

MIDRD
RESIDENTIAL DESIGN

MICHAEL DIAZ

PROJECT FILE
A Houston Residence for
Kevin Filippone

PROJECT ADDRESS
4103 Markham St.
Houston, TX 77027

REAL ESTATE
NEW HOMES
950 SF

COVER SHEET &
GENERAL INFO.

DATE
OCTOBER, 19, 2008

NAME
HOME

CVR

SHEET INDEX

CVR COVER SHEET & GENERAL NOTES

A1.0 SITE PLAN
A1.1 FLOOR PLAN & DEMO
A1.2 ROOF PLAN
A2.0 EXTERIOR ELEVATIONS &
A3.0 INTERIOR ELEVATIONS &
ELECTRICAL PLAN

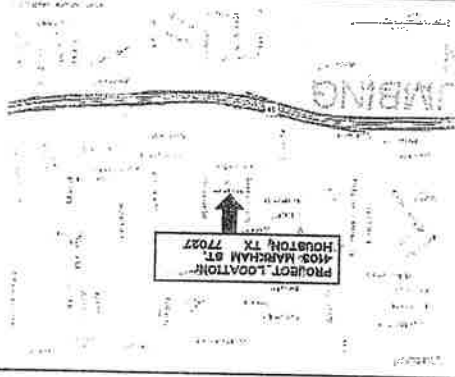
PROJECT INFORMATION

OWNER:
KEVIN FILIPPONE
4103 MARKHAM ST.
HOUSTON, TX 77027
(713) 258-6870

DESIGNER:
MICHAEL DIAZ (MDRD)
10676 WESTPARK DR. #406
HOUSTON, TX 77042
(832) 477-1442

STRUCTURAL:
XXX
1234 ANY STREET
CITY, TX 77000
(XXX) XXX-XXXX

VACINITY MAP



DOCUMENT NOTICE

DRAWINGS AND SPECIFICATIONS, AS
INSTRUMENTS OF SERVICE, ARE THE
EXCLUSIVE PROPERTY OF THIS DESIGNER
WHETHER THE PROJECT FOR WHICH THEY
WERE PREPARED IS EXECUTED AND
CONTRACTED OR NOT. THESE DOCUMENTS
ARE NOT TO BE REPRODUCED IN ANY FORM
AND THEY ARE NOT TO BE USED BY THE
PROJECT OWNER NOR ANY OTHER ENTITY
ON ANY OTHER PROJECTS OR FOR ANY
EXTENSIONS OR ADDITIONS TO THE ORIGINAL PROJECT
EXCEPT BY WRITTEN AUTHORIZATION AND
PERMISSION FROM AND AGREEMENT WITH
THIS DESIGNER.

DIMENSIONS

ALL DIMENSIONS ARE TO FACE OF
FRAMING (U.O.M.)

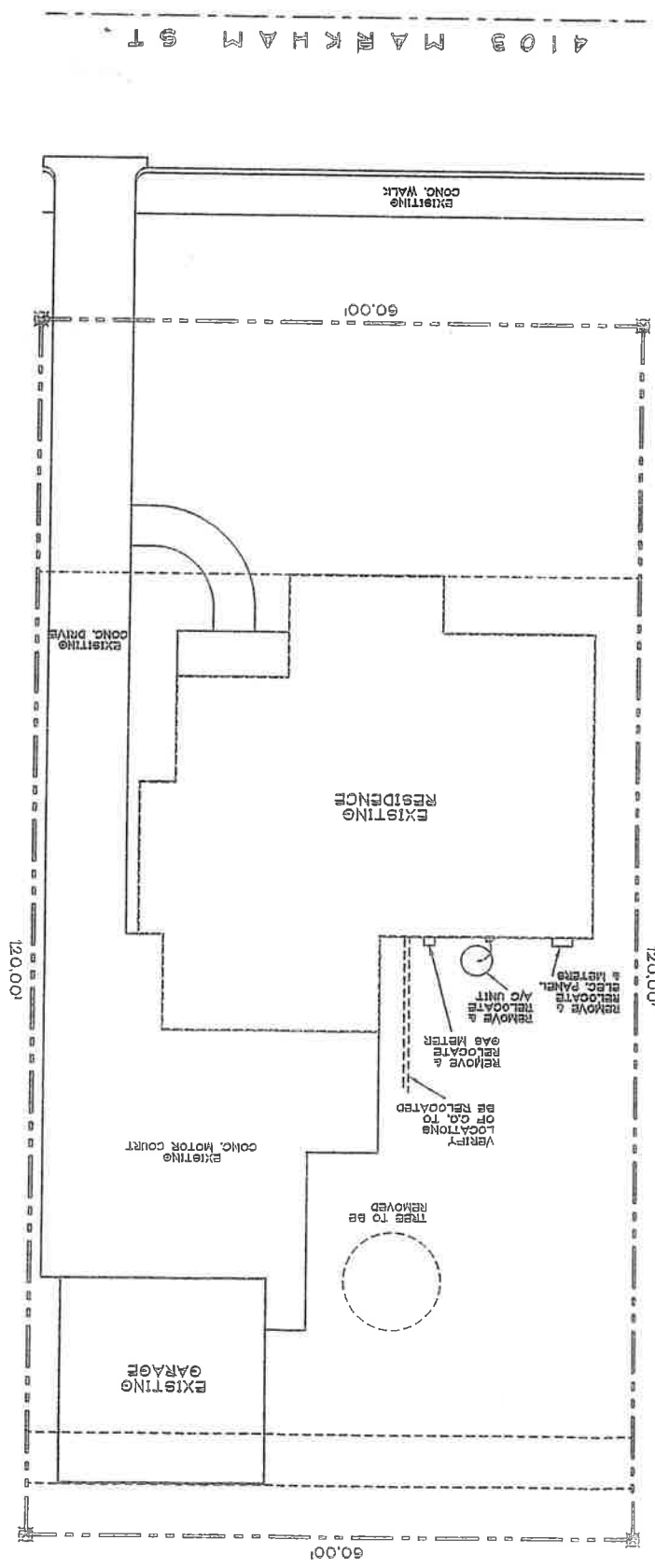
Now Please Forward Recovery Data for all information
that has been released for public comment, and to establish
the validity of withdrawal and or 91.00 Public Comment
CHAPTER TO ARTICLE V OF THE CITY CODE OF
HOUSTON TEXAS
ADDRESS WITHIN THIS ADDRESS NUMBER MUST BE
POSTED ON BUILDING PERMITS TO FINAL INSPECTION
FOR FINALS

A NEW ADDITION AT
4103 MARKHAM STREET
HOUSTON, TX 77027
FOR
KEVIN FILIPPONE

MECHANICAL ELECTRICAL PLUMBING
AND CORRECTION
APPROVED
FOR BUILDING PERMIT ONLY
CITY OF HOUSTON
CODE ENFORCEMENT DIVISION
The owner is responsible for
compliance with the Building Code.
I have approved plans and specifications
and will not be changed, added or
deleted without authorization from the
building official, and all work shall be
done in accordance with the approved plans.

