leak testing is not performed under the scope of this inspection (visual inspection only). If leak testing is desired, consult with a qualified roofing contractor.

General Limitation/Notes:

- Conditions which are not included in a home inspection unless specifically contracted include but are not limited to the following; fuel storage tanks, lead based paint, asbestos, toxic materials, hazardous waste, Radon, mold, and wood destroying insects. Also, water softeners and water treatment systems, swimming pools, spas, septic and well systems are not inspected unless specifically contracted.
- The interior component inspection is visual only and is non-intrusive.
- Hidden damage behind any interior wall finish cannot be determined. This is considered a "latent" defect and is beyond the scope of this inspection.
- Performance of an environmental mold inspection is beyond the scope of this inspection. If mold testing is desired, consult with a company that is licensed for environmental testing.
- Mold, asbestos, lead-based paint, "Chinese Drywall" or any other type of environmental assessment is beyond the scope of this inspection. If environmental evaluation is desired, consult with a company that specializes in that type of inspection.
- Built-in cabinets, cabinet framing, cabinet doors, hardware and veneer as well as all countertops are specifically excluded from inspection under the inspectors "Standards of Practice" established by the Texas Real Estate Commission.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

- Only accessible windows are operated; furniture or other stored items are not moved to gain access to windows.
- If thermal windows are present, dirt and the time of day may prevent determinations of thermal seal failure.
- Window locks and latches are NOT addressed under the scope of this inspection.
- Carbon monoxide detectors, security systems, and central vac systems are not covered under the scope of the inspection.
- Inspector does not determine effectiveness, outlet or condition of any below grade downspout extension(s) or drainage system(s).
- Detached decks, carports and other building components that are not structurally attached to the inspected property are NOT covered under the scope of this inspection.
- The roof fastening method is not verified. The Inspector reasonably determines that actions of the inspector to determine the method of fastening may cause damage to the roofing shingles. This Inspection is not intended to replace any verification for insurability by any homeowner's insurance company. Insurance companies have their own standards and requirements which may differ from acceptable building standards which govern our inspection. For insurability, your homeowners insurance provider should have the opportunity to evaluate the roof covering prior to closing.
- Leak testing is not performed under the scope of this inspection (visual inspection only). If leak testing is desired, consult with a qualified roofing contractor.

General Limitation/Notes:

- Conditions which are not included in a home inspection unless specifically contracted include but are not limited to the following; fuel storage tanks, lead based paint, asbestos, toxic materials, hazardous waste, Radon, mold, and wood destroying insects. Also, water softeners and water treatment systems, swimming pools, spas, septic and well systems are not inspected unless specifically contracted.
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- Performance of an environmental mold inspection is beyond the scope of this inspection. If mold testing is desired, consult with a company that is licensed for environmental testing.
- Mold, asbestos, lead-based paint, "Chinese Drywall" or any other type of environmental assessment is beyond the scope of this inspection. If environmental evaluation is desired, consult with a company that specializes in that type of inspection.
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- Window locks and latches are NOT addressed under the scope of this inspection.
- Carbon monoxide detectors, security systems, and central vac systems are not covered under the scope of the inspection.
- Inspector does not determine effectiveness, outlet or condition of any below grade downspout extension(s) or drainage system(s).
- Detached decks, carports and other building components that are not structurally attached to the inspected property are NOT covered under the scope of this inspection.
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- Leak testing is not performed under the scope of this inspection (visual inspection only). If leak testing is desired, consult with a qualified roofing contractor.

A. Foundations

Foundation: Poured Concrete/Slab on Grade

Comments:

Note: Differential foundation movement is a common occurrence in this area. It is important to monitor any building foundation on a periodic basis to ensure its continual, functional state and to help detect any differential movement that may need attention from a qualified professional. The best prevention is hydration. Maintaining a consistent moisture level in the soil around your foundation is your best protection. When the soil is depleted of moisture it may shrink and leave little support for you slab. Sprinkler systems work best but a soaker house set on a timer is beneficial as well. **Note:** This foundation was measured with the use of an electronic digital measurement tool. Multiple elevation points are registered on the foundation throughout the property to determine if there are elevation variations that indicate excessive movement of the foundation. At the time of this inspection, the measured areas do not indicate any variations that, in this inspectors OPINION, indicate any need for invasive repairs to the foundation unless a Deficiency or Recommendation is noted in this report. If buyer desires a second opinion or further analysis, a foundation company or structural engineer should be contacted.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

Note: There is evidence of prior structural movement. The movement does not indicate, in this Inspectors opinion, any need for invasive action at this time. Monitoring of the foundation is recommended. The measured areas indicate settlement primarily towards the rear of 1.5 inches or less.

