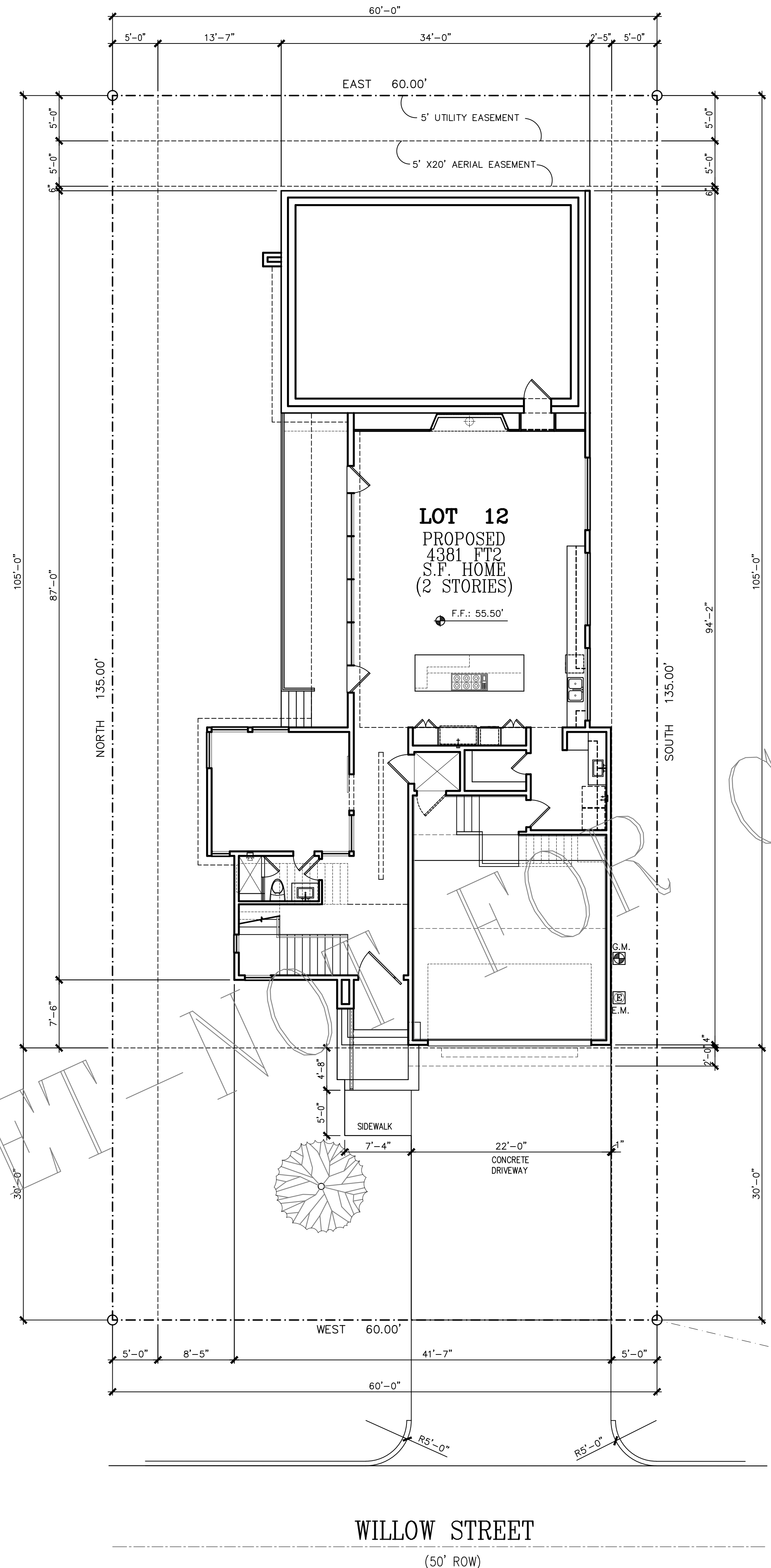