NO. 355

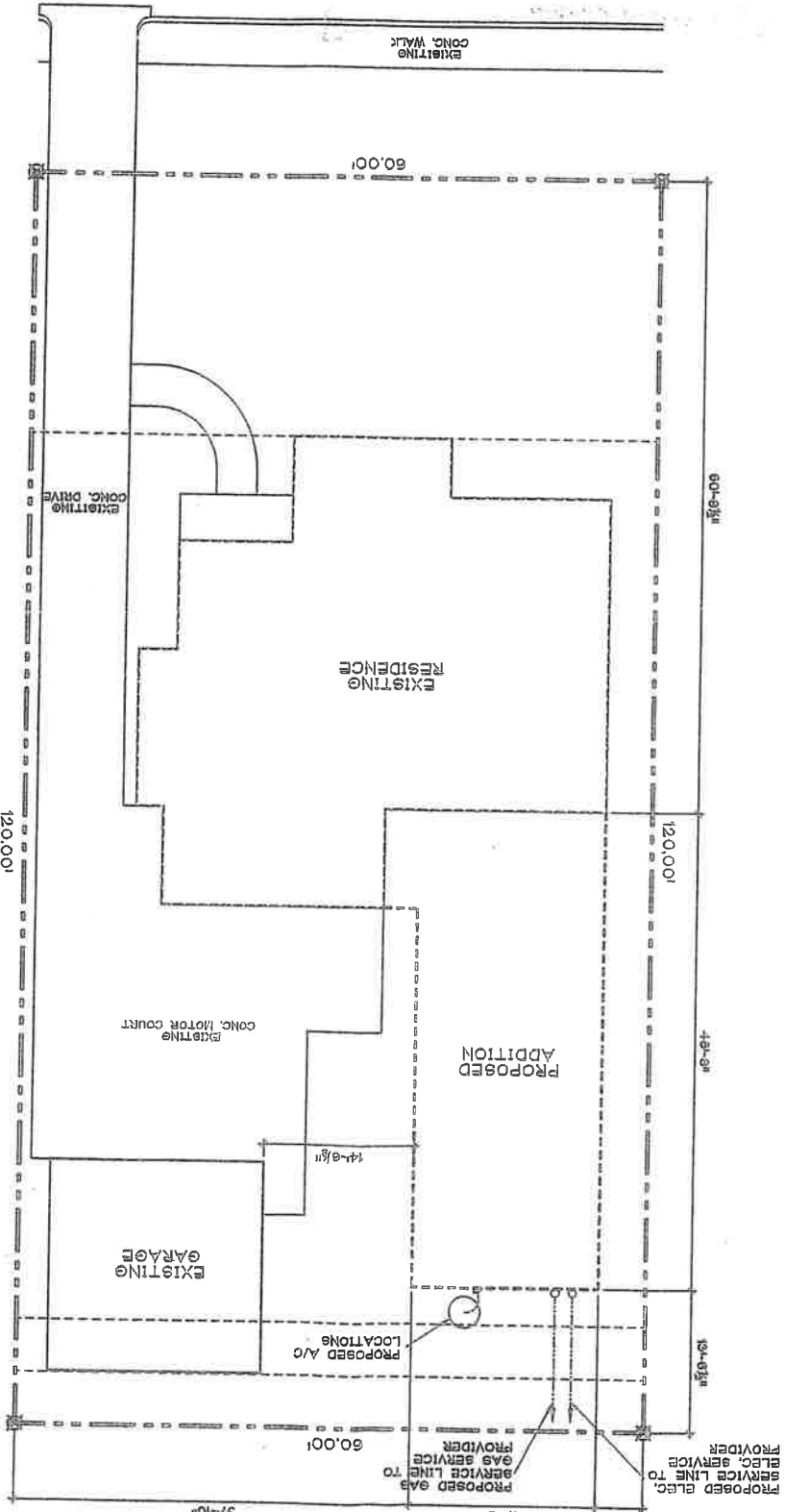
EXISTING SITE PLAN



1-7-09
 Wlaktshum
 Cushman
 106
 SITE W/ ADDITION



LEGAL DESCRIPTION	LOT	BLOCK	SECTION
Westlawn Plaza	1	9	6



RECOMMENDED APPROVAL
 PLANNING AND DEVELOPMENT DEPARTMENT
 BY *[Signature]* DEVELOPMENT SERVICES
 DATE 12/2/08
 LANDSCAPING NOT REQUIRED

NOTES

DESIGN & CONSTRUCTION COMPLIANCE

1. CODES & ORDINANCES
 A. INTERNATIONAL BUILDING CODE (2003)
 B. INTERNATIONAL PLUMBING CODE (2003)
 C. INTERNATIONAL MECHANICAL CODE (2003)
 D. STANDARD GAS CODE (2003)
 E. NATIONAL ELECTRICAL CODE (2002)
 F. ZONING REGULATIONS, APPENDIX A, CODE OF ORDINANCES
 G. CHAPTER 16 BUILDING AND DEVELOPMENT
 H. CHAPTER 28 ELECTRICAL AND ALARM SYSTEMS
 I. CHAPTER 29 PLUMBING, GAS AND SOLAR ENERGY
 J. CHAPTER 30 STREET AREAS AND PUBLIC PLACES
 K. INTERNATIONAL RESIDENTIAL CODE (2003)
 L. INTERNATIONAL RESIDENTIAL CODE (2003)

11. IRC SECTIONS
 A. STAIRS (sec. r101)
 B. MAJORNT FIREPLACES (sec. r1002, r1003)
 C. FRESH FIREPLACES (sec. r1002, r1004 & r1005)
 D. STAIRWAYS (sec. r308.1)
 E. GLASS (sec. r308.1)
 F. PLUMBING ACCESS PANELS (sec. r2704 & r2706)
 G. ENERGY EFFICIENCY (CHAPTER 11)

111. MISC. DATA
 A. TYPE OF COPPER PIPE & TUBING NOT ALLOWED.
 B. SCHEDULE 40 PVC MAY BE USED FOR WATER DISTRIBUTION UNDERGROUND ONLY.
 C. RISERS MUST BE METAL ABOVE GROUND.
 D. POOLS REQUIRE A SEPARATE PERMIT.
 E. SIDEWALK DRIVEWAY & APPROACH REQUIRE A SEPARATE PERMIT.
 F. PROVIDE FOR AT LEAST 1 QUALIFIED TREE IN FRONT YARD.
 G. THE REMOVAL, DAMAGE, OR DEATH OF ANY APPROVED TREE EXCEPT AUTHORIZED BY AN OFFICIAL TREE DISPOSITION PLAN IS AS PROHIBITED.
 H. COPPER WINDING SIZE 1/2" W/ GROUND, IS THE SMALLER MAIN DISCONNECT REQUIRED AS CLOSE AS POSSIBLE TO WATER OUTSIDE UNLESS OFFICIAL OTHERWISE APPROVED BY CHIEF BUILDING OFFICIAL.

I. BARE MAIN DISCONNECTS REQUIRED AS CLOSE AS POSSIBLE TO WATER OUTSIDE UNLESS OFFICIAL OTHERWISE APPROVED BY CHIEF BUILDING OFFICIAL.

123 SF. NEW ADDITION

APPROVED FOR CONSTRUCTION PERMIT ONLY

PROJECT ADDRESS
 4103 Markham St.
 Houston, TX 77027

PROJECT ARCHITECT
 Kevin Filippone

A Custom Residence For

DISCLAIMER

IN AREAS WHERE EXPANSIVE OR COLLAPSIBLE SOILS ARE KNOWN TO EXIST ALL DWELLINGS SHALL HAVE A CONTROLLED METHOD OF WATER DISPOSAL FROM ROOFS THAT WILL COLLECT AND LEAD 6 FEET FROM FOUNDATION WALLS OR TO AN APPROVED DRAINAGE SYSTEM.

ROOF DRAINAGE

APPROVED DRAINAGE SYSTEM.

UTILITIES

THE PROPOSED FOUNDATION, OUTBUILDINGS, POOL, ETC. SHALL BE ACCURATE SURVEYED BY A REGISTERED SURVEYOR WITH A TRUE AND ACCURATE SURVEY & CURRENT TITLE AND A KNOWLEDGE OF NEIGHBORHOOD DEED RESTRICTIONS AND ZONING. THIS DRAWING IS NOT A LEGAL INSTRUMENT. MICHAEL DIAZ DOES NOT ACCEPT ANY RESPONSIBILITY FOR THE ACCURACY OF THE UTILITIES, EASMENTS, DRAINAGE, GRADING OR EXISTING

SITE PLANS

A1.0

1/8" = 1'-0"

OCTOBER, 19, 2008

NO. 355

MICHAEL DIAZ
WDRD
 RESIDENTIAL DESIGN

A1.1

1/4" = 1'-0"

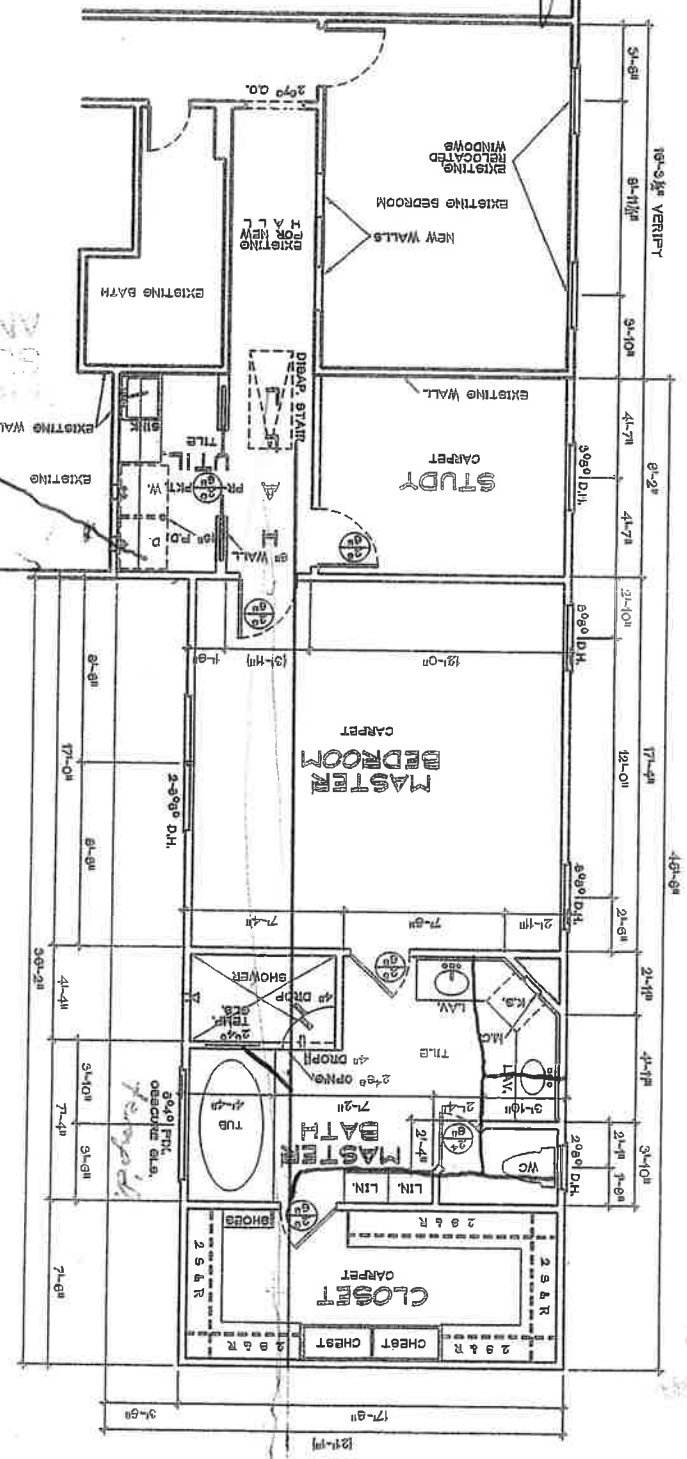
OCTOBER, 19, 2008

FLOOR PLANS

FLOOR PLAN NOTES
NEW GROUND HTS. TO MATCH EXISTING
2" x 4" STUD WALL @ 16" O.C. @ FIRST & SECOND FLOOR
WINDOWS AT 8'-0" HEAD HT. (U.O.M.)
1-3/8" 6-PANEL INTERIOR DOORS, 8'-0" AT FIRST FLOOR, 8'-6" AT SECOND FLOOR (U.O.M.)
1-3/4" SOLID DOOR EXTERIOR DOORS.