B. Grading and Drainage

Comments:

Replacement of any missing splash blocks at the base of all guttering downspouts is recommended to prevent soil erosion.

Gutters should be cleared of debris for proper drainage.



C. Roof Covering Materials

Roof Covering: Architectural

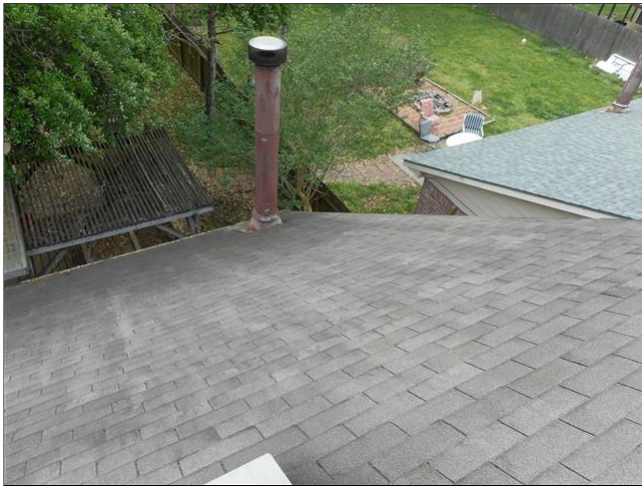
Viewed Roof Covering From: Walked Roof

Comments:

(1) General Photo of Roof Covering

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



(2) General Photo of Roof Covering

The roof fastening method is not verified. The Inspector reasonably determines that actions of the inspector to ascertain the method of fastening may cause damage to the roofing shingles.

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(3) There is physical evidence of shingle lift at multiple areas of roof covering. This is typically caused by high winds that lift the shingles but do not rip them off. These shingles do not re-adhere leaving them vulnerable to additional lift in high wind situations.



D. Roof Structures and Attics

Method Used to Observe Attic: Walked/Partial View

Attic Info: Pull Down Ladder(s)

Average Depth of Attic Insulation: 10 Inches

Type of Attic Insulation: Batt Fiberglass

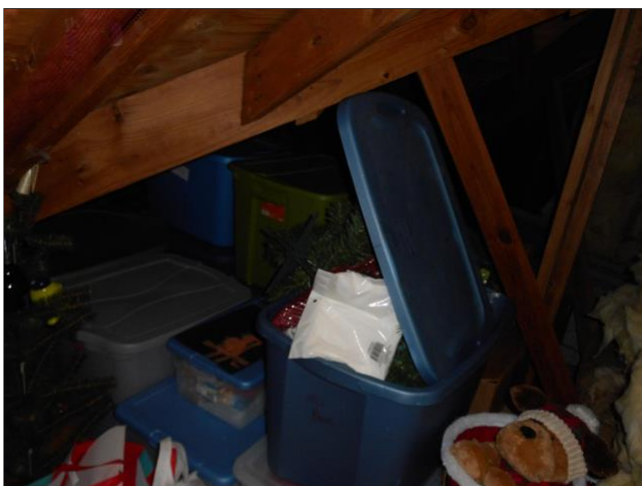
Attic/Roof Ventilation: Gable Vents, Roof Vents

Comments:

(1) General Photo of Attic Space

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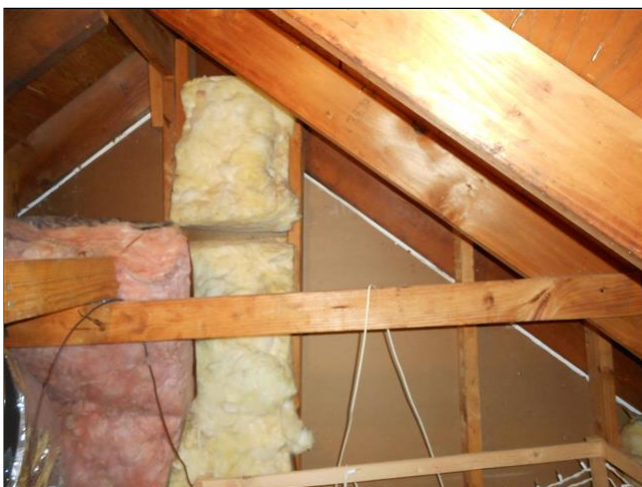
I NI NP D



(2) **Note:** Only accessible areas of the attic are inspected. The inspector does not crawl/walk over areas that may be unsafe or not easily accessible.