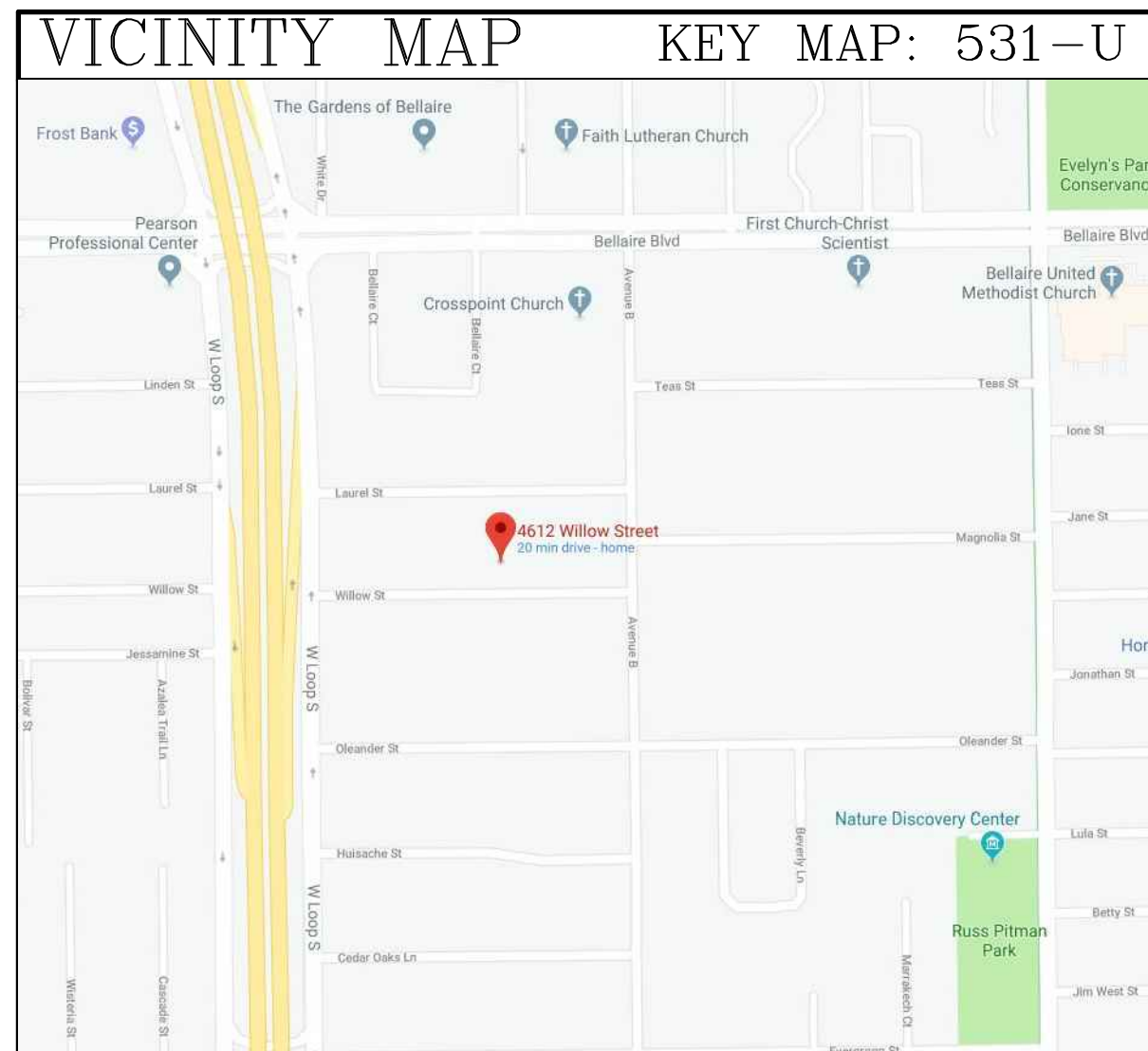