FLOOR PLAN NOTES

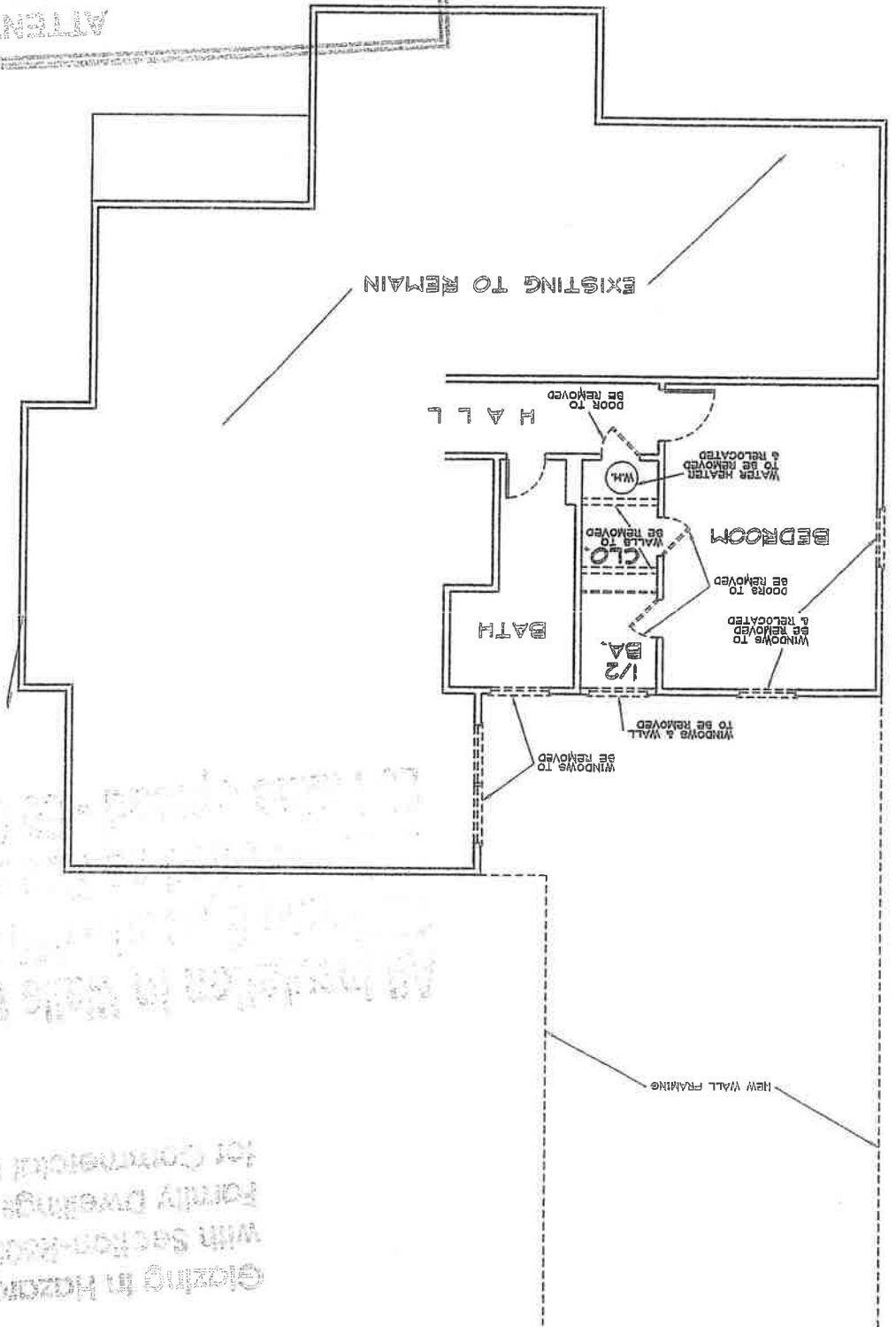
NEW ADDITION



THIS PROJECT REQUIRES THE HARD WIRING AND INTERCONNECTION OF ALL SPONGE INSULATORS WITHIN THE EXISTING WALLS TO BE REMOVED AND REINSTALLED WITHIN THE NEW WALLS.

ATTENTION

EXISTING TO REMAIN



NEW WALL FRAMING

DEMOLITION PLAN

Glazing in hazardous locations shall conform with Section 2601 of IBC, for one and two family dwellings or Section 2601.2 of IBC for Commercial Construction.

APPROVED FOR BUILDING PERMIT ONLY
CITY OF HOUSTON
PLUMBING, ELECTRICAL, MECHANICAL AND CORRECTION
SUBJECT TO FIELD INSPECTION

AREA TOLERANCE
NEXT ADJACENT
850 S.F.

PROJECT ADDRESS
4103 Hartman St.
Houston, TX 77027

PROJECT TITLE
A Custom Residence for
Kevin Filippo

MICHAEL DIAZ
MDRD
RESIDENTIAL DESIGN

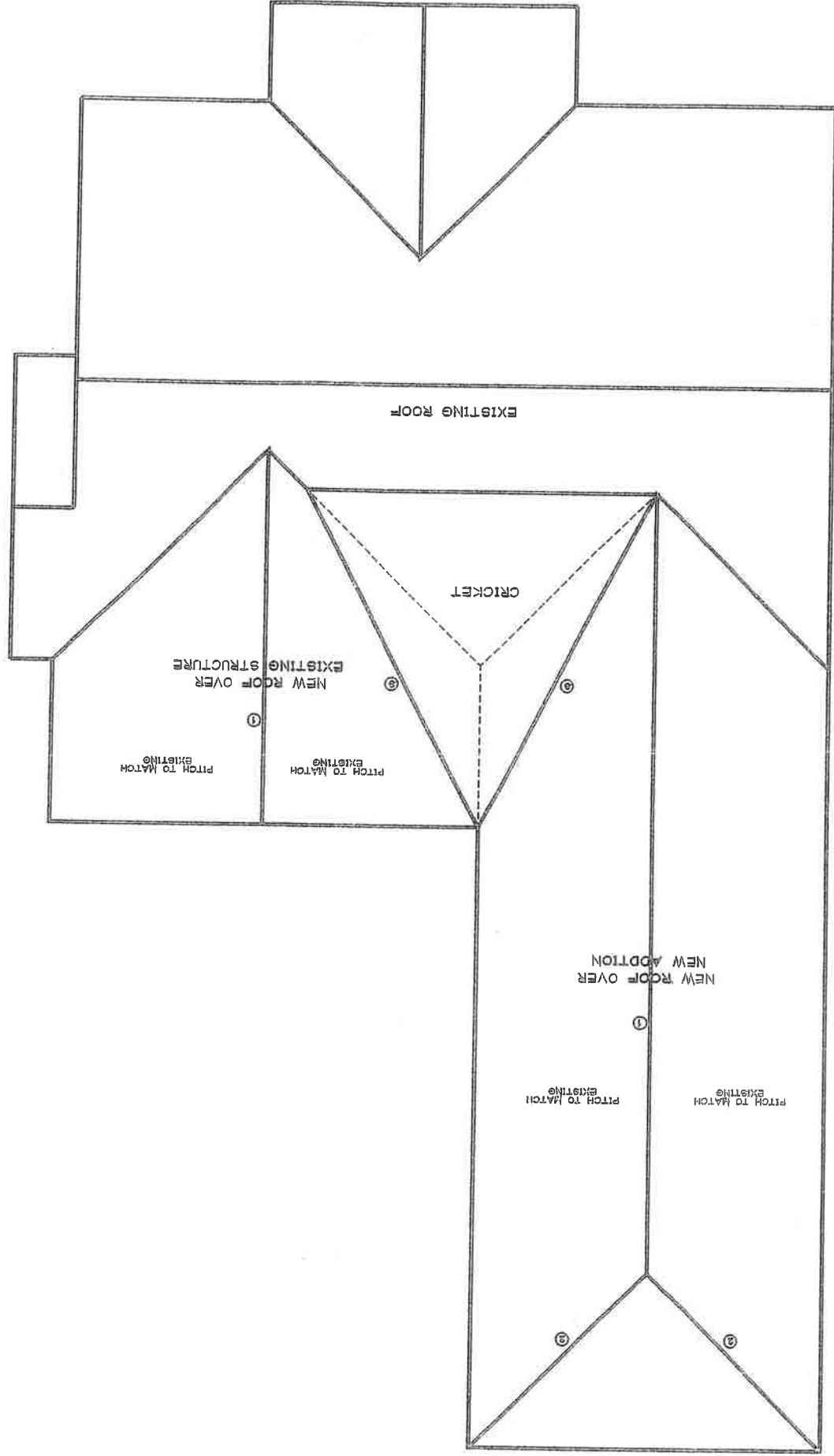
A1.2

1/4" = 1'-0"

OCTOBER, 18, 2000

ROOF PLAN

- ROOF LEGEND**
- ① RIDGE
 - ② HIP
 - ③ CRICKET
 - ④ PURLINE
 - ⑤ VALLEY
 - ⑥ OUTLOOKERS



PROJECT TITLE
A Custom Residence for
Kevin Filippa

PROJECT ADDRESS
4105 Harlam St.
Houston, TX 77027

AREA TABLE
NEW ADDITION
830 S.F.