(3) Noted vertical batt insulation that appears to have pulled away from the wall. For maximum R value, the insulation should be installed flush to the drywall.

Location(s): random areas



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I NI NP D

- (4) The attic ladder door is not proper insulated or weather-stripped. This will help with keeping hot air inside the attic and not be pulled into the home.
- (5) The screening on the attic gable vent has been damaged. This may allow access to rodents or other pest.



E. Walls (Interior and Exterior)

Comments:

(1) **Note:** The home was occupied at the time of inspection. The inspector does not move storage/ furnishings to inspect items blocking visual observation of components. Items blocked by storage/ furnishing are not inspected.

Note: Shelving and personal storage prevented complete inspection access to garage components. Inaccessible areas are not covered under the scope of this inspection.

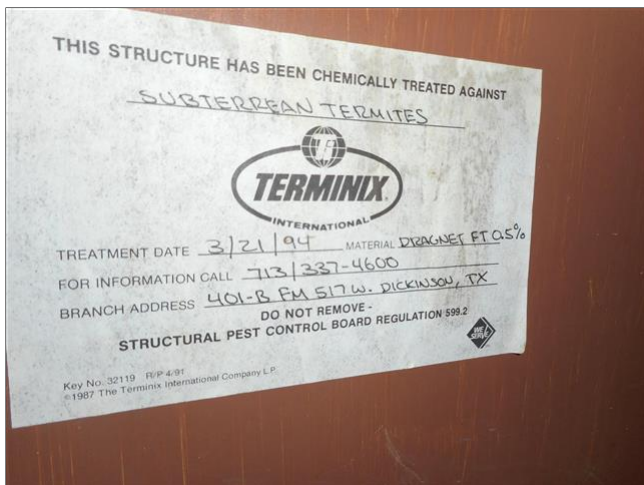
(2) Cracks in exterior brick veneer consistent with normal settlement was observed at various areas of exterior. These are considered cosmetic at this time. Monitor as needed. Monitor. If the cracks continue to widen, consult a qualified contractor or professional engineer



I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

(3) There is evidence of prior possible wood destroying insect activity on garage left wall. Recommend inquiry with seller for any treatment or warranty documentation.



(4) Stress cracks are observed on the interior drywall. This is consistent with the structural movement of the home.

Location(s): Multiple Locations

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



F. Ceilings and Floors

Comments:

Cracked floor tile and grout was observed at kitchen area.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



G. Doors (Interior and Exterior)

Comments:

(1) Doors between the garage and residence should be equipped with a self-closing device to secure the door without the use of manual force.



(2) Rear exterior storm door does not shut properly.

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I NI NP D



H. Windows

Comments:

(1) **Note:** If thermal windows are present, the time of day, temperature and dirty windows may prevent determinations of thermal seal failure.

(2) Note: All accessible windows open and shut properly at this time.

(3) Note: All accessible windows open and shut properly at this time.

