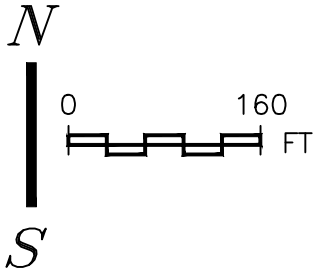


ALINDO ENGINEERS AND PLANNERS, INC.

3107 ROLLING GLEN BRYAN, TX 77807 979-846-8868

FIRM LICENSES: ENGINEERING F-1799, SURVEYING 100269-00

11-20A



QUEST IRA, INC.
PARCEL A
8.1115 ACRES
DEBBIE LANE AND ROESE LANE
PART OF TRACT 143
JOHNSON RANCH SUBDIVISION
UNRECORDED
JOHN MONTGOMERY SURVEY, A-324
GRIMES COUNTY, TX

R24716
DONALD & MARY BINCH
CALLED 29.946 ACRES
814/807
814/703
593/106

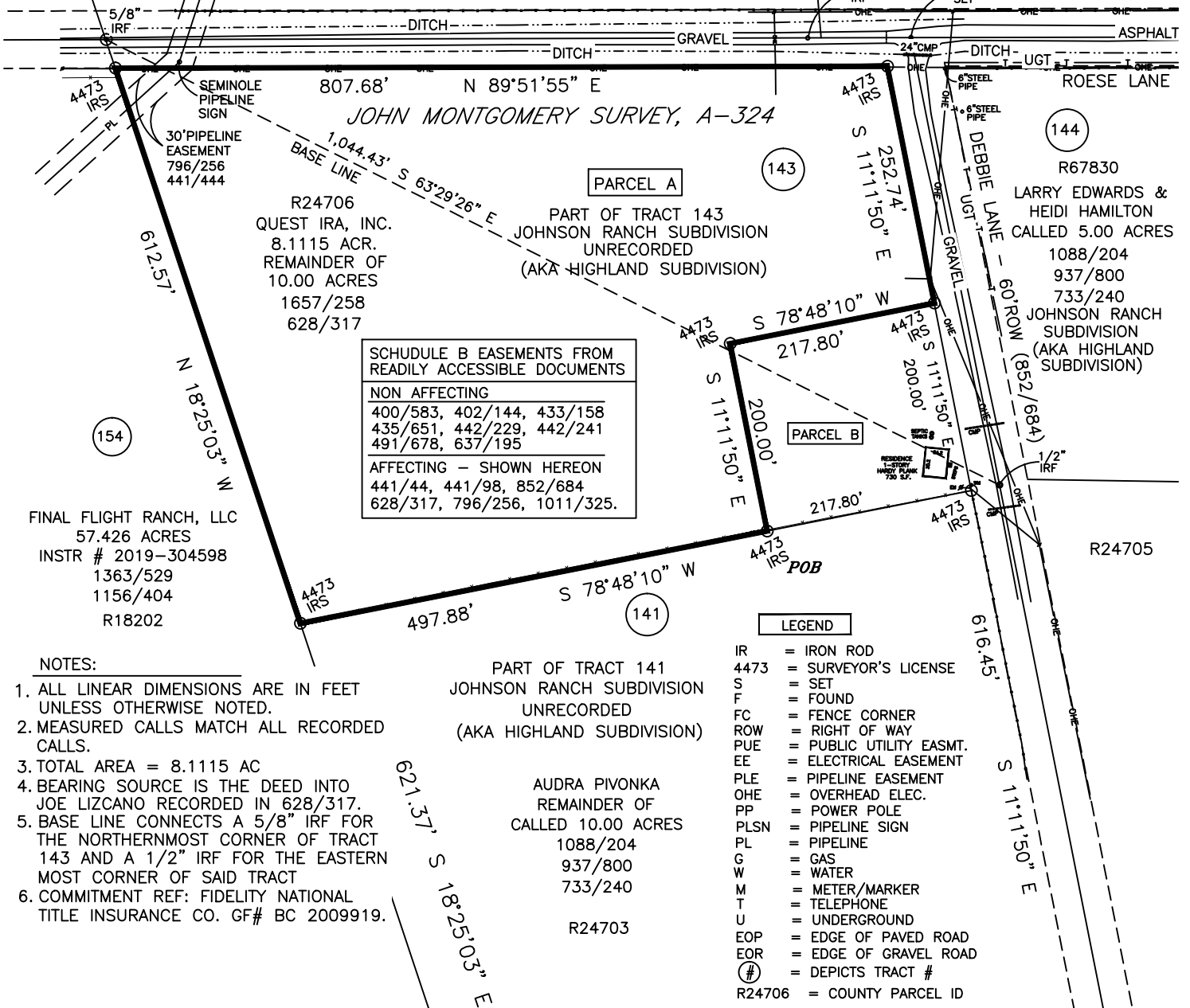
R10003
SAWDUST RANCH LLC
3,878.35 ACRES
1423/543
1150/90
1132/444

