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## Web Presentation

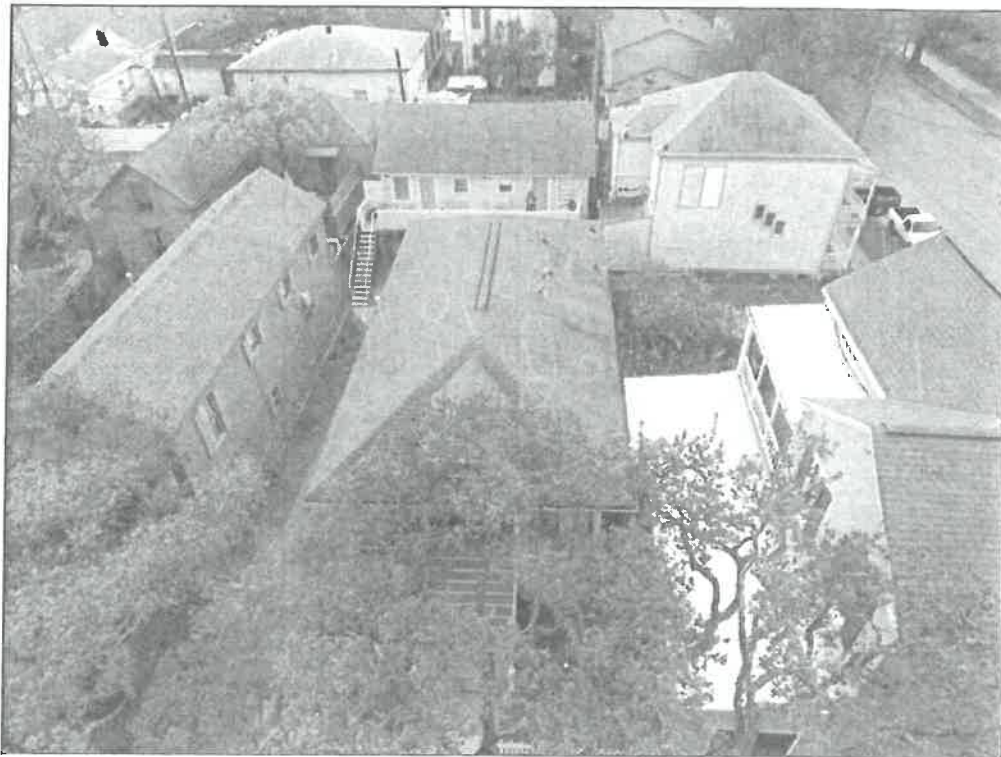


**Do not print, save, or use this visual presentation as an official reference.** This is NOT the TREC approved document. This presentation is for viewing purposes only and allows for expanding pictures and other advanced web features. There is a separate PDF document that is your official inspection report. Please see the official TREC approved PDF document that was sent by the inspector.

**Property Address:** 2025 Avenue M, Galveston, TX

Appears pages  
are doubles !!  
Not sure why

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**Spot On Inspection, PLLC**

**Patrick Miceli 22417  
11152 Westheimer Road, #718  
Houston, Texas 77042  
281-845-9505**

# Safety Deficiencies

**Spot On Inspection, PLLC**  
11152 Westheimer Road, #718  
Houston, Texas 77042  
281-845-9505

**Customer**  
[Redacted]

**Address**  
2025 Avenue M  
Galveston TX

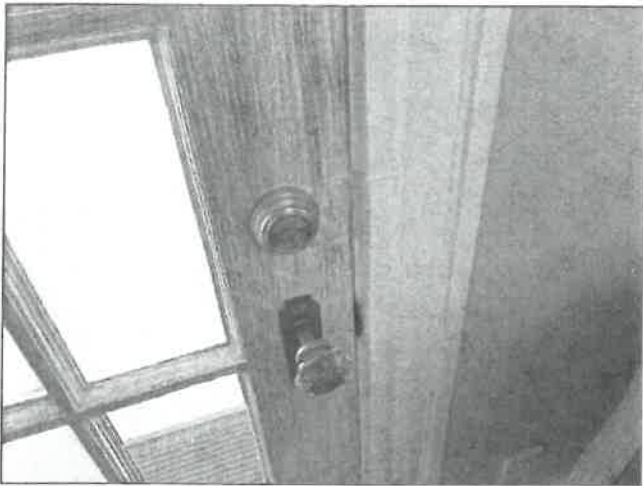
## I. Structural Systems

### G. Doors (Interior and Exterior)

#### Deficient



The Front entry door has a double cylinder deadbolt lock (Requires a key on the inside to open). This is an emergency egress issue. A qualified contractor should be consulted for replacement with an interior thumb turn.



*owner did not want interior thumb turn hook because glass door*

G. Item 1(Picture)

### H. Windows

#### Deficient



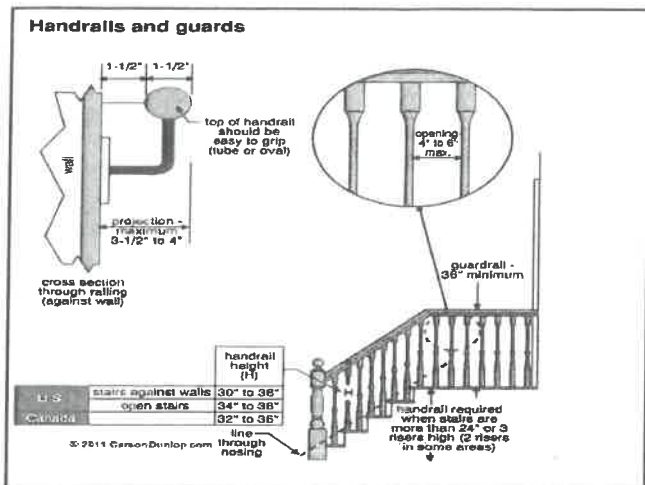
(2) Multiple windows have missing or damaged insect screens.

### I. Stairways (Interior and Exterior)

#### Deficient

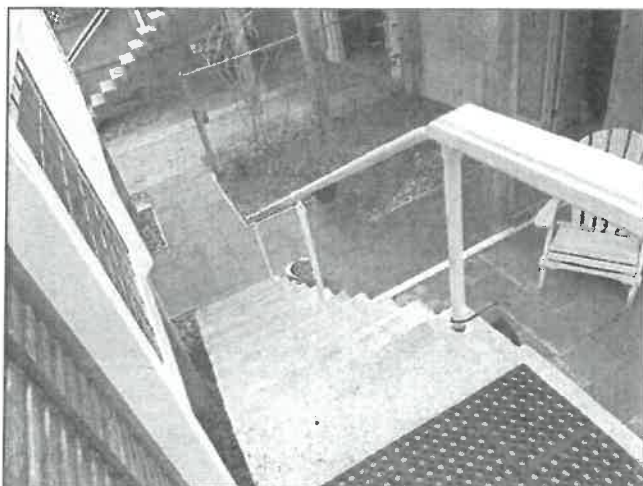


(1) The hand/guard rail for the exterior stairway contains balusters that are spaced more than 4 inches apart. Balusters more than 4 inches apart may allow a small child to become trapped or to fall. This is a safety issue. This is a safety concern. A qualified contractor should be consulted for correction.



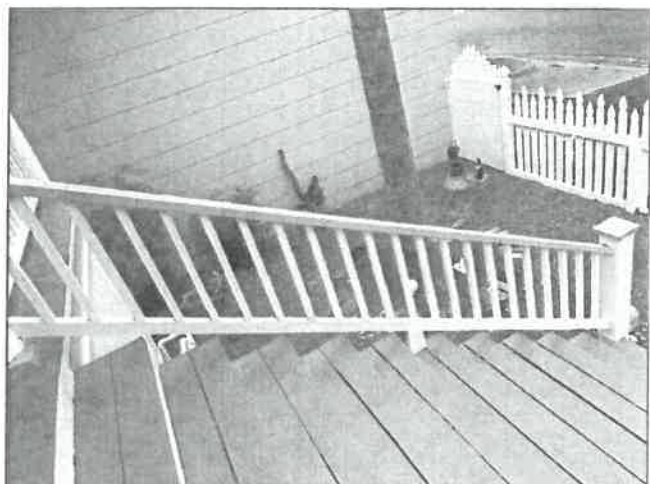
I. Item 1(Picture)