I. Stairways (Interior and Exterior)

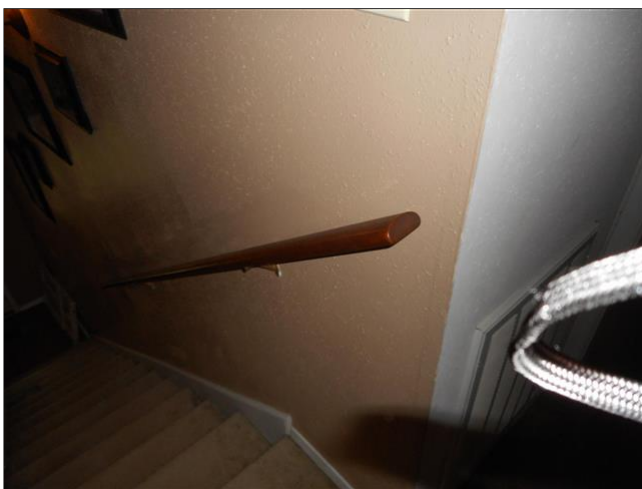
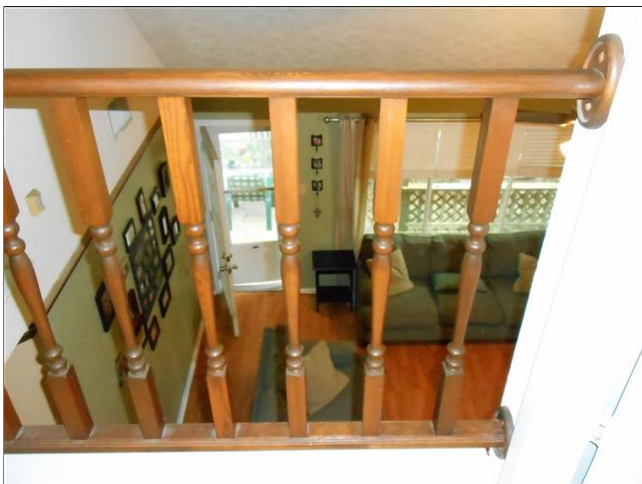
Comments:

Stairway handrails should turn in towards the wall at the upper end of the handrails as a safety measure to prevent an individual from getting caught on the open end of the handrail (safety).

Stair railing balusters are spaced greater than the recommended maximum spacing of 4" apart.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



J. Fireplaces and Chimneys

Comments:

K. Porches, Balconies, Decks and Carports

Comments:

Rear patio structure shows signs of water penetration and wood decay. Hanger brackets should be installed with nails specified by manufacturer. Recommend installation of rafter hangers for additional support and stability.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



L. Other

Comments:

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

II. Electrical Systems

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

General Limitations/Notes:

- Under the scope of this inspection, the Inspector does not perform "load testing" on the breakers and does not determine the load capacity, proper load ratings or confirm appropriate wire sizing within the breaker box for this property. For any of these determinations or testing, consult with a licensed Master Electrician.
- The smoke detectors were not tested due to possible linkage to the house security system. Monthly testing is recommended as part of normal home maintenance, and alarms should be replaced every 10 years to ensure proper operability.
- Under the scope of this inspection, the Inspector does not perform any testing or inspect condition of low voltage accessories including landscape lighting.
- Verification of the total length of the grounding rod is beyond the scope of the inspection. Current building standards require minimum depth of 8 feet.

General Limitations/Notes:

- Under the scope of this inspection, the Inspector does not perform "load testing" on the breakers and does not determine the load capacity, proper load ratings or confirm appropriate wire sizing within the breaker box for this property. For any of these determinations or testing, consult with a licensed Master Electrician.
- The smoke detectors were not tested due to possible linkage to the house security system. Monthly testing is recommended as part of normal home maintenance, and alarms should be replaced every 10 years to ensure proper operability.
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I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

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A. Service Entrance and Panels

Service Size: 200 AMP

Main Disconnect/Service Box Type and Location: Breakers - Exterior Wall

Comments:

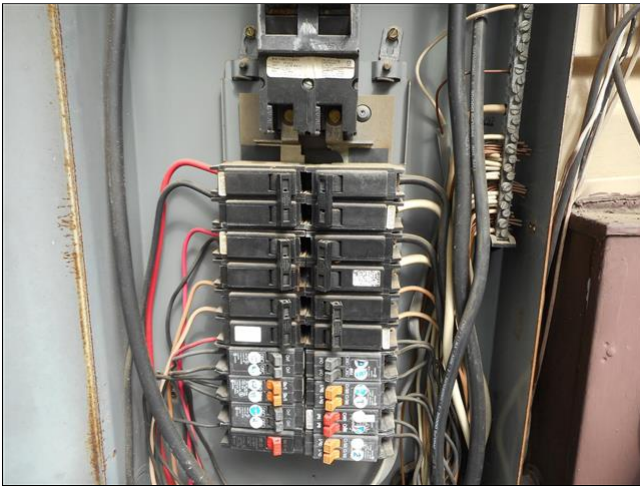
(1) General Photo of the Distribution Panel Arc-fault safety protection is not installed for all of the living and bedroom areas. This protection was required by the National Electric code for homes built after 2008. The Texas Real Estate Commission requires inspectors to list as "deficient" any arc-fault protection not installed in these areas; regardless of the homes age.