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REVIEW

SET-NOT FOR CONSTRUCTION

CONSTRUCTION

SITE PLAN

SCALE: 1/8" = 1'-0"
 0 2 5 10 20

GRADING PLAN PER CIVIL ENGINEER

TOP OF SLAB ELEVATIONS TO BE A MINIMUM OF 1'-0" ABOVE NEAREST SANITARY MANHOLE SERVICING THIS PROPERTY

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 500 Lovett Blvd., Suite 250
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DATE	REVISION

- SITE NOTES**
- ALL DRAWINGS PRESENTED HERE REFERENCES THE 2018 IRC AND 2018 IBC BUILDING CODES.
 - FINISHED FLOOR ELEVATION SHALL BE A MINIMUM OF 12" ABOVE THE TOP OF THE NEAREST SANITARY SEWER MANHOLE COVER. QUALIFIED ENGINEER TO DETERMINE FINAL SLAB ELEVATION AND PROVIDE A SITE GRADING PLAN OR PER LOCAL AUTHORITY.
 - ELEVATION OF THE NEAREST SANITARY SEWER MANHOLE COVER IS ASSUMED TO BE 100.0'. CURB ELEVATION (AS REFERENCED) TAKEN FROM TOP OF THE CURB.
 - BUILDER TO APPROVE LOCATION OF HOUSE ON LOT, AND TO VERIFY ALL UTILITY LOCATIONS, ALL EASEMENTS, BUILDING, BLOCK FACE, AND SETBACK LINES PRIOR TO CONSTRUCTION.
 - PLUMBER TO CONNECT INTO EXISTING SANITARY SEWER, PIPING TO BE SCH. 40 P.V.C. (OR EQ.) INSIDE PROPERTY, AND CONCRETE PIPING IN THE R.O.W. OR EASEMENT. SEE PLAN FOR SIZES.
 - PLUMBER TO DETERMINE LOCATION OF WATER METER AND TO CONTACT THE LOCAL AUTHORITY TO CONNECT WATER PIPE AND METER SIZES TO CONFORM WITH 2018 U.P.C. PIPING TO BE SCH. 40 P.V.C. (OR EQ.) SEE PLAN FOR SIZES. ABOVE GRADE "ELBOWS" ALLOWED FOR WATER AND GAS LINES ENTERING THE BUILDING PROPER (ONLY).
 - ELECTRICIAN TO RUN THREE UNDERGROUND CONDUITS FROM SOURCE POLE OR TRANSFORMER TO GARAGE FOR: A) ELECTRIC SERVICE. B) COMMUNICATION SERVICE. C) ENTERTAINMENT SERVICE... AT THE SAME LOCATION, PROVIDE CONDUITS IN SLAB, PRIOR TO POUR, TO MINIMIZE ABOVE GRADE "ELBOWS" ENTERING THE BUILDING PROPER.
 - ALL DRAINAGE AND RUNOFFS SHALL BE COLLECTED ON SITE IN AN UNDERGROUND SYSTEM OR DIRECTED ON THE SURFACE TO THE STREET. DRAINAGE AND RUNOFF ARE NOT ALLOWED TO BE DIRECTED ONTO ADJACENT PROPERTIES. SEE SWALE DETAIL. DRAIN PIPING TO BE SCH. 40 P.V.C. (OR EQ.) WHEN AREA DRAINS.
 - PROVIDE ONE QUALIFIED TREE PER 5000 SQ. FT. OF LOT SIZE OR ONE QUALIFIED TREE PER FAMILY.
 - SHADED AREAS DESIGNATES MINIMUM COMMON AREAS AND/OR PRIVATE UTILITY EASEMENTS (PER APPLICATION). THIS PANEL IS USED AS A GUIDE FOR THE DRAFTING OF THE REQUIRED COMMON AREA AGREEMENT LETTER. THE REQUIRED COMMON AREA AGREEMENT LETTER TAKES PRECEDENCE.
 - ALL WATER, SANITARY SEWER, STORM, ELECTRICAL PIPING, AND PAVING LOCATED IN THE COMMON AREA(S) ARE TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
 - SIMILAR LINES (ELECTRIC, WATER, COMMUNICATION, ENTERTAINMENT) OF EACH TYPE CAN BE LOCATED IN THE SAME DITCH PROVIDED ALL LINES ARE SLEEVED THE ENTIRE RUN, OR MAINTAIN MINIMUM 36 INCH SPACING BETWEEN ALL LINES.
 - ALL PIPING IN THE R.O.W. SHALL BE REINFORCED CONCRETE.
 - PROVIDE MINIMUM 12" CLEARANCE OF A/C PADS TO ANY VERTICAL SURFACE, WITH MINIMUM 18" BETWEEN A/C PADS, AND A 30" MINIMUM SERVICE AREA.
 - ALL FENCING ALONG PROJECT BOUNDARY, AGAINST AN ADJACENT PROPERTY, TO BE MIN. 6 FOOT WOOD FENCE. ANY FENCE SHOWN AGAINST THE R.O.W. TO BE METAL AND CAN BE PLACED AGAINST THE PROPERTY LINE PROVIDED THE 6 FOOT MIN. METAL FENCE IS 25% OR LESS OBSCURE (3/4 INCH BARS OR TUBES PLACED 4 TO 5 INCHES ON CENTER), OTHERWISE PLACE FENCE A MINIMUM OF 2 FOOT AWAY FROM THE PROPERTY LINE THAT IS AGAINST THE R.O.W..