I. Item 2(Picture)



I. Item 3(Picture)

I. Item 4(Picture)



I. Item 5(Picture)

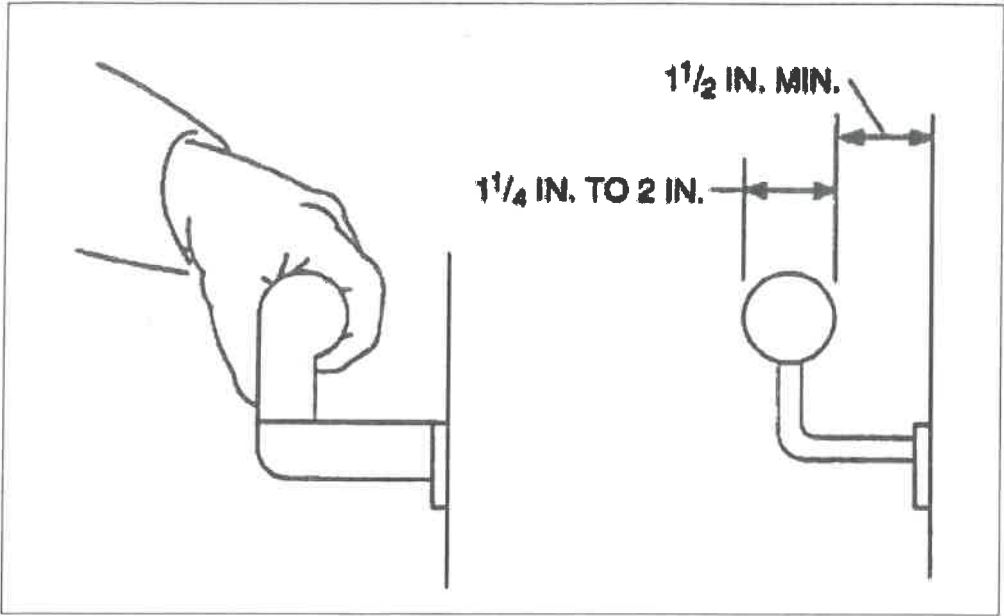
I. Item 6(Picture)



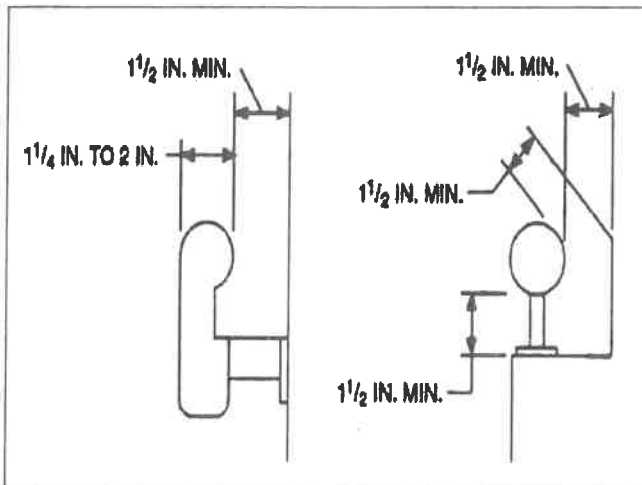
(2) The exterior stairway handrail does not meet the grasp ability requirements. This is a safety issue. A qualified contractor should be consulted for correction

- this is a historical house

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I. Item 7(Picture)

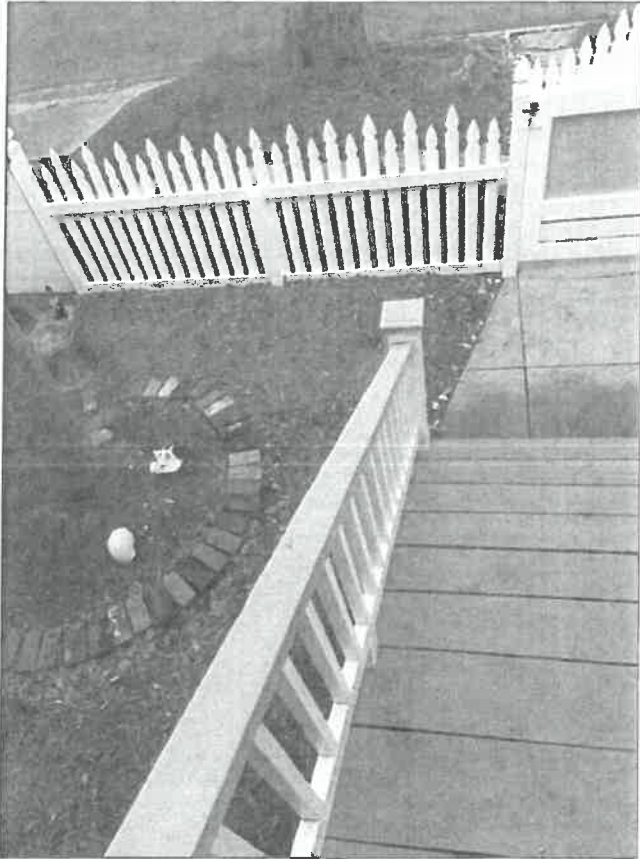


I. Item 8(Picture)



I. Item 9(Picture)

6



I. Item 10(Picture)

## II. Electrical Systems

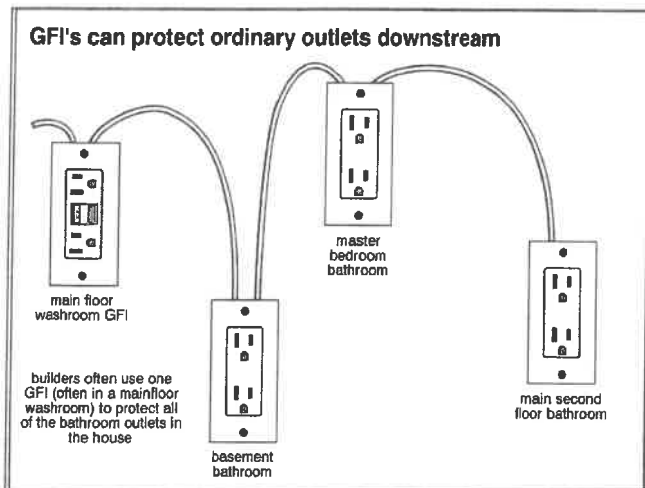
### B. Branch Circuits, Connected Devices and Fixtures

#### Deficient

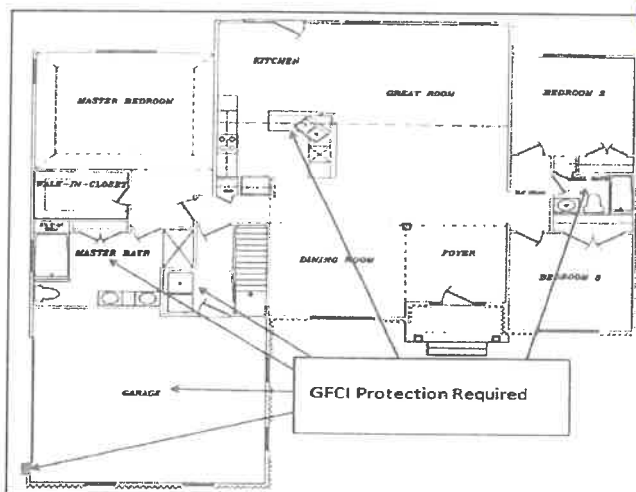


(1) Two plug receptacle(s) in the north apartment kitchen (plug receptacles serving counter space only) are not Ground Fault Circuit Interrupter (GFCI) protected. This is a safety concern. The purpose of GFCI is as a safety device designed to protect humans from electrocution hazards at any place where they are likely to be in prolonged direct contact with electrical devices, especially those devices with motors. They also protect from electrocution hazards near open water receptacles such as sinks, tubs and pools. A licensed electrician should be consulted for installation of appropriate GFCI protection in all kitchen, bathroom, garage, pool area and exterior plug receptacle locations.