White wires connected to breakers should be marked as hot with black or red electrical tape.

"Double lugged" neutral wires on the breaker box neutral bar observed (improper): one neutral wire per connector is allowed.

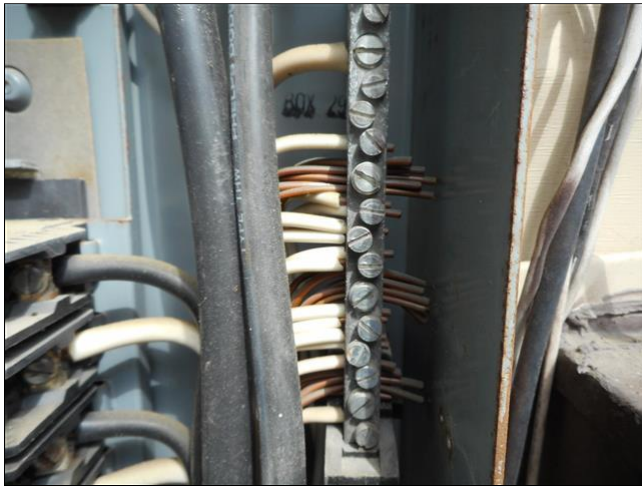
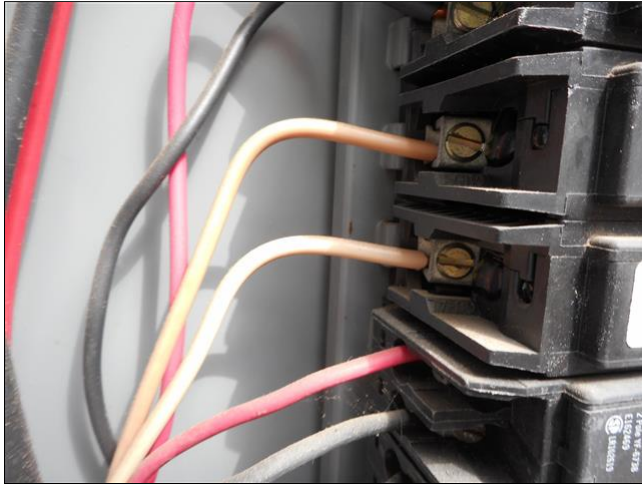
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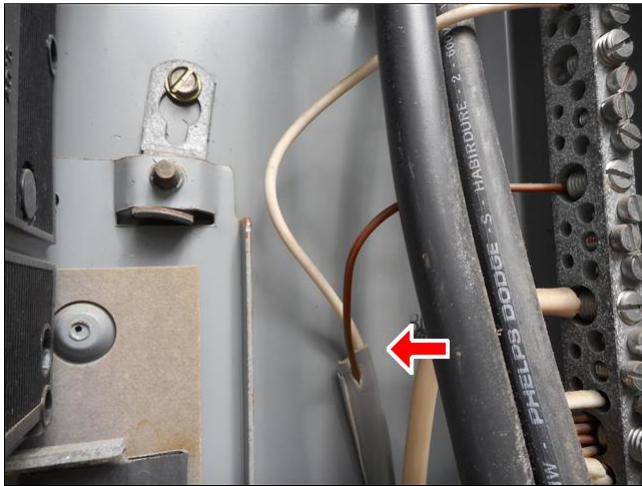
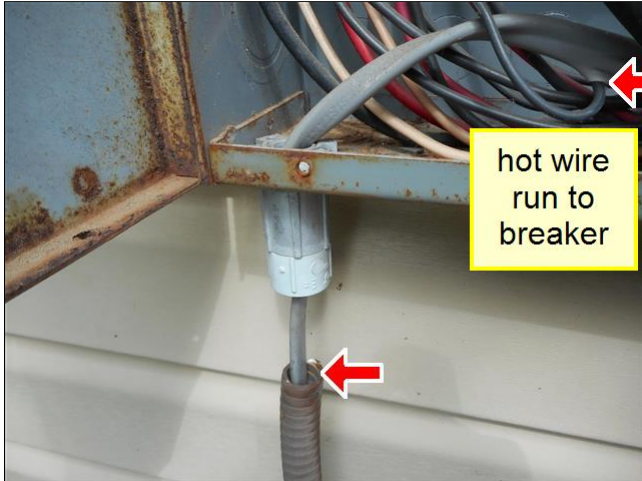
I NI NP D



(2) Conduit is not sealed under service panel.