MICHAEL DIAZ
MDRD
RESIDENTIAL DESIGN

APPROVED
 SUBJECT TO FIELD INSPECTION
 AND CORRECTION
 MICHAEL DIAZ, RESIDENTIAL DESIGN
 4105 HARLAM ST. HOUSTON, TX 77027
 283-3377

A2.0

1/4" = 1'-0"

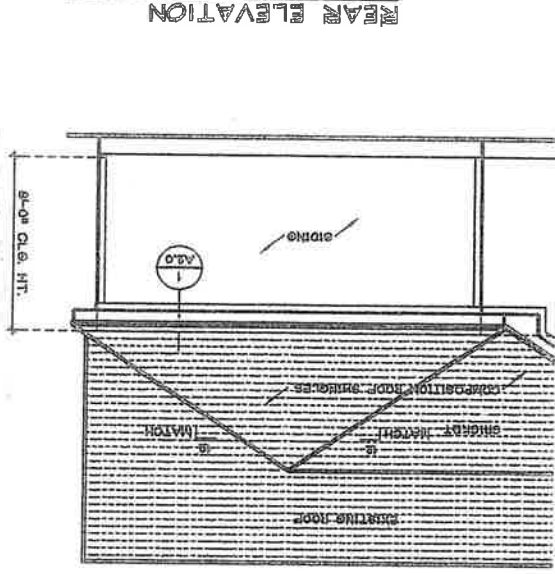
OCTOBER, 19, 2008

EXTERIOR ELEVATIONS

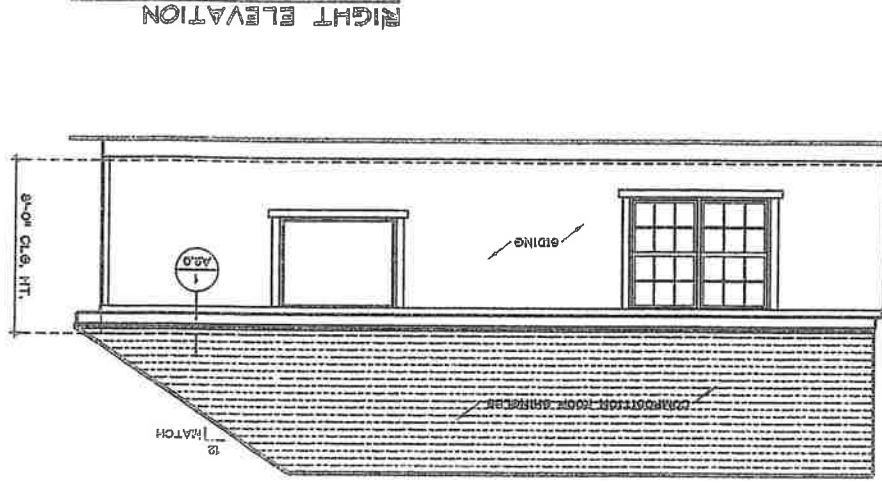
ALL PLUMB HEIGHTS MEASURED FROM FINISH FLOOR.
OVERHANGS TO BE 1'-4" FROM EXTERIOR WALL.
NEW ROOF PITCH TO MATCH EXISTING.
TAKES TO BE 8" FROM EXTERIOR WALL.
PROVIDE GUTTERS & DOWNSPOUTS AS DIRECTED BY OWNER.

ELEVATION NOTES

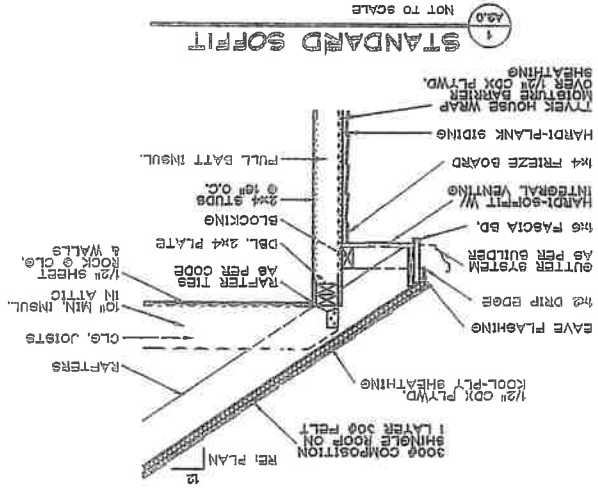
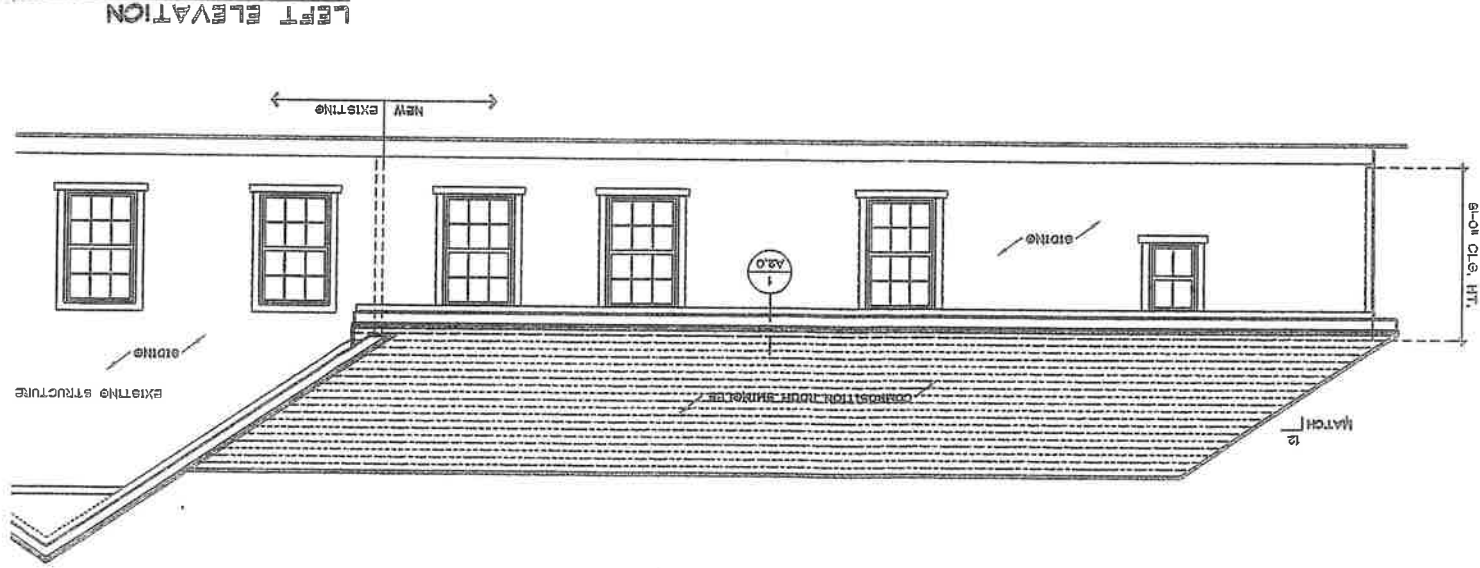
REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION



PROJECT TITLE
A Customer Relationship Firm
Kevin Filippo

PROJECT ADDRESS
4103 Northam St.
Houston, TX 77027

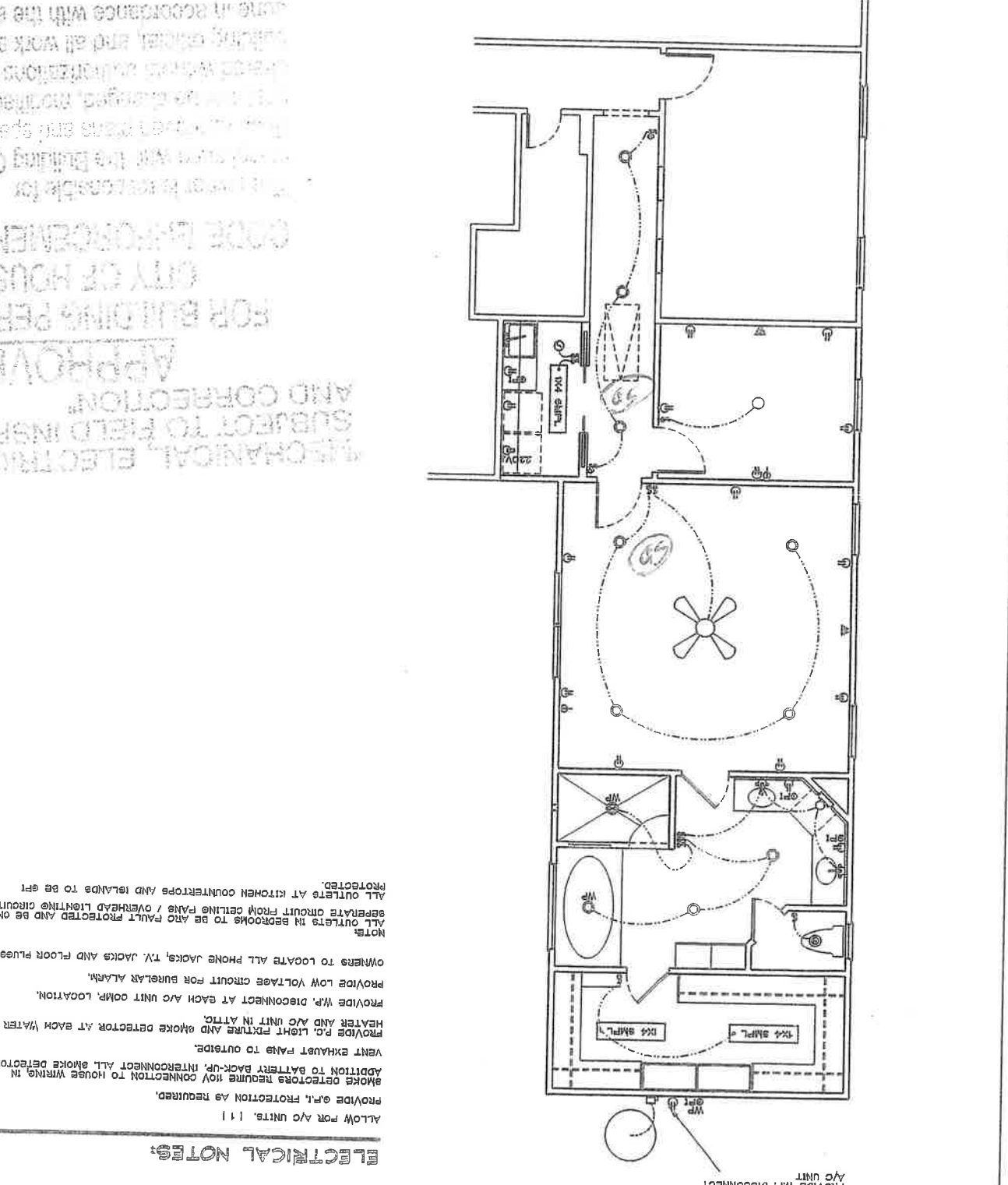
ARCHITECT
M&R ARCHITECTS
503 S.F.

MECHANICAL, ELECTRICAL, PLUMBING
AND CORRECTIONS
SUBJECT TO FIELD INSPECTION
AND CORRECTIONS

FOR REVIEW PERMIT ONLY
CITY OF HOUSTON
PLUMBING DIVISION
APP'D
FOR REVIEW PERMIT ONLY
CITY OF HOUSTON
PLUMBING DIVISION
0.355

MICHAEL DIAZ
MDRD
RESIDENTIAL DESIGN

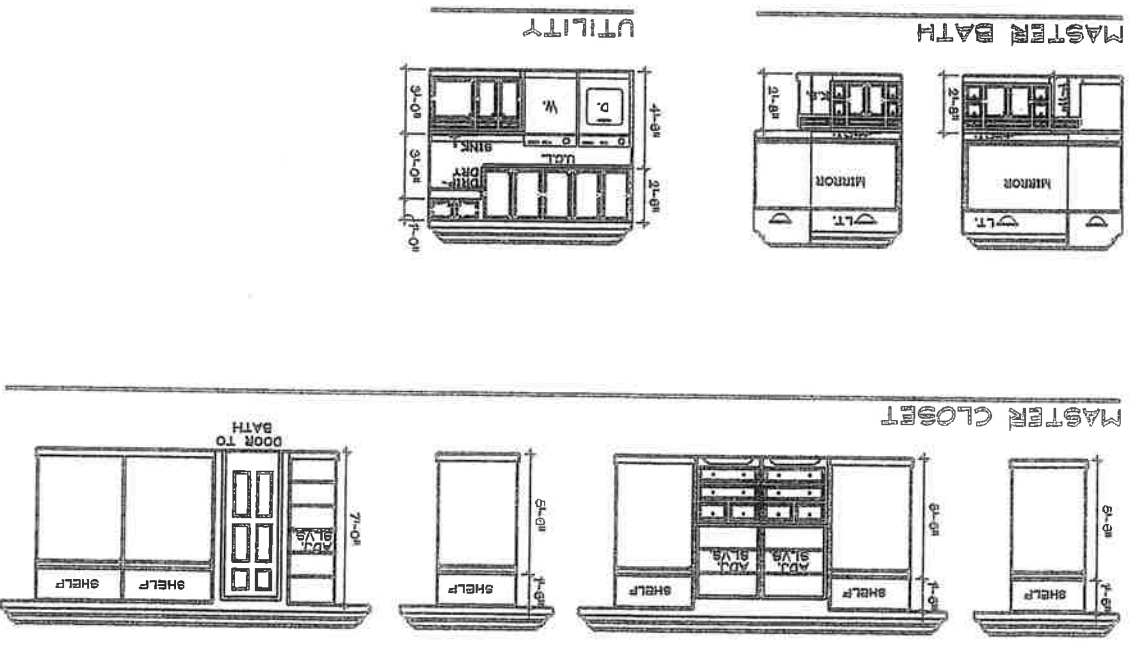
Φ	NO VOLT DUPLEX RECEPTACLE	Φ	TELEVISION ANTENNA	⊕	THERMOSTAT	○	CHIMNEY	○	PORCELAIN LIGHT FIXTURE W/ PULL CORD	○	EXHAUST FAN	○	3X4 SURFACE MOUNTED FLUORESCENT LIGHT
Ⓢ	WATERPROOF RECEPTACLE	Ⓢ	JUNCTION BOX	Ⓢ		○		○	FLOOD LIGHTS (ON PHOTOCELLS)	○	EXHAUST FAN	○	3X4 SURFACE MOUNTED FLUORESCENT LIGHT
☎	NO VOLT IN CLO.	☎	TELEPHONE OUTLET	○	CEILING MOUNTED LIGHT FIXTURE	○		○	RECESSED CAN LIGHT	○	EXHAUST FAN W/LIGHT	○	3X4 SURFACE MOUNTED FLUORESCENT LIGHT
Ⓝ	NO VOLT W/ GROUND FAULT INTERRUPTER	Ⓝ	SINGLE POLE SWITCH	Ⓢ	RECESSED CAN LIGHT	○		○	RECESSED GAN LIGHT	○	EXHAUST FAN W/LIGHT	○	3X4 SURFACE MOUNTED FLUORESCENT LIGHT
Ⓢ	NO VOLT 1/2 HOT	Ⓢ	THREE WAY SWITCH	Ⓢ	WATERPROOF RECESSED CAN LIGHT	○		○	WATERPROOF RECESSED GAN LIGHT	○	EXHAUST FAN W/LIGHT	○	3X4 SURFACE MOUNTED FLUORESCENT LIGHT
Ⓢ	NO VOLT QUAD RECEPTACLE	Ⓢ	FOUR WAY SWITCH	Ⓢ	HANENING FIXTURE	○		○	HANENING FIXTURE	○	COOKTOP EXHAUST HOOD	○	3X4 SURFACE MOUNTED FLUORESCENT LIGHT
Ⓢ	NO VOLT DUPLEX IN FLOOR	Ⓢ	DIMMER SWITCH	Ⓢ	RECESSED EYEBALL SPOT LIGHT	○		○	RECESSED EYEBALL SPOT LIGHT	○	GARAGE DISPOSAL	○	3X4 SURFACE MOUNTED FLUORESCENT LIGHT
Ⓢ	220 VOLT RECEPTACLE	Ⓢ	PUSH BUTTON	Ⓢ	SMOKE DETECTOR	Ⓢ		Ⓢ	WALL MOUNTED LIGHT FIXTURE	Ⓢ	GARAGE DOOR OPENER	Ⓢ	3X4 SURFACE MOUNTED FLUORESCENT LIGHT
Ⓢ	DIGITAL BATTLETITE SYSTEM	Ⓢ		Ⓢ		Ⓢ		Ⓢ		Ⓢ		Ⓢ	3X4 SURFACE MOUNTED FLUORESCENT LIGHT
Ⓢ													3X4 SURFACE MOUNTED FLUORESCENT LIGHT
Ⓢ													3X4 SURFACE MOUNTED FLUORESCENT LIGHT
Ⓢ													3X4 SURFACE MOUNTED FLUORESCENT LIGHT
													3X4 SURFACE MOUNTED FLUORESCENT LIGHT



INTERIOR ELEVATION NOTES

ALL SHELVES WITHIN CABINETS AND CASEWORK TO BE ADJUSTABLE. PROVIDE GLASS SHELVES WITH 1/2" TEMP. GLI BEHIND ALL GLASS DOORS. REFER TO ELECTRICAL DRAWINGS FOR ALL LIGHTING ETC. INVOLVING CABINETRY.

UNLESS OTHERWISE NOTED, ALL CABINETS TO BE PAINT GRADE W/ GRANITE COUNTERTOPS AND BACKSPLASHES.