*seller installing*



B. Item 1(Picture)



B. Item 2(Picture)



B. Item 3(Picture)

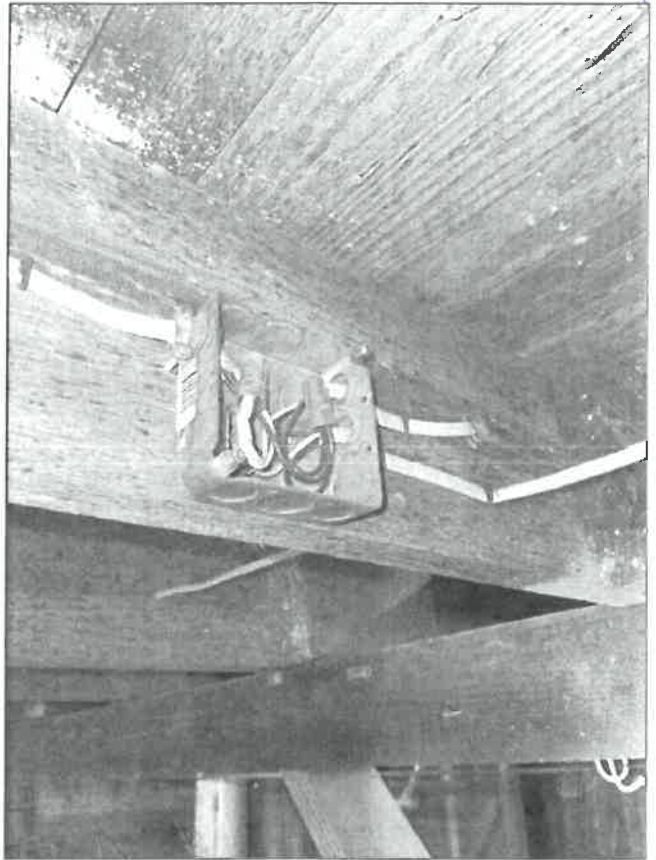
*GFCI replaced by owner*



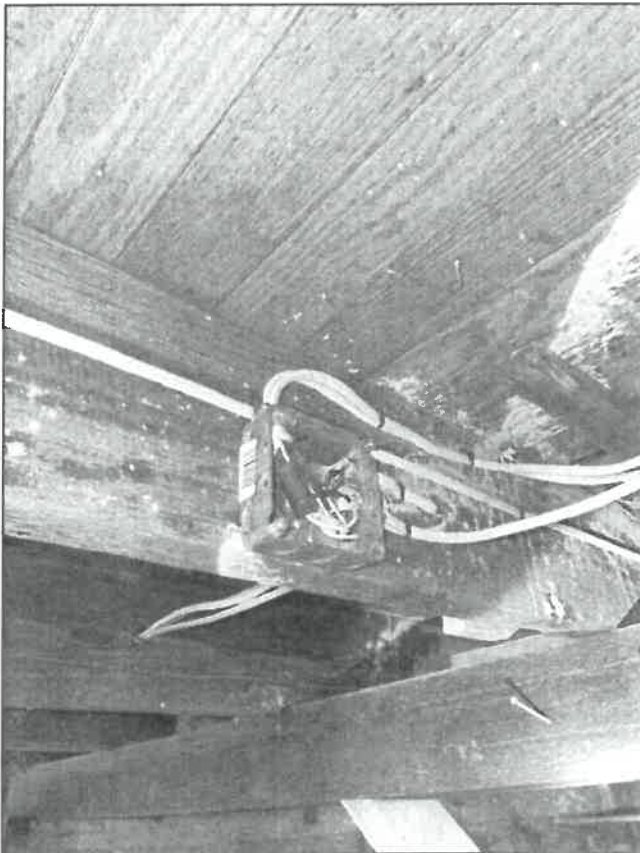
(2) Multiple junction boxes are not properly enclosed.



B. Item 4(Picture)



B. Item 5(Picture)



B. Item 6(Picture)



B. Item 7(Picture)



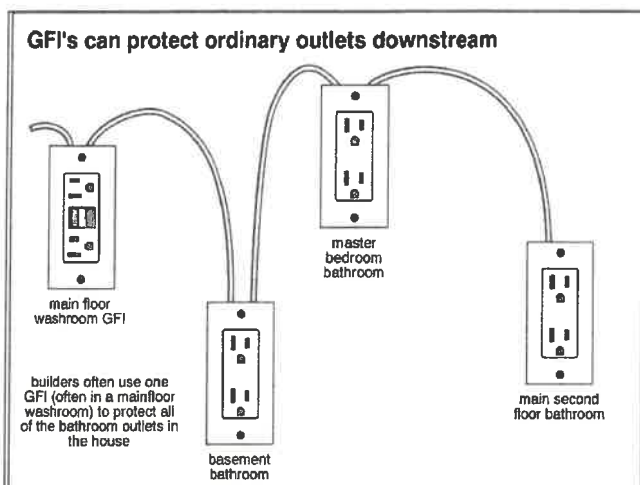
(3) Four plug receptacle(s) in the primary structure kitchen (plug receptacles serving counter space only) are not Ground Fault Circuit Interrupter (GFCI) protected. This is a safety concern. The purpose of GFCI is as a safety device designed to protect humans from electrocution hazards at any place where they are likely to be in prolonged

*owner to install junction box lids*

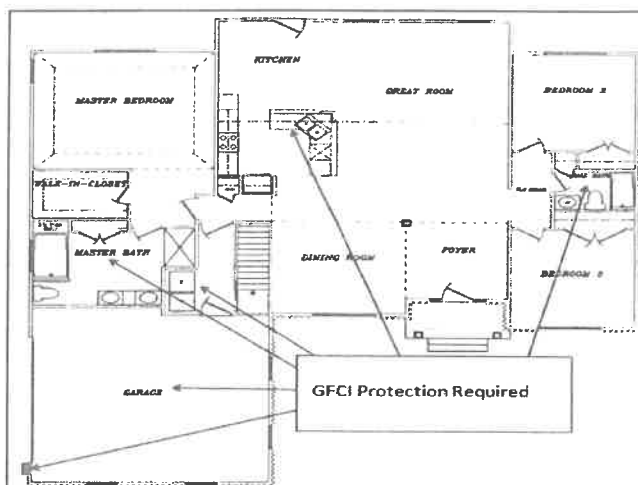
8



direct contact with electrical devices, especially those devices with motors. They also protect from electrocution hazards near open water receptacles such as sinks, tubs and pools. A licensed electrician should be consulted for installation of appropriate GFCI protection in all kitchen, bathroom, garage, pool area and exterior plug receptacle locations.



B. Item 8(Picture)



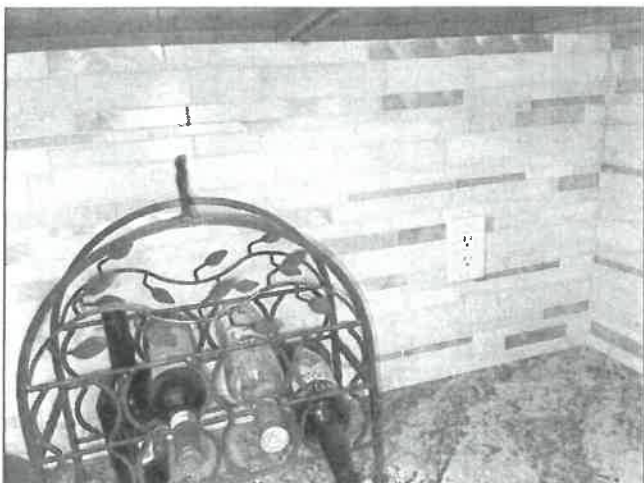
B. Item 9(Picture)



B. Item 10(Picture)



B. Item 11(Picture)



B. Item 12(Picture)



(4) The number of kitchen counter plug receptacle outlets is not adequate in the primary structure. There should be no point on the kitchen counter further than 24 inches from a GFCI protected plug receptacle outlet. A qualified electrician should be consulted for correction.



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B. Item 13(Picture)

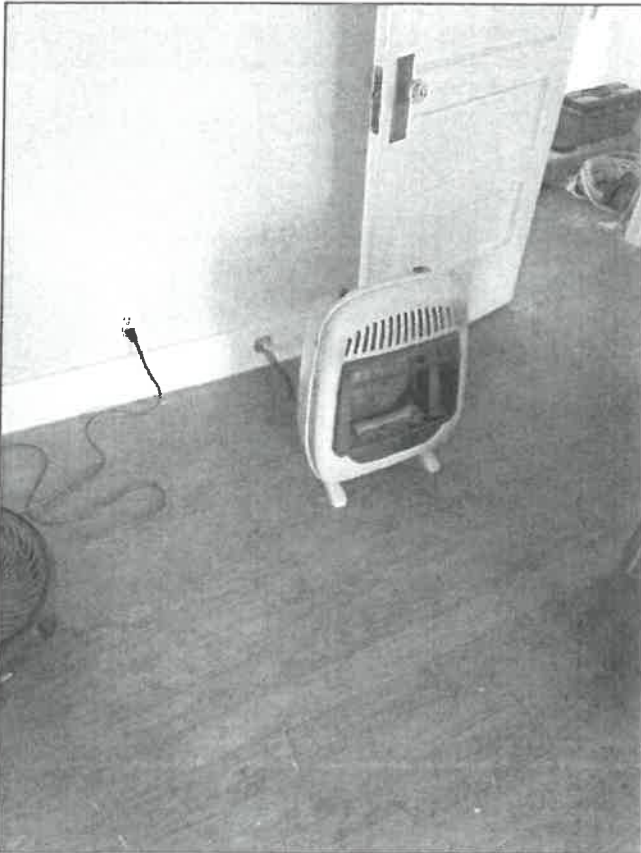
### III. Heating, Ventilation and Air Conditioning Systems

#### A. Heating Equipment

##### Inspected, Not Inspected



(2) South apartment heating sources were not inspected. These are unventilated natural gas devices not meeting current safety requirements. I recommend removal.