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B. Branch Circuits, Connected Devices and Fixtures

Type of Wiring: Service Wires: Copper, Branch Wires: Copper

Comments:

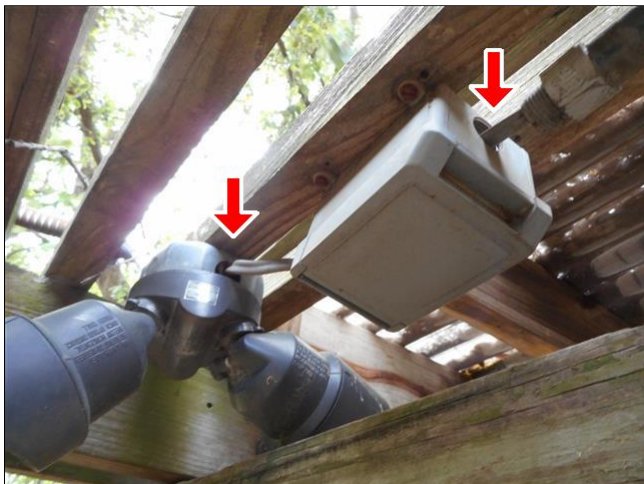
- (1) **Note:** GFI receptacles do not always reset after being tested. The inspector does not trip GFI receptacles in the garage or exterior if an operable freezer or refrigerator are present in the garage.
- (2) Current building standards recommend installation of ground fault protection at all receptacles including, but not limited to; all wet areas (within 36" of plumbing fixtures), kitchen, bathrooms, garage, and exterior. NO gfi protection was observed at kitchen.

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(3) A full evaluation and repair costs estimates by an electrician is recommended due to multiple exterior light fixtures and conduits. Power source for rear patio light fixtures was not located. The fixtures do not appear to be functional. Various wires were improperly run through walls or gutters at rea patio and front and right exterior walls.



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(4) Lights are not functioning. This may be a result of a bad bulb: test with new bulb and remedy if needed.
Location(s): front entrance, top of stairs, attic crawl space

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III. Heating, Ventilation and Air Conditioning Systems

General Limitations/Notes:

- HVAC systems that are designed with electronic damper systems (which are typically controlled by multiple thermostats) are not inspected under the scope of this inspection. Evaluation of these types of damper systems and the electronic components and the balancing of the air flow in this system is beyond the scope of this inspection. If in-depth analysis is desired, consult with an HVAC Company that specializes in this type of system.
- The air conditioning system is visually inspected and operated under normal operation settings at thermostat controls. No diagnostic testing is performed during the inspection.
- Window air conditioning units are not inspected or operated under the scope of this inspection.
- Furnace covers are not removed and the unit is not disassembled for internal inspection of the component per TREC's "Standards of Practice". The unit(s) are visually inspected and operated under normal operation settings at thermostat controls.

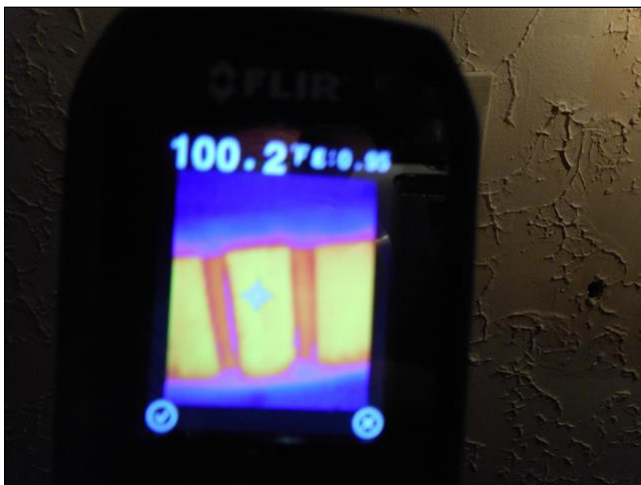
A. Heating Equipment

Heat Type: Furnace

Energy Source: Electric

Comments:

General Photo of Furnace Unit **Note:** The furnace(s) is functioning as intended and cycled properly on the "cool down" cycle at the time of inspection.