LOT CALCULATIONS

LOT	SIZE	TOTAL SLAB	% COVERAGE
1	8100	3375	41.6%

MAXIMUM ALLOWABLE BUILDING COVERAGE IS 55%

LOT	DRIVE/WALK	A/C PAD	TOTAL IMPERVIOUS	% IMPERVIOUS
1	630	0	4172	51.4%

MAXIMUM ALLOWABLE IMPERVIOUS IS 55% BEFORE DETENTION IS REQUIRED

SQUARE FOOTAGES

FIRST FLOOR :	2551
SECOND FLOOR :	1830
TOTAL LIVING :	4381
GARAGE :	564
MEZZANINE :	220
TOTAL SLAB :	3469
COVERED DECK :	260
MECHANICAL :	578
TOTAL COV. AREA:	6148

MICHAEL KWON RESIDENCE
 4612 WILLOW ST. BELLAIRE, TX 77401
 Lot 12, WILLOW LANE PLACE

JOB # E0618-2 A2
 REVIEW SET-NOT FOR CONSTRUCTION ISSUE DATE: 11-12-20

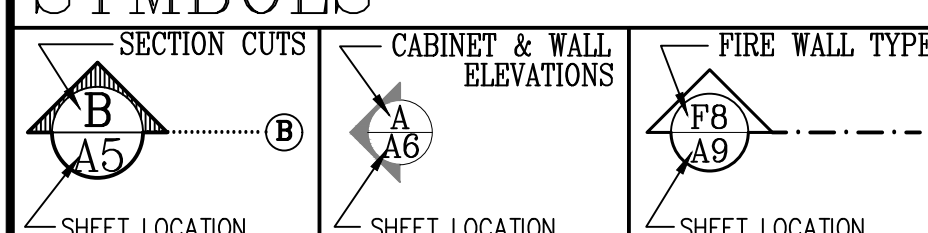
SCHEDULES BUILDER AND/OR OWNER TO FILL OUT THE FOLLOWING:

DOOR SCHEDULE: SIZE AS NOTED ON PLANS.
 EXTERIOR DOORS ARE 1 3/8" SOLID CORE.
 INTERIOR DOORS ARE 1 3/8" SOLID OR HOLLOW CORE.
 DOOR GLAZING TO BE SAFETY GLASS.
 WINDOW SCHEDULE: SIZE AS NOTED ON PLANS.
 FRAME TYPE:
 FRAME COLOR:
 GLAZING:
 EXTERIOR TRIM:
 INTERIOR TRIM:
 ROOM FINISH SCHEDULE:
 FLOORS AT ALL NET AREAS. TILE WALLS AT TUB, FULL TILE FLOORS IN SHOWER STALL, SYNTHETIC MARBLE OR SIM. COUNTER TOPS AND ALL CASED OPENINGS TO HAVE SHERLOCK RETURNS.
 RE: BUILDER/OWNER FOR USE OF WOOD CO. RETURNS.
 - OR - AS NOTED ON PLANS.
 - OR - AS NOTED IN DETAILED SPECS. PRESENTED BY OWNER & BUILDER.