A. Item 2(Picture)

### IV. Plumbing System

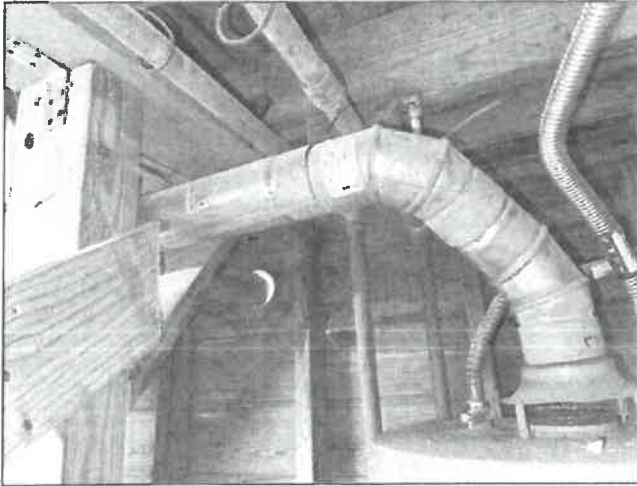
#### C. Water Heating Equipment

11

**Deficient**



(1) Water heater exhaust flue is not properly installed. This may result in carbon monoxide infiltration into the structure and is a serious health hazard. A qualified plumber should be consulted for correction.



Plumber consulted  
4/2/21. He states this  
is properly installed and  
was inspected by city  
after installation  
08/20/20

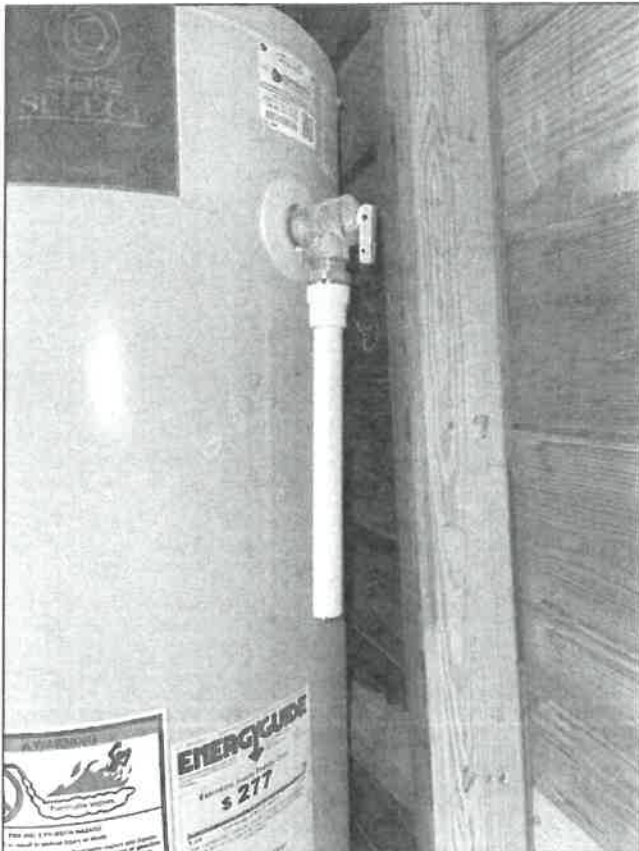
C. Item 1(Picture)



(2) The TPR valve is plumbed incorrectly.

The Temperature and Pressure Relief Valve discharge line should discharge within 6 inches of the surface or into the pan or to the structure exterior.

This is a safety issue. A licensed plumber should be consulted for correction.



4/2/2021  
plumber moved valve  
down. States no pan  
needed if outside  
inspected by city  
08/20/20

C. Item 2(Picture)

**V. Appliances**

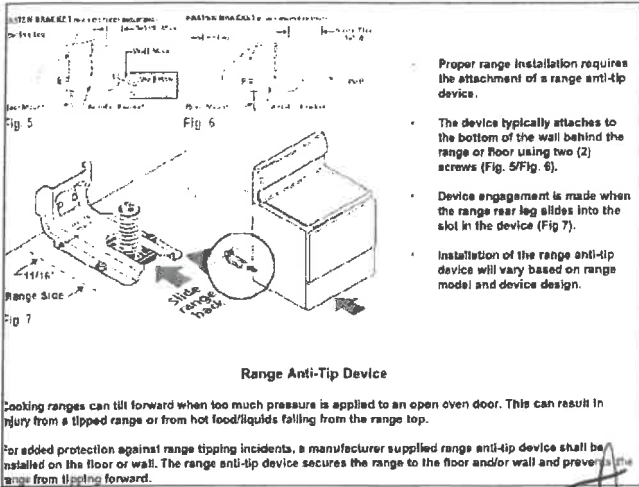
**D. Ranges, Cooktops and Ovens**

12

**Not Present, Deficient**

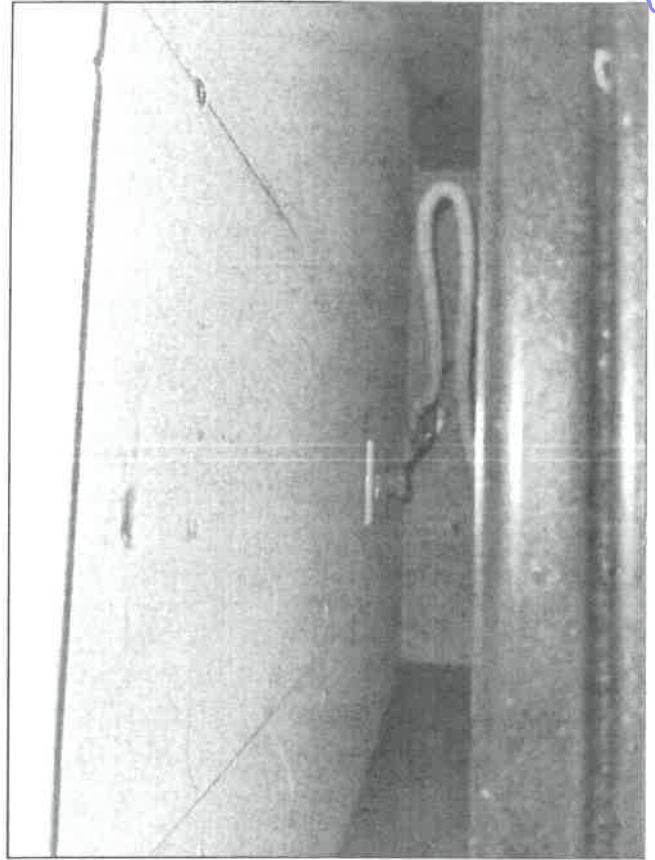


(3) There is no anti-tip device installed on the range oven combination. A qualified contractor should be consulted for correction.

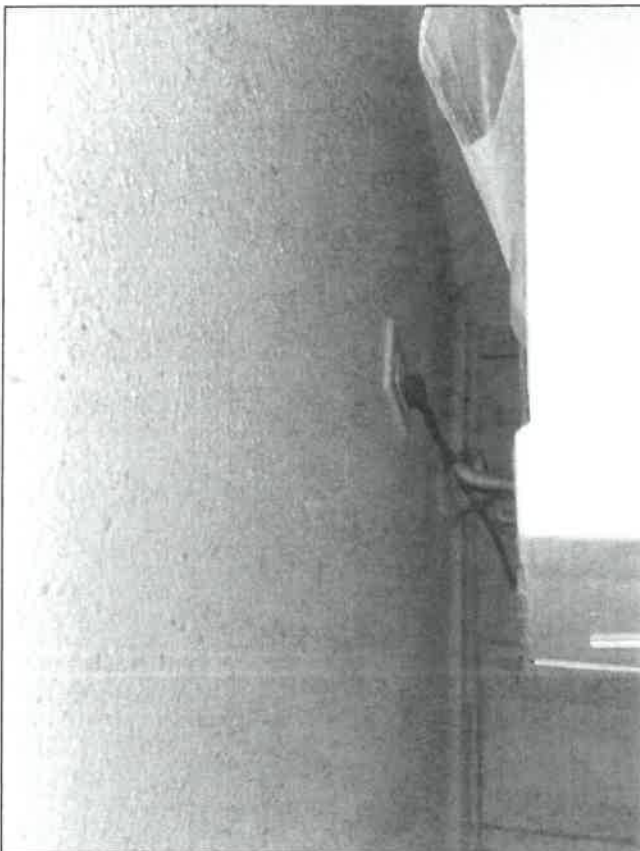


D. Item 2(Picture)

*to be installed by seller*



D. Item 3(Picture)



D. Item 4(Picture)



Deficiencies

Spot On Inspection, PLLC

11152 Westheimer Road, #718  
Houston, Texas 77042  
281-845-9505

Customer  
Kyle DonLevy

Address  
2025 Avenue M  
Galveston TX

The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary does not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home.