B. Cooling Equipment

Cooling Equipment Type: Central Air

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I NI NP D

Temperature Differential: 21°

Comments:

General Photo of Exterior Condenser Operation of the unit shows the unit is cooling at the time of the inspection. Due to the age of the system, routine maintenance should be considered.



C. Duct Systems, Chases and Vents

Comments:

Hole on side of return air plenum should be properly sealed to prevent penetration of unfiltered air from the attic.

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IV. Plumbing System

General Limitations/Notes:

- Underground waste or sanitary sewer pipe inspection is beyond the scope of this inspection (not visible to inspect). If evaluation is desired, consult with a qualified plumber.
- For homes with galvanized water supply lines: Galvanized water supply lines in the home may not all be visible to inspect due to insulation and the areas of installation (walls and other covered locations). If full visual evaluation of these water lines is desired, the insulation must be removed and a re-inspection must be performed (a re-inspection fee may apply).
- Washing machine water supply faucets are visually inspected only (not operated).
- Water supply lines and water supply valves for ice makers are not covered under the scope of this inspection.

A. Plumbing Supply, Distribution System and Fixtures

Water Source: Public

Location of Meter: Front Exterior

Location of Main Water Shut-Off: Interior Wall

Static Water Pressure: 56 - 70 PSI

Comments:

(1) General Photo of Main Shut-Off Valve



(2) **Note:** It is not uncommon for plumbing seals (gaskets, commode seals, etc.) to dry out when a property is vacant for an extended period of time. These dried out seals may crack and leak after a short period of time when placed back into service. If the property has been vacant, monitoring is recommended.

Inspectors cannot determine life expectancy of plumbing seals or gaskets.

(3) The master shower window stool does not have proper slope towards the tub to direct water away from the window. Water was observed penetrating through window frame during shower use. Cracked tile was observed at right side of window.

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(4) Water flow is very weak at master bath left lavatory.



(5) Access panel covers are missing from master bathtub area.

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B. Drains, Waste and Vents

Comments:

- (1) **Note:** No leaks were observed when all accessible plumbing fixtures were operated, filled, and drained.
- (2) Slow drainage was indicated. The cause could not be determined. Evaluate and remedy as needed.

Location(s): hall bath lavatory

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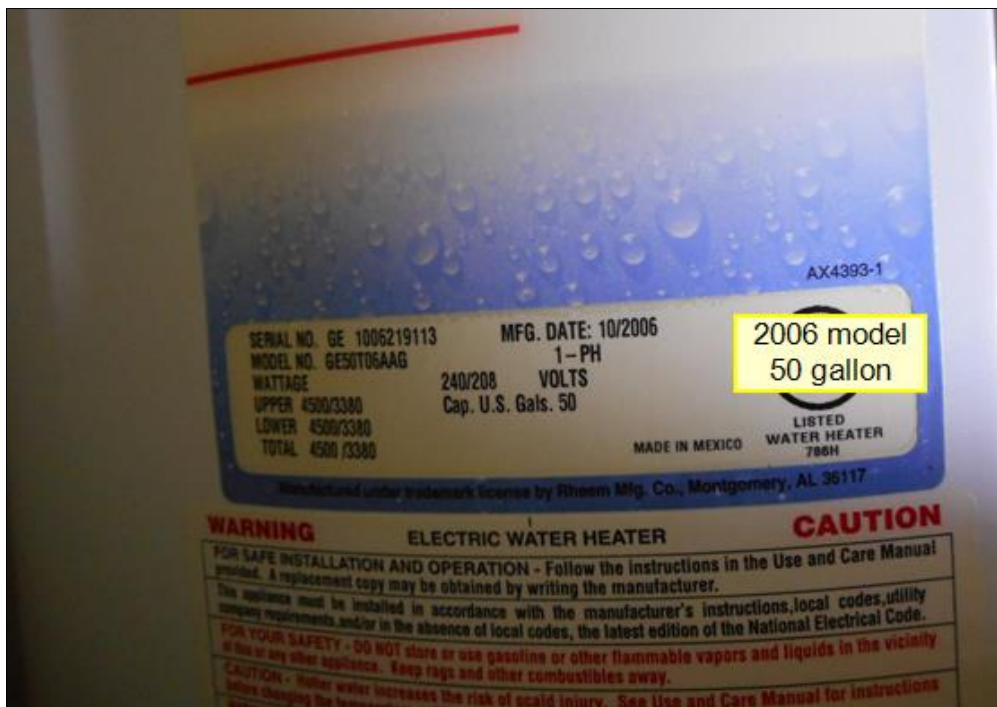


C. Water Heating Equipment

Water Heater Power Source: Gas
Water Heater Capacity: 50 Gallons
Water Heater Location: Garage

Comments:

(1) General Photo of the Water Heater



(2) The breaker for the water heater was off at time of inspection. Inspector turned breaker on to check water heater function. Unit appeared to be functioning properly.