PLAN NOTES REFERENCING THE 2018 IRC WITH CITY OF HOUSTON AMENDMENTS

- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER THE MINIMUM STANDARD NOTES DETAILED ON THE LAST SHEET OF THESE DRAWINGS.
- ALL WRITTEN NOTES ON THESE DRAWINGS SHALL TAKE PRECEDENCE OVER THE MINIMUM STANDARD NOTES DETAILED ON THE LAST SHEET OF THESE DRAWINGS.
- CEILING HEIGHTS TAKEN FROM WHERE THE NOTE IS LOCATED ON THE PLAN.
- ALL FLOOR DRAINS TO HAVE OVERFLOW PAN WITH RELIEF LINE TO OUTSIDE OR STORM SEWER (DO NOT CONNECT TO SANITARY SEWER).
- PROVIDE PLUMBING ACCESS PANEL AT ALL BATHTUBS PER IRC 2018 SECT. P2704.1.
- ALL GLASS AT TUBS AND SHOWERS SHALL BE TEMPERED SAFETY GLASS AND TO COMPLY WITH IRC 2018 SECT. R308.
- SEE STAIR NOTES AND DETAILS - LAST SHEET. CONFORM TO IRC 2018, SECTIONS R311.5.6 and IRC 2018, CITY OF HOUSTON AMENDMENTS, SECTION 1003.3.3.11, EXCEPTION 4: PROVIDE CONTINUOUS RAILING WHEN THERE ARE 4 OR MORE RISERS.
- PROVIDE ATTIC ACCESS WITH A MINIMUM CLEAR OPENING OF 22"x30". PROVIDE MINIMUM HEAD CLEARANCE OF 30". WHERE SERVING MECHANICAL EQUIPMENT, THE MINIMUM SIZE OF A PULL-DOWN STAIRS IS 30"x54", AND HAVE A MINIMUM LOAD CAPACITY OF 350 LBS. SEE IRC 2018 SECT. R807 AND SECT. M1305.1.3.
- LOCATE WATER HEATER(S) IN ATTIC ABOVE A LOAD BEARING PARTITION, IN A PAN, WITH A RELIEF LINE TO OUTSIDE OR STORM SEWER LINE. INSTALLATION TO CONFORM WITH IRC 2018 SECT. P2803.
- LOCATE H.V.A.C. EQUIPMENT IN ATTIC.
- PROVIDE 24" WIDE PLYWOOD WALKWAY TO ACCESS ALL MECHANICAL EQUIPMENT LOCATED IN ATTIC. MAXIMUM DISTANCE FROM ATTIC ACCESS TO EQUIPMENT SHALL NOT EXCEED 20'-0". PROVIDE A 30" WIDE SERVICE PLATFORM AT SERVICE SIDE OF ALL EQUIPMENT IN ATTIC.
- ALL INSULATION SHALL HAVE A FLAME SPREAD RATING NOT TO EXCEED 25 AND A SMOKE DENSITY RATING NOT TO EXCEED 450. SEE IRC 2018 SECT. R320.1.
- PROVIDE ADEQUATE FURRING SO VENT AND SOIL PIPES DO NOT PENETRATE PLATES. ALL PLUMBING VENTS SHALL EXIT THROUGH A ROOF PLANE THAT SLOPES TO THE BACK.