ELECTRICAL NOTES:

ALLOW FOR A/C UNITS. 111

PROVIDE GFI PROTECTION AS REQUIRED.

MAKE DETECTORS REQUIRE HOV CONNECTION TO HOUSE WIRING IN ADDITION TO BATTERY BACK-UP. INTERCONNECT ALL SMOKE DETECTORS.

VENT EXHAUST FANS TO OUTSIDE.

PROVIDE P.O. LIGHT FIXTURE AND SMOKE DETECTOR AT EACH WATER HEATER AND A/C UNIT IN ATTIC.

PROVIDE WP, disconnect AT EACH A/C UNIT OOHIP. LOCATION.

PROVIDE LOW VOLTAGE CIRCUIT FOR BURELAR ALARM.

OWNERS TO LOCATE ALL PHONE JACKS, TV JACKS AND FLOOR PLUGS.

NOTE: ALL OUTLETS IN BEDROOMS TO BE ARC FAULT PROTECTED AND BE ON SEPARATE CIRCUIT FROM CEILING FANS / OVERHEAD LIGHTING CIRCUIT.

PROTECTED.

ALL OUTLETS AT KITCHEN COUNTERTOPS AND ISLANDS TO BE GFI

A3.0

1/4" = 1'-0"

OCTOBER, 19, 2006

**ELECTRICAL PLAN
& INTERIOR ELEEV.**

PROJECT TITLE
A Custom Residence for
Kevin Filippo

PROJECT ADDRESS
4103 Northam St
Houston, TX 77027

AREA / EXHIBITION
639 S.F.

PROPERTY OWNER
LANE REALTY

MICHAEL DIAZ

MDRD

RESIDENTIAL DESIGN

GENERAL NOTES - CONCRETE

1. VERIFY ALL DIMENSIONS AND ELEVATIONS OF RECESS, LEDGES AND STEPS WITH ARCHITECTS BEFORE COMMENCEMENT OF FORM WORK.

2. NO CONCRETE IS TO BE PLACED WITHOUT APPROVAL FROM ENGINEER OR ARCHITECT.

3. CONCRETE SHALL NOT BE PLACED IN FREEZING OR RAINY WEATHER.

4. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH AC318 WITH LATEST REVISIONS.

5. CRUSHED STONE AND GRAVEL CONCRETE SHALL HAVE MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI.

6. ALL CONCRETE EXPOSED TO WEATHER SHALL BE AIR ENTRAINED.

7. REINFORCING STEEL SHALL BE ASTM A615 GRADE 60 WITH A605 DEFORMATIONS, DETAILING, FABRICATED AND INSTALLED PER ACI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCING CONCRETE, "ACI-318 LATEST REVISION.

8. WELDED SMOOTH WIRE FABRIC SHALL CONFORM TO ASTM-A185.

9. REINFORCING STEEL MINIMUM COVERAGE UNLESS NOTED ON REBAR CHAIRS SHALL BE:

FOOTINGS
 3" BOT., 3" SIDES & 2" TOP

10. CHAMFER ALL EXPOSED EDGES 3/4" AT 45 DEGREES.

11. MATERIALS AND WATER. CONCRETE AND REINFORCING SHALL BE PLACED IMMEDIATELY AFTER EXCAVATION.

12. PROVIDE CORNER BARS IN THE OUTSIDE FACE OF EXTERIOR GRADE BEAMS TO MATCH THE HORIZONTAL STEEL AT ALL RE-ENTRANT CORNERS PLACE 2 - # 4 X 4'-0" IN THE SLAB.

13. UNDERGROUND UTILITIES OR OBSTRUCTIONS ENCOUNTERED SHALL BE REMOVED, RELOCATED OR LEFT IN PLACE AS DIRECTED BY ENGINEER.

14. BARS DETAILED AS CONTINUOUS SHALL BE LAPPED FOR TOP BARS AND OVER SPICES. THE SPICES SHALL OCCUR AT MIDSPAN FOR TOP BARS AND OVER THE SUPPORTS FOR BOTTOM BARS.

15. ALL CONSTRUCTION SHALL CONFORM TO CURRENT CITY OF HOUSTON BUILDING CODE. (THE LATEST EDITION OR UBC).

16. FOOTING DESIGN BASED ON ALLOWABLE SOIL BEARING PRESSURE OF _____ PSF FOR TOTAL LOAD OR _____ PSF FOR TOTAL LOAD AT A DEPTH OF _____ FEET BELOW NATURAL GRADE. PER SOIL REPORT _____ DATED _____ BY _____

17. SUBGRADE PREPARATION AND COMPACTION SHALL BE PER SOIL REPORT _____ DATED _____

18. THE GENERAL CONTRACTOR SHALL EXAMINE THE MECHANICAL DRAWINGS FOR REQUIRED MECHANICAL WORK TO BE PLACED IN CONCRETE. THIS CONTRACTOR SHALL NOTIFY AND RECEIVE PERMISSION FROM THE STRUCTURAL ENGINEER FOR THE PLACING OF SLEEVES, PIPES OR OTHER MATERIALS.

19. ALL PIPES GOING THROUGH EXTERIOR GRADE BEAMS SHALL BE SLEEVED. ALL PIPES SHALL BE LOCATED AT MID DEPTH OF GRADE BEAM.

20. SIZE OF SLEEVES SHALL NOT EXCEED 1/3 OF OVERALL THICKNESS OF GRADE BEAM. SPACING OF SLEEVES SHALL NOT BE CLOSER THAN 3 DIAMETERS ON CENTER.

21. THE ENGINEER SHALL NOT BE LIABLE FOR ANY FOUNDATION REVISION OR CHANGES FROM THE ARCHITECTS, CONTRACTORS OR OWNERS WITHOUT WRITTEN APPROVAL.

22. CURE ALL CONCRETE IMMEDIATELY AFTER FINISHING WITH APPROVED CHEMICAL CURING COMPOUND.

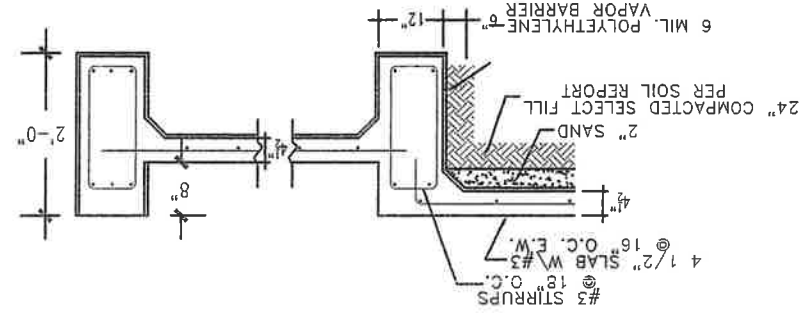
23. IF ANY TREES THAT ARE REMOVED WITHIN 25 FEET PROXIMITY TO THE FOUNDATION WITHIN 6 MONTHS BEFORE POURING THE CONCRETE WILL REQUIRE AN ENGINEERS APPROVAL.

24. CONTRACTOR/OWNER/DEVELOPER SHOULD NOTIFY THE ENGINEER OF ANY TREES THAT ARE NOT MENTIONED IN THE DESIGN DOCUMENTS BEFORE THE FOUNDATION IS BUILT. FAILURE TO MAKE SUCH NOTIFICATION SHALL VOID ANY LIABILITY BY VATANI CONSULTING ENGINEERS, PLLC.

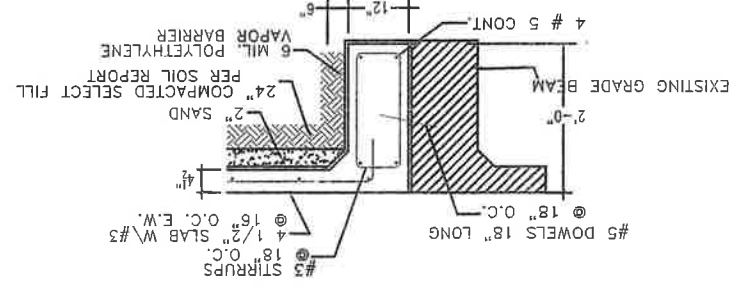
SITE : PROPOSED ONE-STORY ADDITION AT 4103 MARKHAM, HOUSTON, TX

REFER ARCHITECTURAL PLANS FOR:
 ALL DIMENSIONS NOT SHOWN
 ALL DROPS NOT SHOWN
 ALL PLUMBING FIXTURES NOT SHOWN
 ALL ELECTRICAL STUBS NOT SHOWN
 ALL DROP VALUES NOT SHOWN

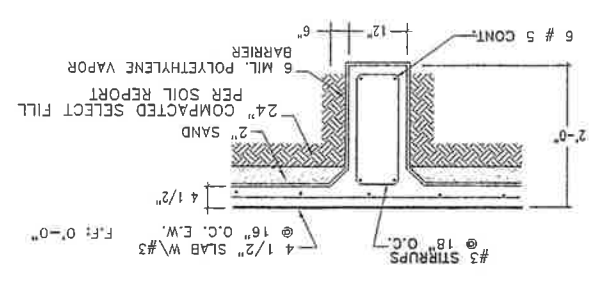
4 - GRADE BEAM DETAIL



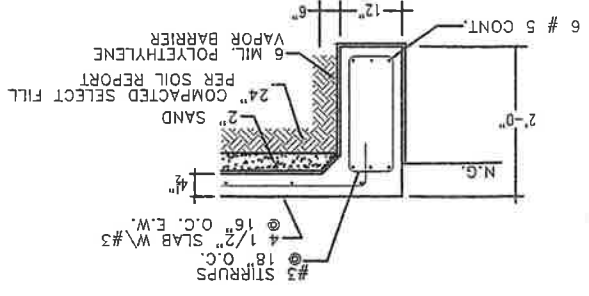
3 - GRADE BEAM DETAIL



2 - GRADE BEAM DETAIL



1 - GRADE BEAM DETAIL



SHEET: 1-1

DATE: DECEMBER 08, 2008

CHECKED BY: IVAN

DRAWN BY: JONATHAN

SCALE: 1/8"=1'-0"