(3) Note: The manufacturer recommends replacement of the TPR valve every three years to ensure proper emergency function. Inspection company does not test TPR valves due to safety hazard or possible damage to unit.

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(4) The overflow pan and tpr drain lines should be routed to terminate at exterior.

D. Hydro-Massage Therapy Equipment

Comments:

Note: The whirlpool tub is functioning properly at this time and the motor is properly ground fault protected.



E. Other

Comments:

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I NI NP D

V. Appliances

General Limitations/Notes:

- Appliances are not moved during the inspection.
- Self cleaning features on ovens are not inspected.
- Effectiveness of dishwasher drying is not inspected.

A. Dishwasher

Comments:

Note: The dishwasher is functioning as intended. Unit is tested on the regular "normal" cycle. Latent leaks (such as under or behind the unit) cannot be determined. The effectiveness of drying cycle is also no determined by the inspector.

B. Food Waste Disposers

Comments:

Note: The disposal is functioning as intended.

C. Range Hood and Exhaust System

Comments:

Note: The kitchen exhaust fan is functioning properly.

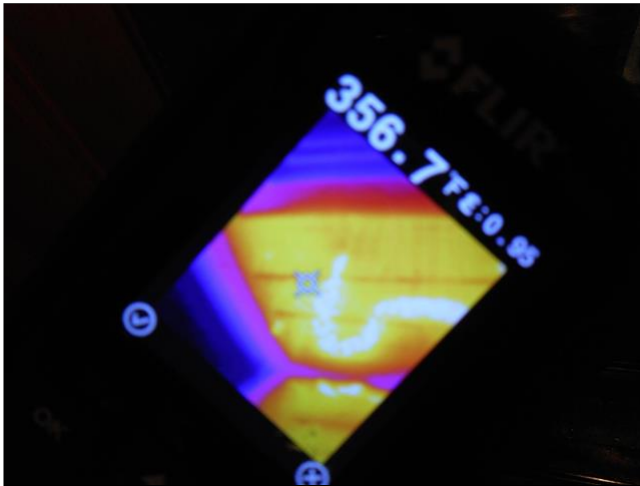
D. Ranges, Cooktops and Ovens

Comments:

(1) **Note:** The oven is functioning as intended. Unit is heating within the acceptable range of the temperature control setting.

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(2) There is no anti-tipping device installed on the oven/range to prevent tipping if the door is climbed on while opened. This is a possible safety hazard. Evaluate and remedy as needed.

E. Microwave Ovens

Comments:

Note: The microwave is functioning as intended. Timers are not operated. Unit is tested for heating only on the "high" temperature setting.

F. Mechanical Exhaust Vents and bathroom Heaters

Comments:

G. Garage Door Operator(s)

Comments:

The safety beam sensors are improperly located.

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H. Dryer Exhaust System

Comments:

Cleaning of the dryer exhaust vent is recommended as normal maintenance and to prevent excessive lint build-up in the line. Vent cover should be secured.



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I. Other

Comments:

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VI. Optional Systems

A. Landscape Irrigation (Sprinkler) Systems

Comments:

The sprinkler system was not included in the cost of this inspection and is not commented

B. Swimming Pools, Spas, Hot Tubs, and Equipment

Comments:

C. Outbuildings

Comments:

D. Private Water Wells (A coliform analysis is recommended.)

Comments:

E. Private Sewage Disposal (Septic) Systems

Comments:

F. Other

Comments:

Bryan & Bryan Inspections

**105 E. Spreading Oaks Ave.
Friendswood, TX 77546
(281) 484-8318**

Report Attachments

ATTENTION: This inspection report is incomplete without reading the information included herein at these links/attachments. Note If you received a printed version of this page and did not receive a copy of the report through the internet please contact your inspector for a printed copy of the attachments.

[307 Sorrelwood WDI Report](#)