This Summary is not the entire report.

The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

I. Structural Systems

A. Foundations

Deficient



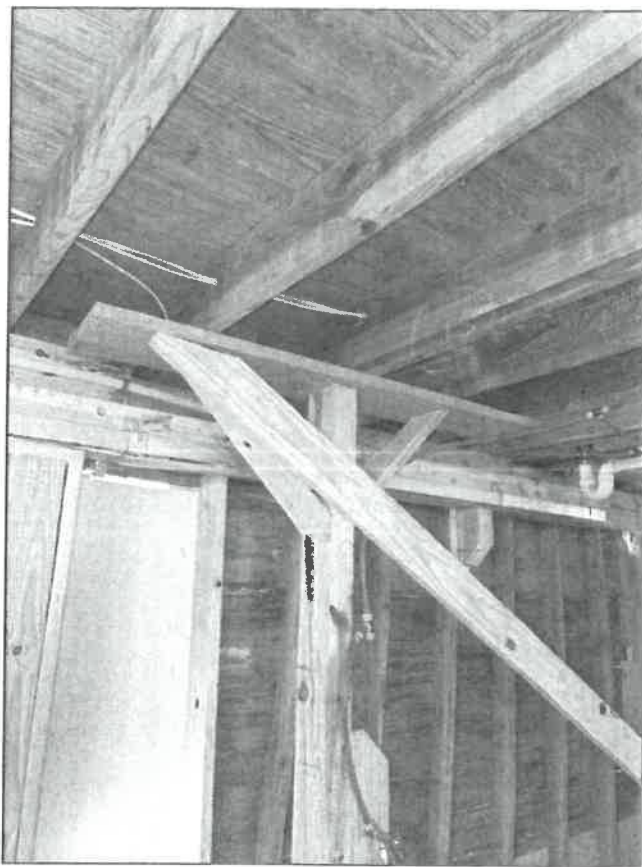
(1) It is the opinion of this inspector that the adequate performance of garage apartments foundation cannot be determined via one time inspection. There are multiple indications of prior structural movement present. The lower half of the north wall is leaning approximately 16 degrees at the Northwest corner. This lean extends across the entire length of this wall. There are extensive structural repairs. These repairs are not in accordance with industry standard practices and may not be sufficient to prevent further structural movement.

The foundation should be evaluated by a qualified structural engineer with experience with this type of foundation system.

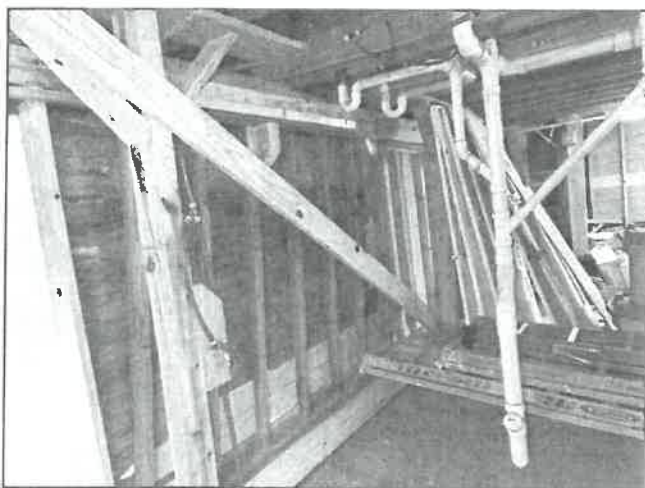
see engineer reports  
2012  
2014  
2021



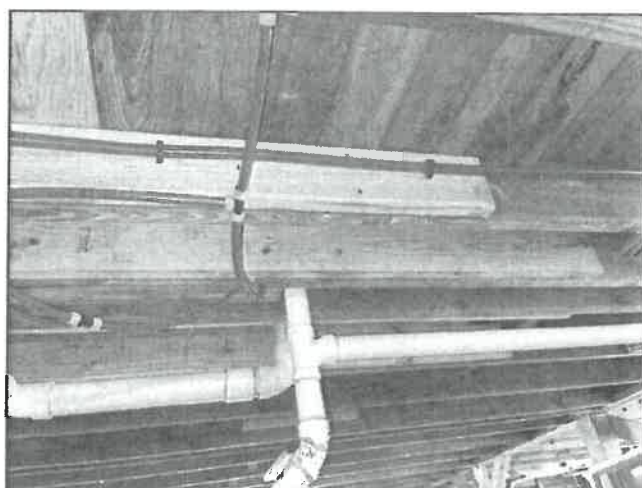
A. Item 1(Video)



A. Item 2(Picture)

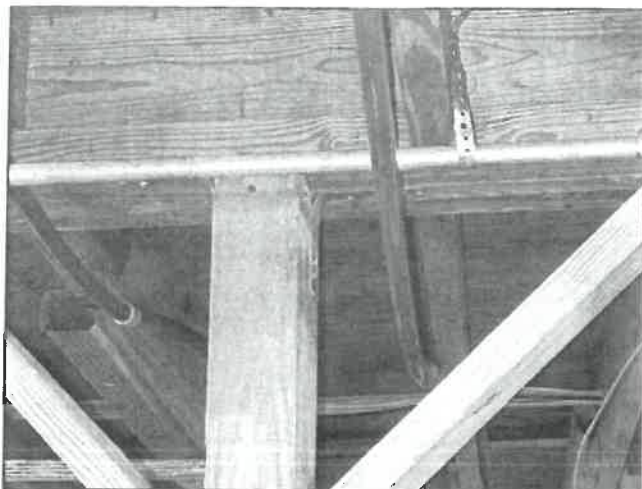


A. Item 3(Picture)



A. Item 4(Picture)

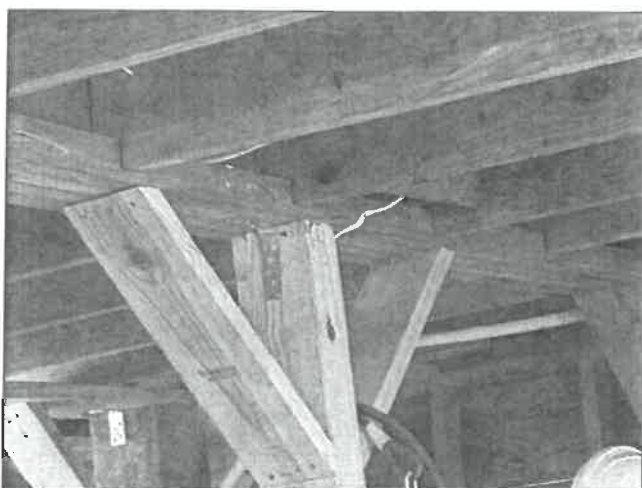




A. Item 5(Picture)



A. Item 6(Picture)



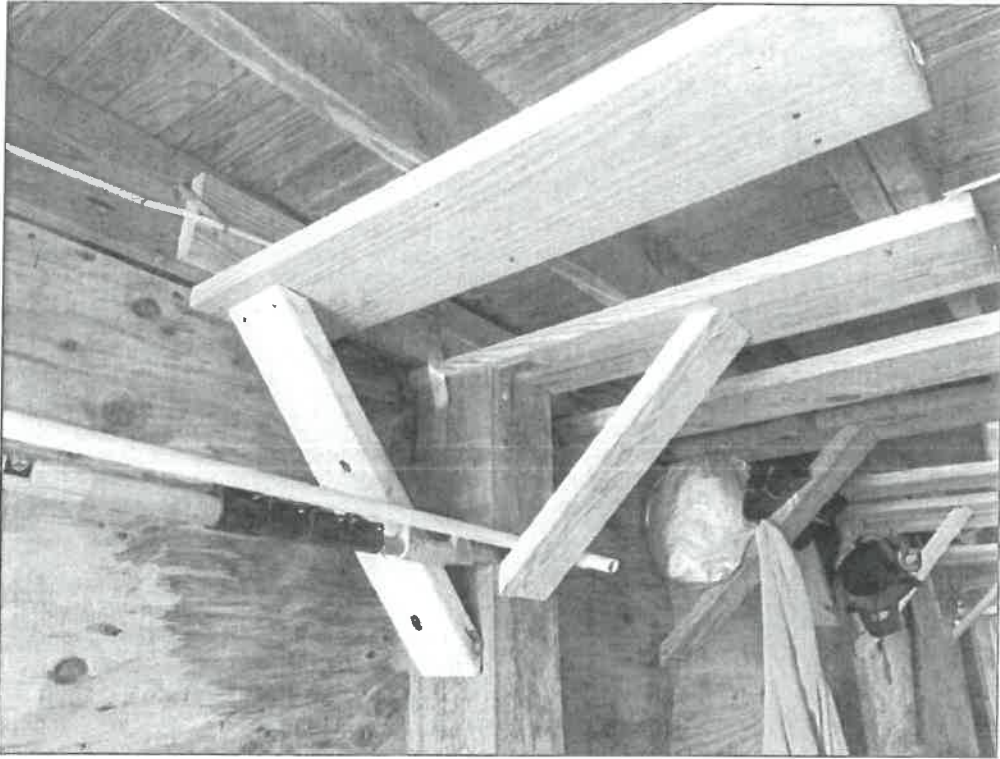
A. Item 7(Picture)