SYMBOLS



LINE LEGEND

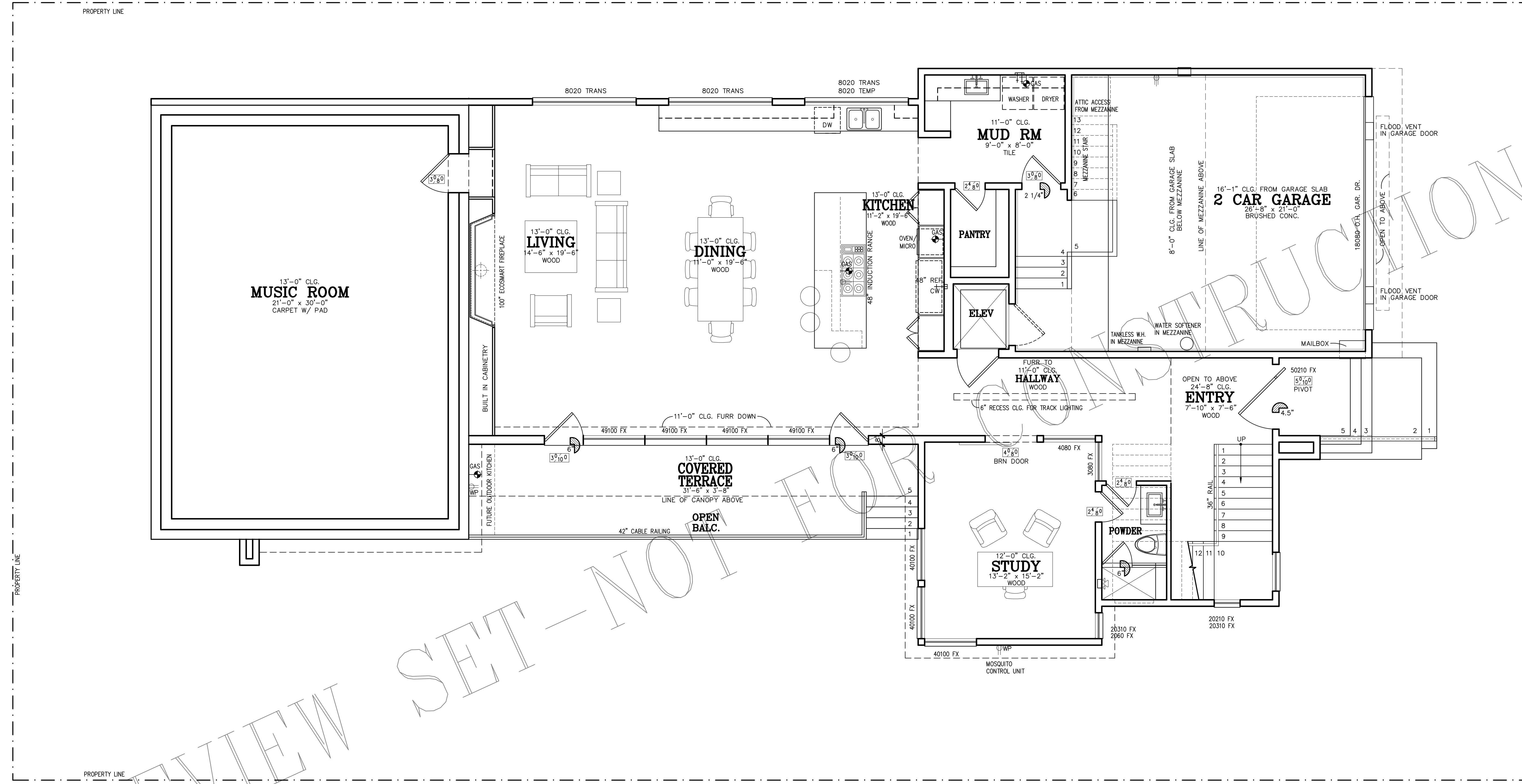
WALLS:	4" STUD WALL	CLOSETS:	WALL
	6" STUD WALL	ROD & SHELF	WALL
CEILING:	DESIGNATION FOR FURRED DOWN CLG.	DOUBLE ROD & SHELF	WALL
	DESIGNATION FOR OPEN FRAMING ABOVE, (STAIR VOIDS & OPENINGS).	CABINETS:	WALL
		UPPER CABINET	WALL
		18" ABOVE COUNTERTOP TYP.	WALL
		COUNTERTOP @ 36" HT. TYP.	WALL