JOB No.: 08176

FILE: 2008/RESIDENTIAL/08176 /A-2

FLOOR PLANS FOR A PROPOSED RESIDENCE ADDITION LOCATED AT 4103 MARKHAM HOUSTON, TEXAS

VATANI CONSULTING ENGINEERS, PLLC
 DESIGN CONSULTANTS

5500 MIDCOURTDALE
 SUITE E-18
 HOUSTON, TEXAS 77092

Phone: (713) 401-0005
 Fax: (713) 888-2855
 E-mail: eah@vatani.com

THIS DRAWING IS PROPERTY OF VATANI CONSULTING ENGINEERS, PLLC, AND IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF VATANI CONSULTING ENGINEERS, PLLC.

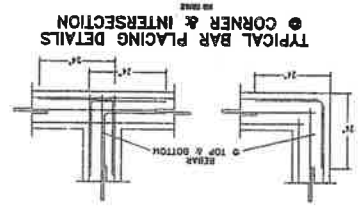
CONTRACTOR IS RESPONSIBLE FOR ANY DESIGN AND CONSTRUCTION OF THE FOUNDATION AND SHALL BE RESPONSIBLE FOR ANY ADJUSTMENT OR VARIATION.

REVISIONS		
No.	DATE	DESCRIPTION
1	11-04-08	QTY REVISIONS
2		
3		
4		

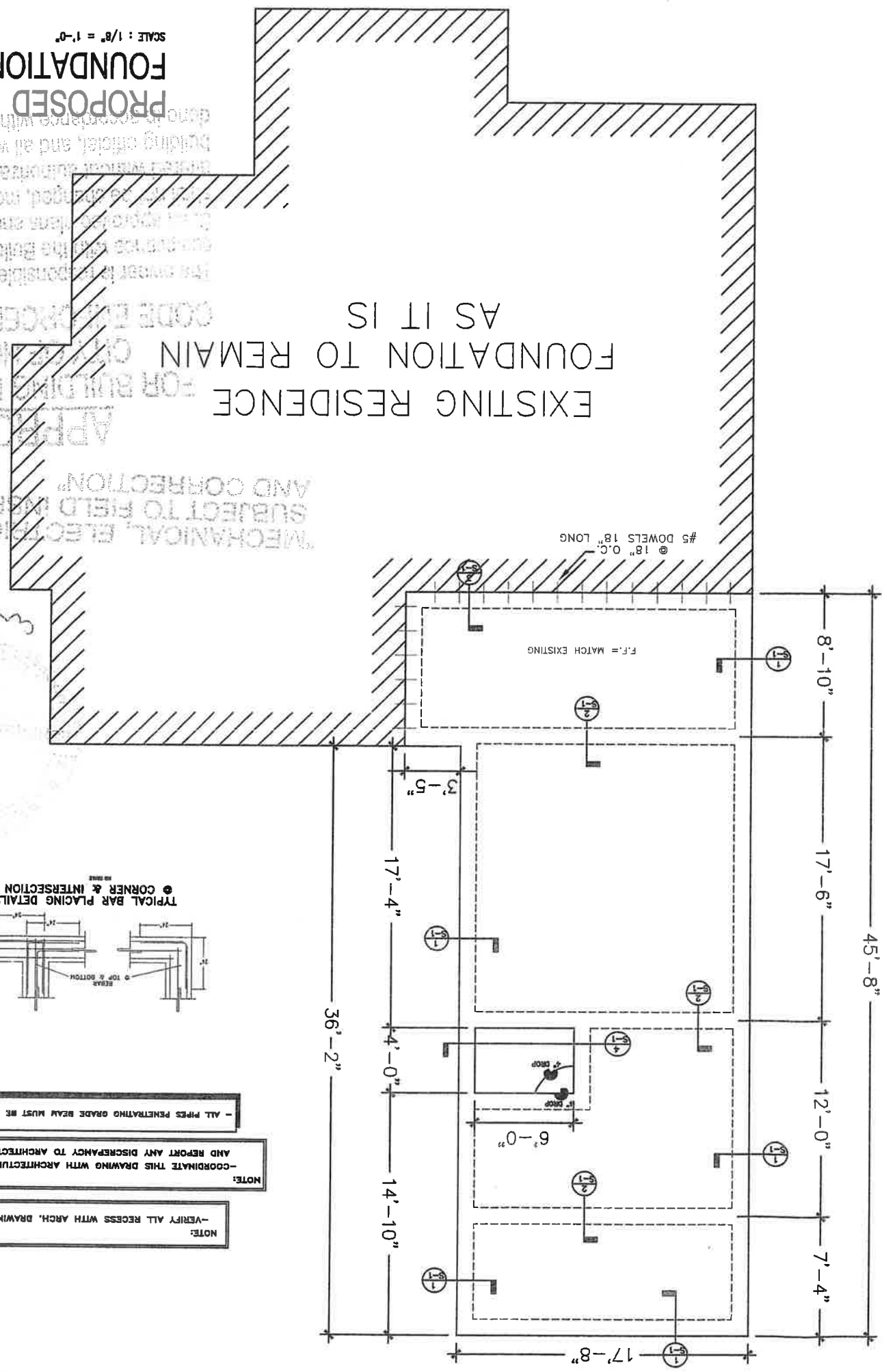
NOTE: -VERIFY ALL RECESS WITH ARCH. DRAWINGS

NOTE: -COORDINATE THIS DRAWING WITH ARCHITECTURAL PLANS AND REPORT ANY DISCREPANCY TO ARCHITECT/ENGINEER

NOTE: - ALL PIPES PENETRATING GRADE BEAM MUST BE SLEEVED.



EXISTING RESIDENCE FOUNDATION TO REMAIN AS IT IS



PROPOSED FOUNDATION PLAN

SCALE: 1/8" = 1'-0"

MECHANICAL ELECTRICAL PLUMBING SUBJECT TO FIELD INSPECTION AND CORRECTION.