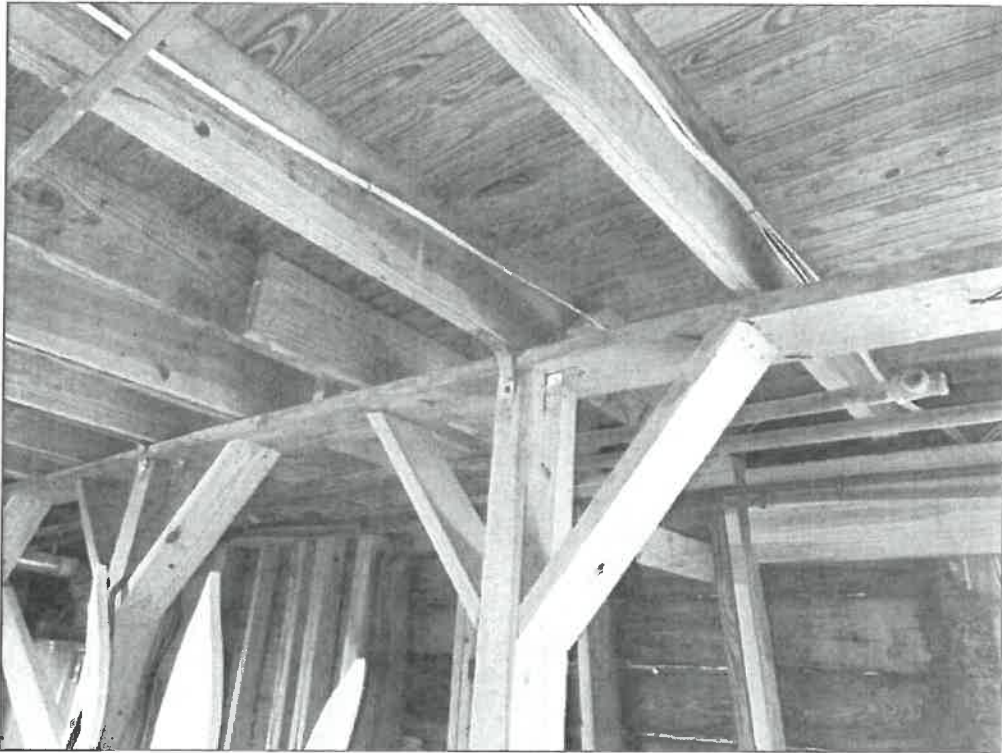
A. Item 8(Picture)