SQUARE FOOTAGES

FIRST FLOOR :	2551
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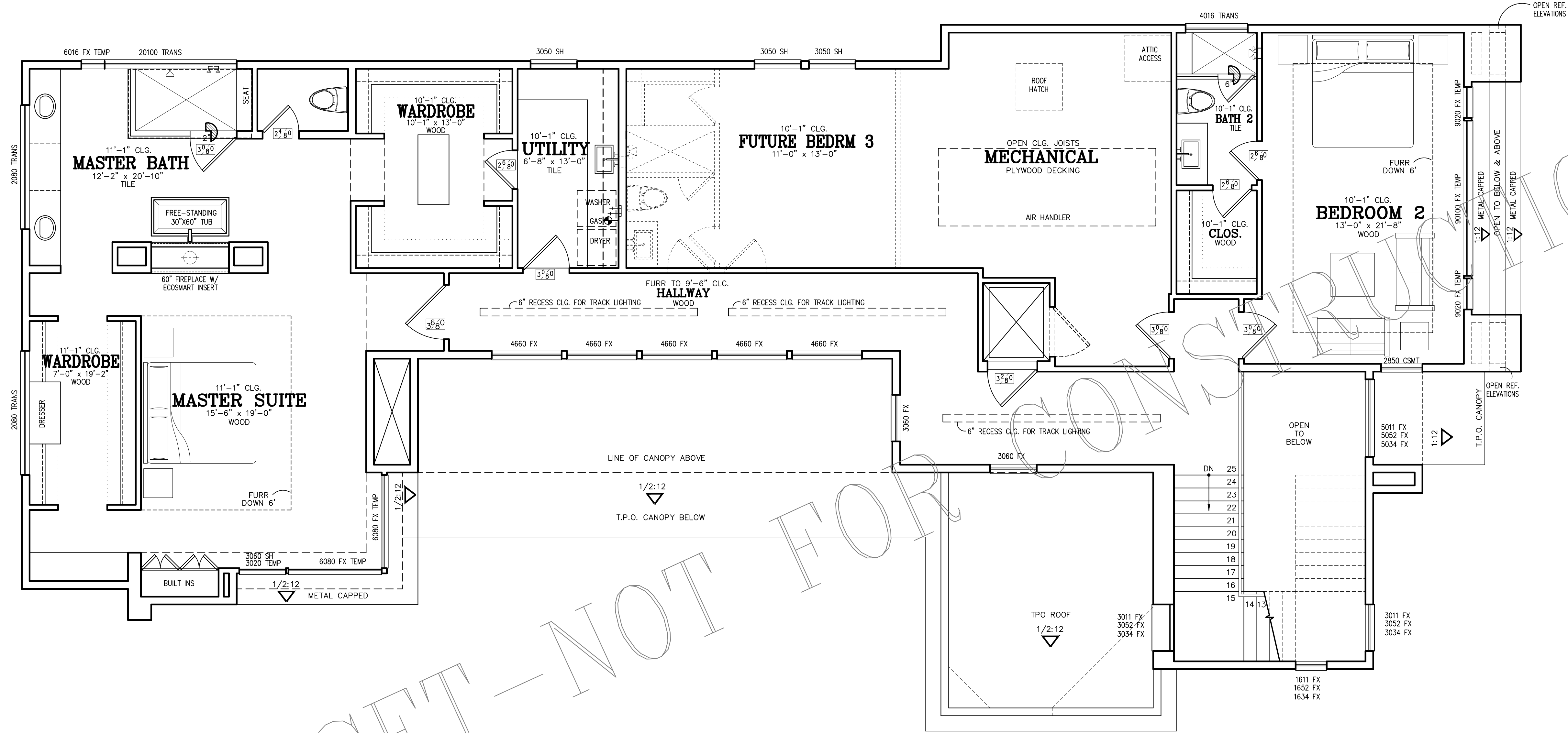


R307.2 BATHTUB AND SHOWER SPACES
 BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE WHICH EXTENDS TO A MINIMUM HEIGHT OF 6 FEET ABOVE THE FLOOR.

FIRST FLOOR
 SCALE: 1/4" = 1'-0"
 13'-0" CEILINGS U.N.O.
 PRIMARY FLOOR COVERING: SEE BUILDER U.N.O.
 2 X 8'S @ 16" O.C. TYPICAL. U.N.O. (UNLESS NOTED OTHERWISE.)
 (SEE LINE LEGEND FOR WALL SIZE)

REVIEW SET - NOT FOR CONSTRUCTION

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R307.2 BATHTUB AND SHOWER SPACES
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SECOND FLOOR

SCALE: 1/4" = 1'-0" 10'-1" CEILINGS U.N.O.
 SUGGESTED FLOOR SYSTEM: 24" TRUSSES

SQUARE FOOTAGES	
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