CODE MANAGEMENT DIVISION

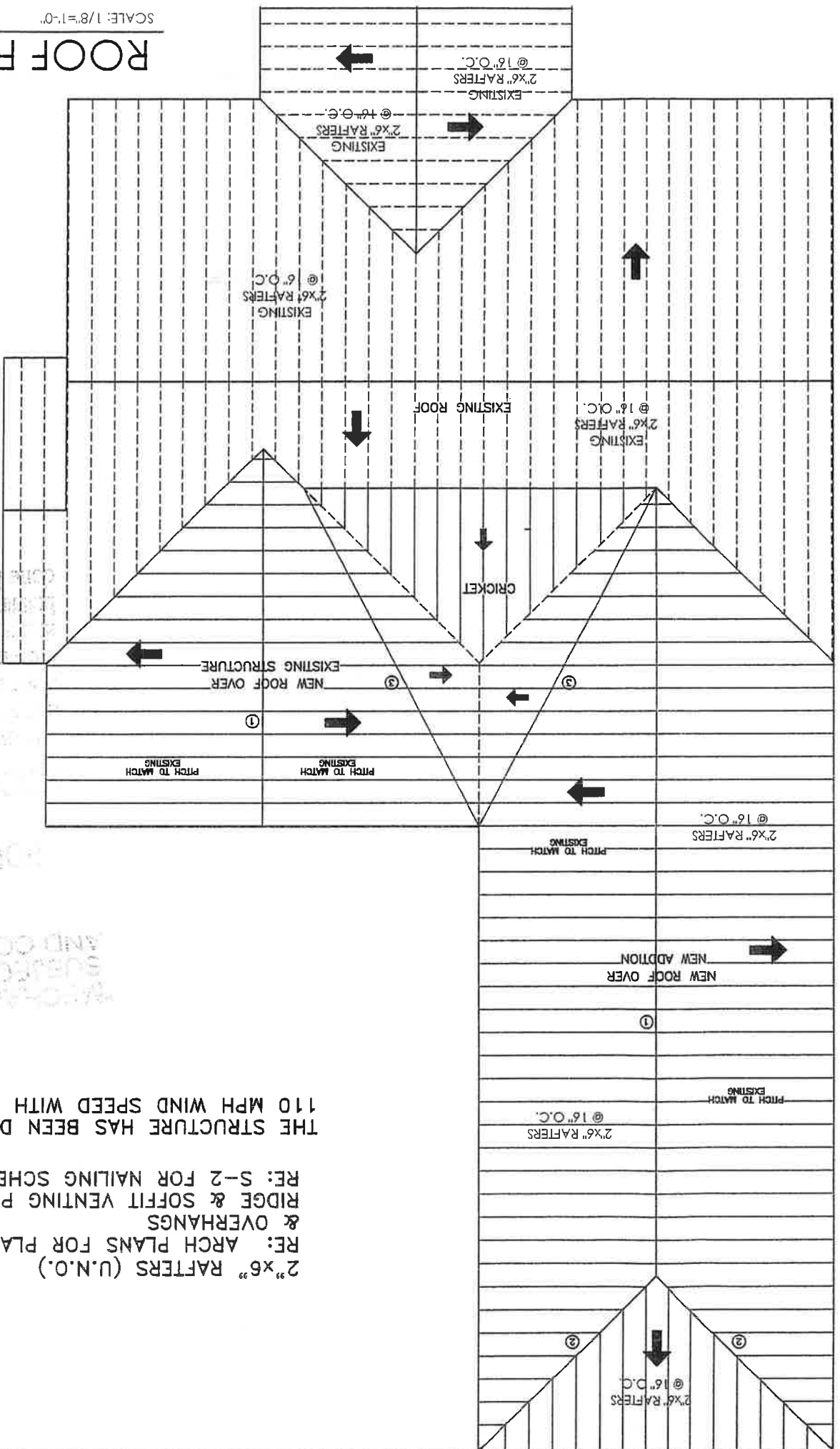
APPROVED

FOR BUILDING PERMIT ONLY

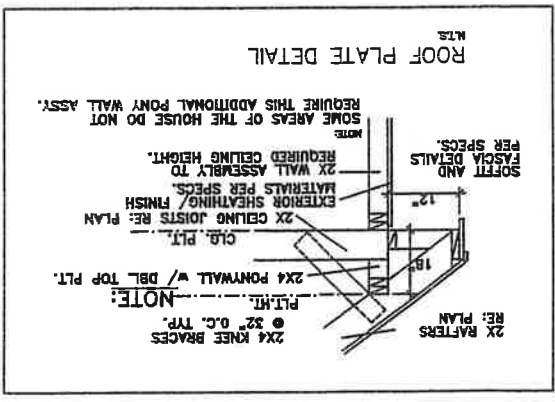
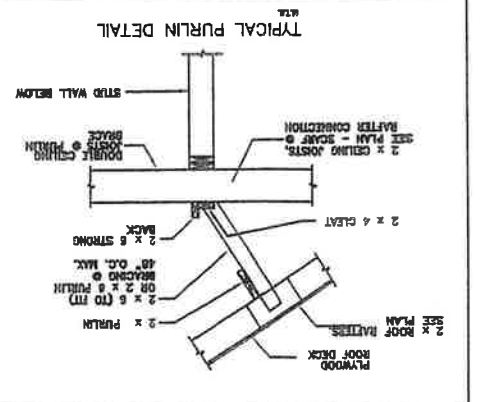
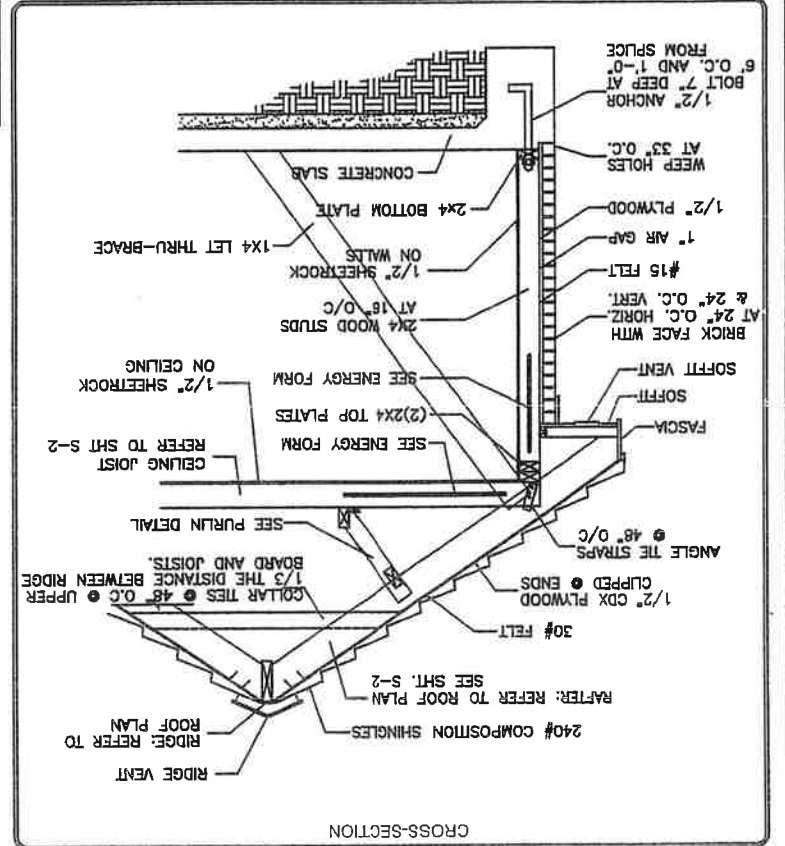
4103 MARKHAM HOUSTON, TEXAS

ROOF FRAMING PLAN

SCALE: 1/8"=1'-0"



2" x 6" RAFTERS (U.N.O.)
 RE: ARCH PLANS FOR PLATE HGTS
 & OVERHANGS
 RIDGE & SOFFIT VENTING PER BUILDER'S SPECS
 RE: S-2 FOR NAILING SCHEDULE
 THE STRUCTURE HAS BEEN DESIGNED TO WITHSTAND
 110 MPH WIND SPEED WITH A 3 SEC GUST



NEW RAFTERS
 EXISTING RAFTERS

- GENERAL ROOF NOTES:**
- 1- DEPTH OF RIDGE, HIP OR VALLEY BEAMS: A. SHALL BE ONE SIZE WIDER THAN THE LARGEST RAFTER FRAMING INTO IT (EX. 2X10 BEAM FOR 2X8 RAFTER). B. SHALL MATCH THE END OF THE RAFTER.
 - 2- PROVIDE COLLAR TIES AT UPPER 1/3 DISTANCE BETWEEN RIDGE BOARD AND JOIST AT 48" O.C.
 - 3- ALL RAFTERS 2" x 6" AT 16" O.C. UNLESS OTHERWISE NOTED.
 - 4- JOIST DOUBLE JOIST UNDER ALL PARTITIONS PARALLEL TO JOIST BELOW.
 - 5- PROVIDE CROSSBRACING AT 8'-00" O.C. ON ALL 2" x 12" JOIST.
 - 6- PROVIDE Rafter TIES AT ALL PLATES WHERE JOIST ARE PERPENDICULAR TO RAFTERS.
 - 7- PROVIDE 2" x 6" STRONGBACK ON SPANS OVER 10'-00".
 - 8- ALL STRUCTURAL FRAMING SHALL HAVE A 19% MAX. MOISTURE CONTENT AT TIME OF INSTALLATION.
 - 9- STUD WALLS EXCEEDING 10'-00" SHALL HAVE FIRESTOPS.
 - 10- THE MAXIMUM UNSUPPORTED SPAN FOR 2" x 6" RAFTERS SHALL BE 10'-7". RAFTERS ARE TO BE SUPPORTED BY CONTINUOUS 2" x 6" BRACES AT 48" O.C.
 - 11- PROVIDE 26 GA. GALVANIZED IRON FLASHING AT ALL VALLEYS, HIP, AND RIDGES WHERE APPLICABLE. ALSO APPLY FOR PIPES PROJECTING THROUGH ROOF WITH FLANGE AND EXTEND FLANGE 8" BEYOND SLEEVE.
 - 12- ALL BEAM, HEADER, JOIST, & RAFTER MATERIAL SHALL BE #2 SD19 SYP.
 - 13- ALL WALL STUD SHALL BE STUD GRADE SD19 FR 16" O.C.
 - 14- ALL STEEL SHALL CONFORM TO ASTM A-36.
 - 15- ROOF LIVE LOAD= 16 PSF, SECOND FLOOR LIVE LOAD= 40 PSF, CEILING LIVE LOAD= 10 PSF, WIND LOAD 110 MPH.
 - 16- ROOF DECKING SHALL BE 1/2" EXPOSURE 1" (CDX) OR WATERBOARD APA RATED SHEATING (24/0).
 - 17- RAFTERS SHALL BE NAILED TO ADJACENT CEILING JOIST TO FORM A CONTINUOUS TIE BETWEEN EXTERIOR WALLS WHEN SUCH JOISTS ARE PARALLEL. RAFTER TIES SHALL BE SPACED NOT MORE THAN 48" O.C. (I.R.C. 2000).
 - 18- PROVIDE DOUBLE FRAMING @ EDGES OF ALL ROOF OPENINGS LARGER THAN 24".
 - 19- RE. ARCH. DWG'S FOR ROOF SLOPES & OTHER DATA NOT CONTAINED HEREIN.

SHEET: 3-3
 DATE: DECEMBER 9, 2008
 CHECKED BY: IVAN M.
 DRAWN BY: JONATHAN
 SCALE: 1/8"=1'-0"
 JOB No. 08176
 FILE: 2008/RESIDENTIAL/08176/NE/S-3

ROOF PLAN FOR A PROPOSED
 RESIDENTIAL ADDITION
 AT
 4103 MARKHAM
 HOUSTON, TX

VATANI CONSULTING ENGINEERS, PLLC
 DESIGN CONSULTANTS
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 HOUSTON, TEXAS 77022
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 AND CORRECTION

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NO.	DATE	DESCRIPTION
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