A. Item 9(Picture)

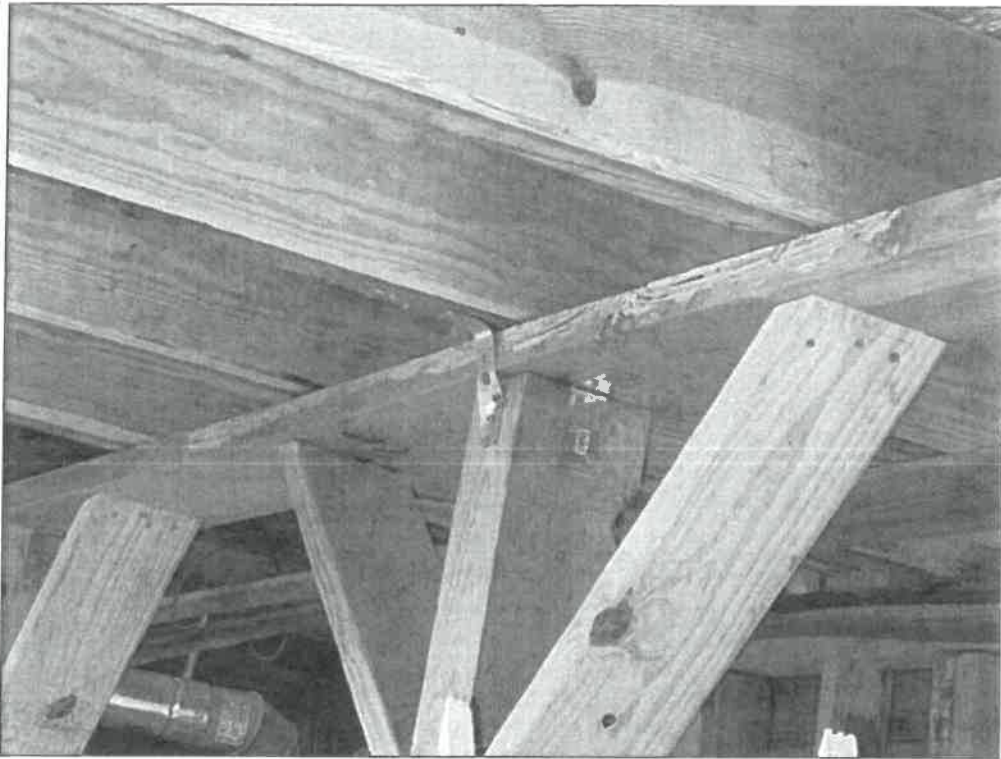


A. Item 10(Picture)

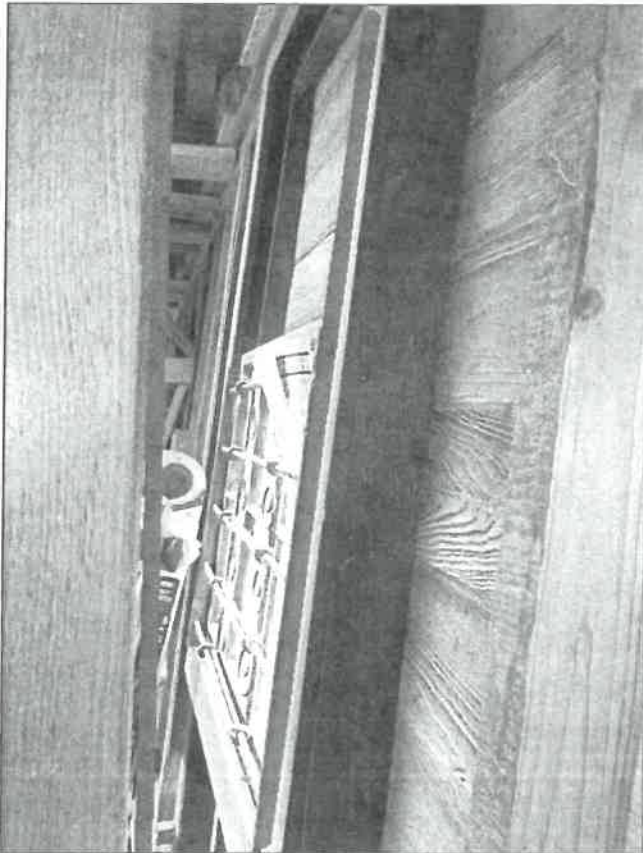


A. Item 11(Picture)

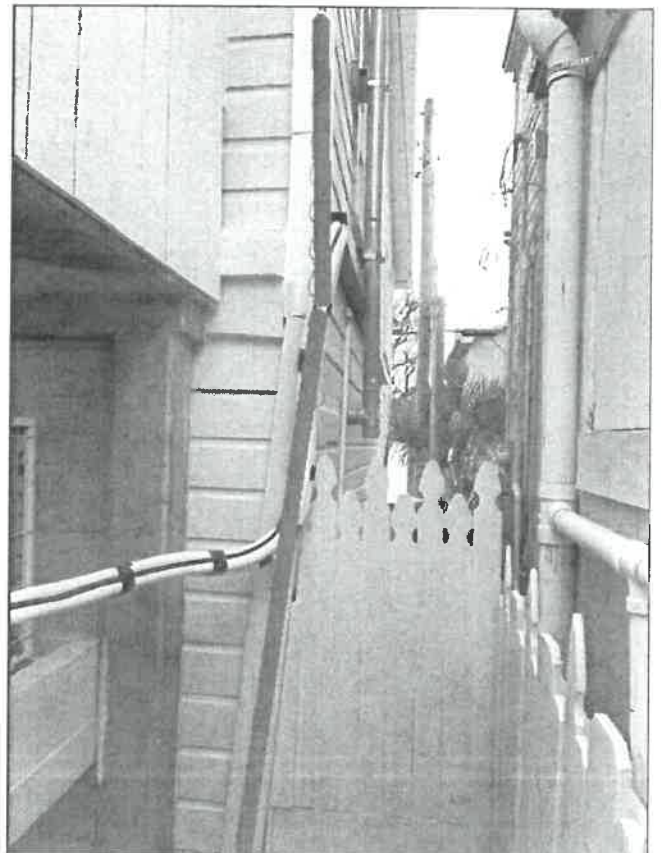
19



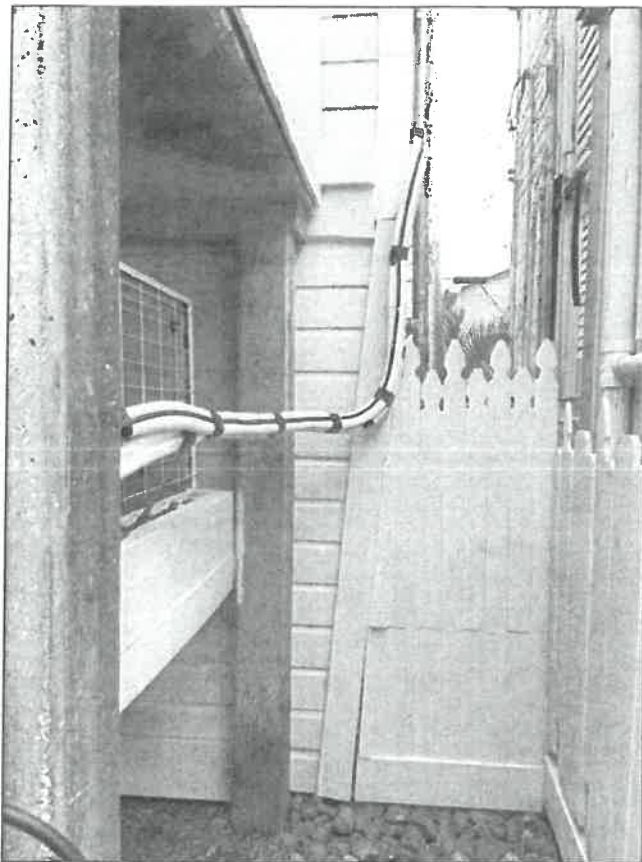
A. Item 12(Picture)



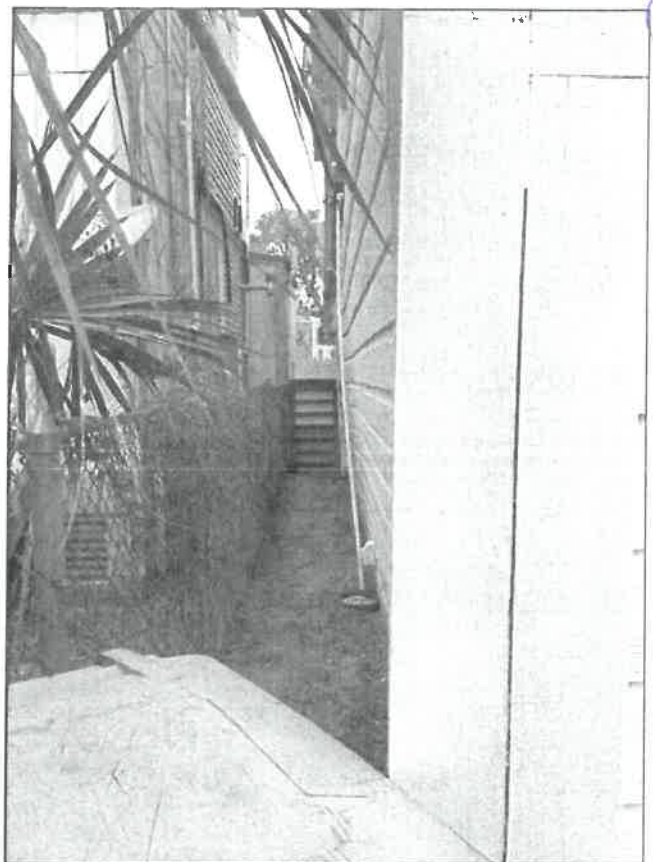
A. Item 13(Picture)



A. Item 14(Picture)



A. Item 15(Picture)



A. Item 16(Picture)



A. Item 17(Picture)

**B. Grading and Drainage**



### Deficient

(1) Insufficient exposure above grade at all sides side of house. Moisture intrusion is possible where there is insufficient exposure. Also, insufficient foundation exposure makes detection of Wood Destroying Insects more difficult.

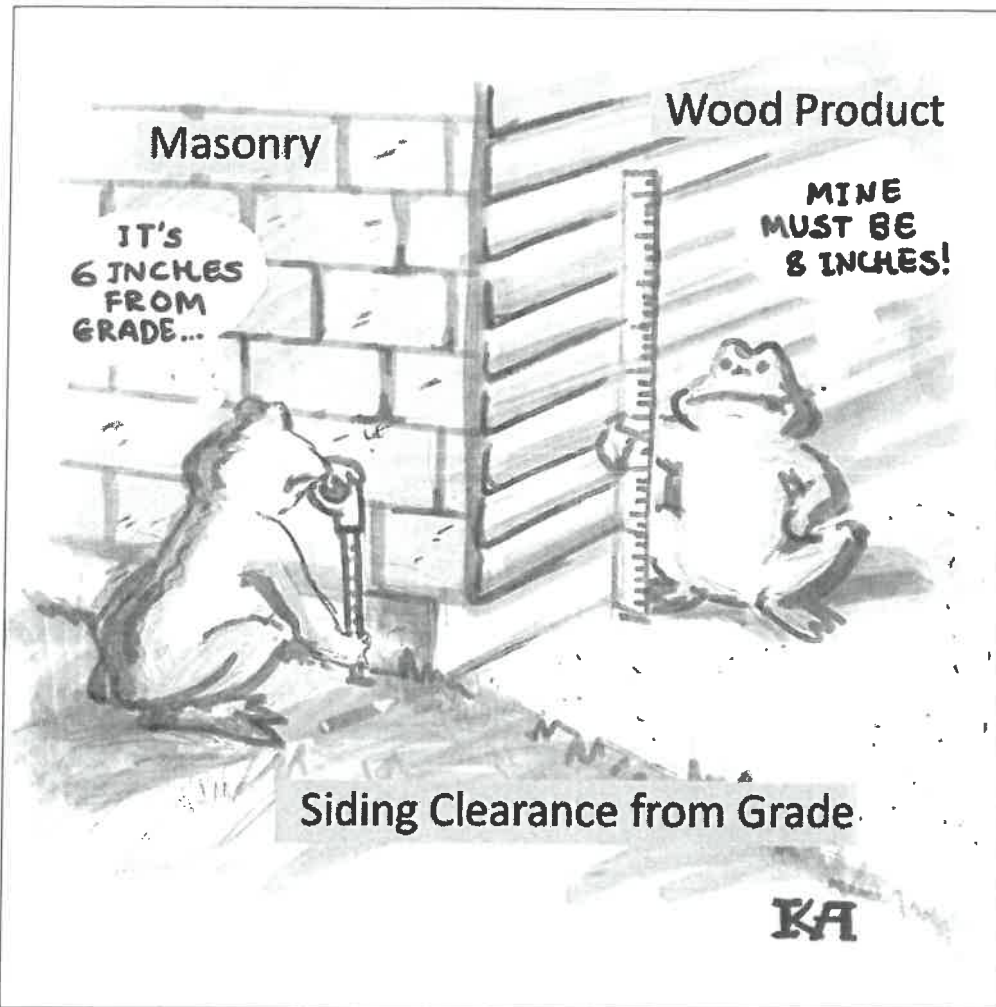
The recommended clearance of masonry siding products (brick, stone, etc.) is 6 inches.

Wood siding clearance is recommended to be 8 inches from soil. Wood products need to be able to dry thoroughly after rain and the extra space aids that process.

Also, do not allow mulch (wood or stone) or vegetation to come in contact with any siding product. And be especially vigilant regarding irrigation spray heads. Do not allow them to spray directly on siding products.