INCLUDES PART OF LOT 152
JOHNSON RANCH SUBDIVISION
UNRECORDED
(AKA HIGHLAND SUBDIVISION)

(153)
PART OF TRACT 153
JOHNSON RANCH SUBDIVISION
UNRECORDED
(AKA HIGHLAND SUBDIVISION)

MORTIMER DONOHOE SURVEY, A-175

ROESE LANE - 60' ROW (852/684)



- NOTES:
1. ALL LINEAR DIMENSIONS ARE IN FEET UNLESS OTHERWISE NOTED.
 2. MEASURED CALLS MATCH ALL RECORDED CALLS.
 3. TOTAL AREA = 8.1115 AC
 4. BEARING SOURCE IS THE DEED INTO JOE LIZCANO RECORDED IN 628/317.
 5. BASE LINE CONNECTS A 5/8" IRF FOR THE NORTHERNMOST CORNER OF TRACT 143 AND A 1/2" IRF FOR THE EASTERN MOST CORNER OF SAID TRACT
 6. COMMITMENT REF: FIDELITY NATIONAL TITLE INSURANCE CO. GF# BC 2009919.

PART OF TRACT 141
JOHNSON RANCH SUBDIVISION
UNRECORDED
(AKA HIGHLAND SUBDIVISION)

AUDRA PIVONKA
REMAINDER OF
CALLED 10.00 ACRES
1088/204
937/800
733/240

R24703

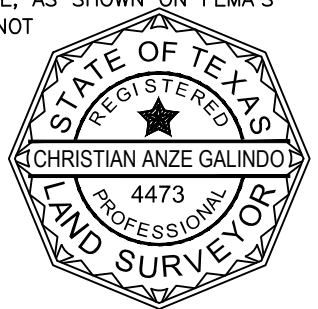
THIS IS TO CERTIFY THAT ON DECEMBER 14, 2020, A SURVEY WAS COMPLETED UNDER MY SUPERVISION, DIRECTION AND CONTROL ON THE GROUND OF THE PROPERTY SHOWN HEREON AND DESCRIBED BY METES & BOUNDS IN ATTACHED EXHIBIT A., AND THAT THIS SURVEY-PLAT IS TRUE WITH SAID SURVEY.

THIS ALSO CERTIFIES THAT, TO THE BEST OF MY KNOWLEDGE BASED ON THE INFORMATION CURRENTLY AVAILABLE TO ME, THERE ARE NO VISIBLE BUILDING STRUCTURES, BUILDING STRUCTURES INTRUSIONS OR PROTRUSIONS, APPARENT CONFLICTS OR VISIBLE EVIDENCE OF EASEMENTS OR OTHER STRUCTURES OTHER THAN WHAT IS SHOWN HEREON. FURTHERMORE, AS SHOWN ON FEMA'S FIRM MAP # 48185C0125 FOR GRIMES COUNTY, TEXAS, DATED APRIL 3, 2012, THIS PROPERTY DOES NOT LIE WITHIN A REGULATORY 100-YEAR FLOOD PLAIN.

THIS SURVEY IS BEING PROVIDED SOLELY FOR THE USE OF THE CURRENT BUYER. NO LICENSE, EXPRESSED OR IMPLIED, IS BEING CREATED TO COPY THE SURVEY EXCEPT AS NEEDED IN CONJUNCTION WITH THE CURRENT TRANSACTION WHICH IS TO BE COMPLETED NO LATER THAN SIX MONTHS AFTER THE DATE OF SIGNATURE OF THIS SURVEY.

Christian Galindo

CHRISTIAN A. GALINDO, P.E. # 53425, R.P.L.S. # 4473
DECEMBER 14, 2020
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SURVEYING INQUIRIES: TBPLS 512-440-7723