<https://spotoninspection.com/siding-to-soil-clearance/>

21



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B. Item 1(Picture)



B. Item 2(Video)



(2) There is an area of persistent water puddling on the north side of the primary structure crawlspace. This may be a contributing factor to the moisture intrusion damage present in the crawlspace.

In addition, the crawlspace is poorly ventilated. I recommend removing all wood siding and trim products within 8 inches of grade and providing adequate ventilation opening to the crawlspace to facilitate drying of the crawlspace.

A qualified contractor should be consulted for correction of the water intrusion and ventilation.



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B. Item 3(Video)



(3) The gutters are full of debris in areas. The debris in gutters can also conceal rust, deterioration or leaks. Debris in gutters prevents proper water flow and may allow moisture intrusion into the structure. A qualified contractor should be consulted for correction.



*gutters will be cleaned by owner*

B. Item 4(Picture)

**C. Roof Covering Materials**

**Deficient**



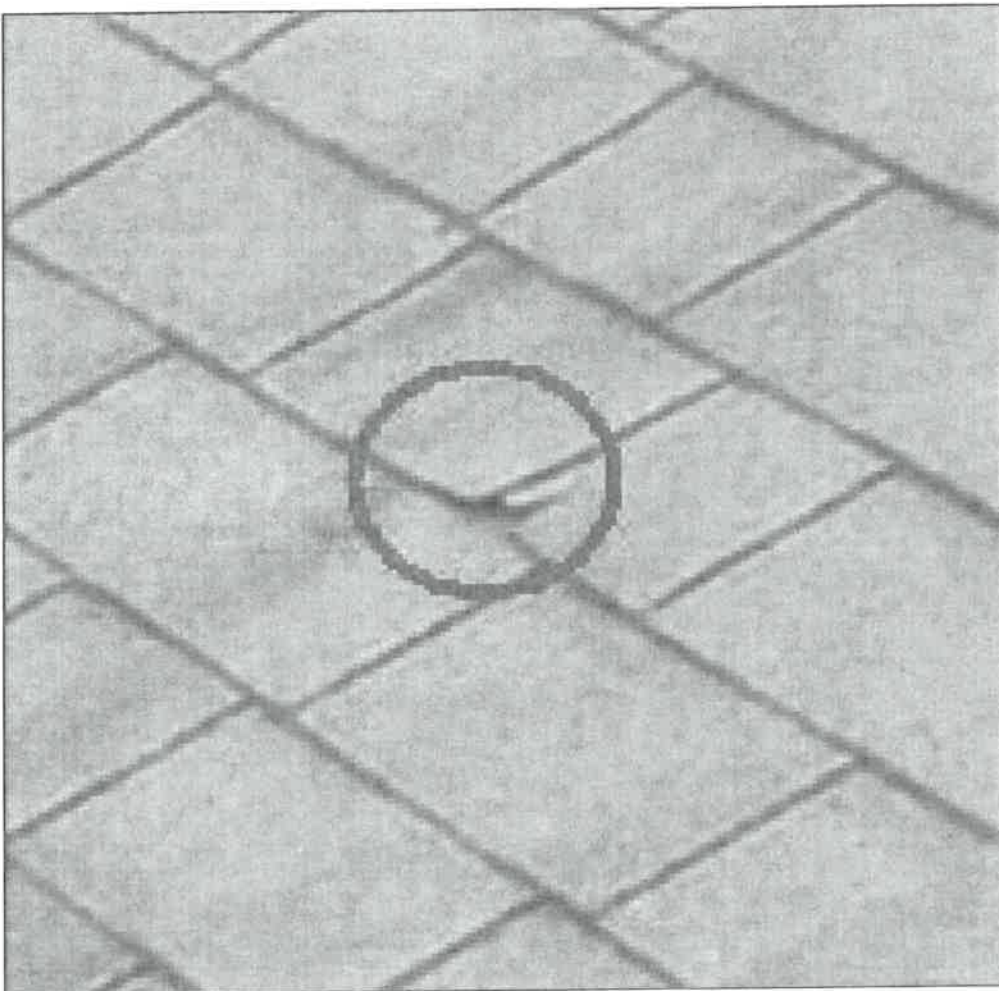
(1) The roof covering has damaged and missing shingles on the west and south roof slope(s). A qualified contractor should be consulted for correction.



C. Item 1(Picture)



C. Item 2(Picture)



C. Item 3(Picture)

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attic wall

**D. Roof Structures and Attics**

**Deficient**

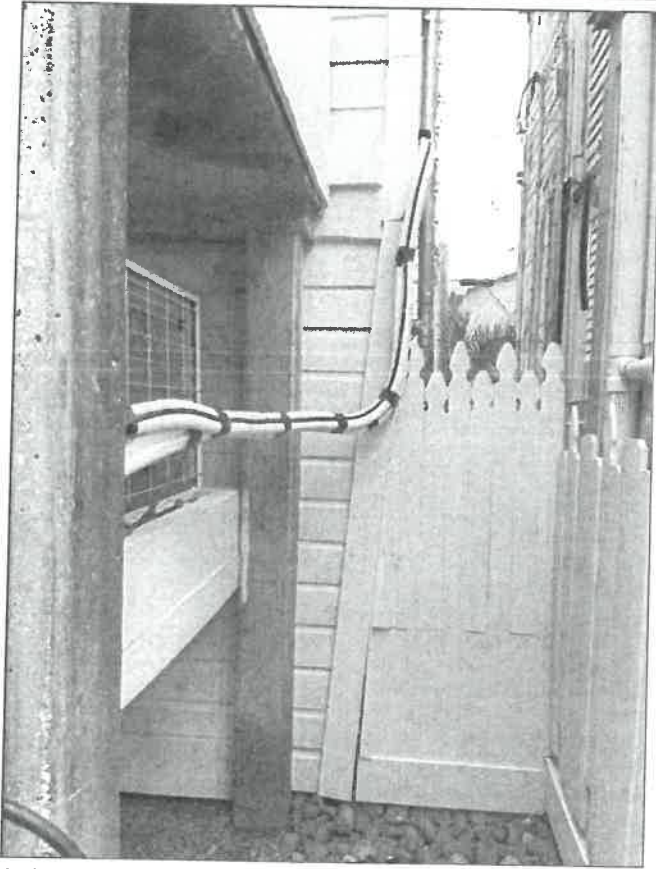


(1) The attic does not have adequate insulation. The attic should be insulated to R-30 or better. Insulation should cover all attic joists and wall studs adjacent to interior spaces to prevent thermal bridging. A qualified contractor should be consulted for correction.



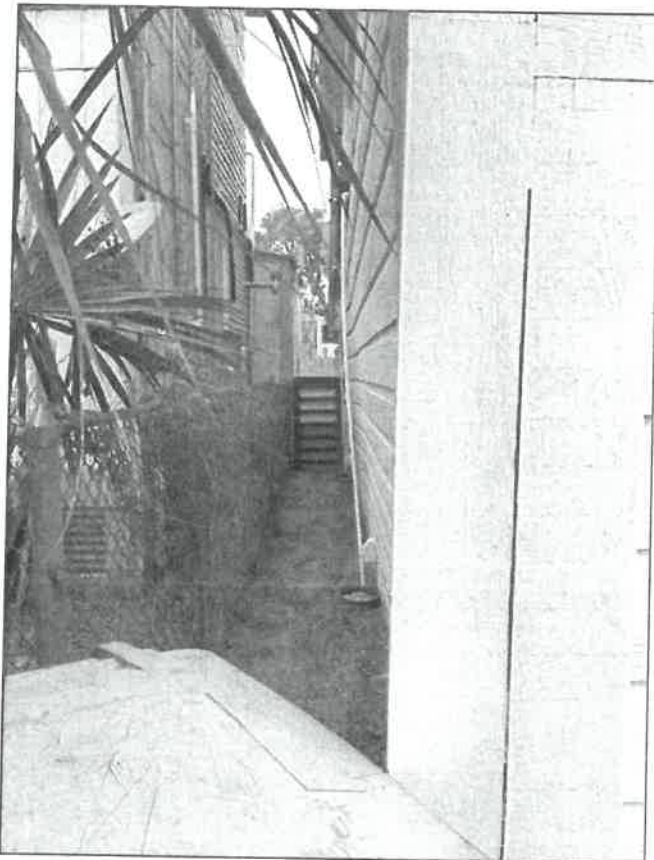
I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I   NI   NP   D



13

A. Item 15(Picture)



A. Item 16(Picture)

I   NI   NP   D



64

A. Item 17(Picture)

**INFO** (2) In the opinion of this inspector, the foundation of the primary residence is adequately performing its intended function at this time. It is recommended that the foundation be monitored over time to determine any adverse trends not detectable via one time examination.

**B. Grading and Drainage**

**Rain Gutters: Partial Gutters**

Comments:

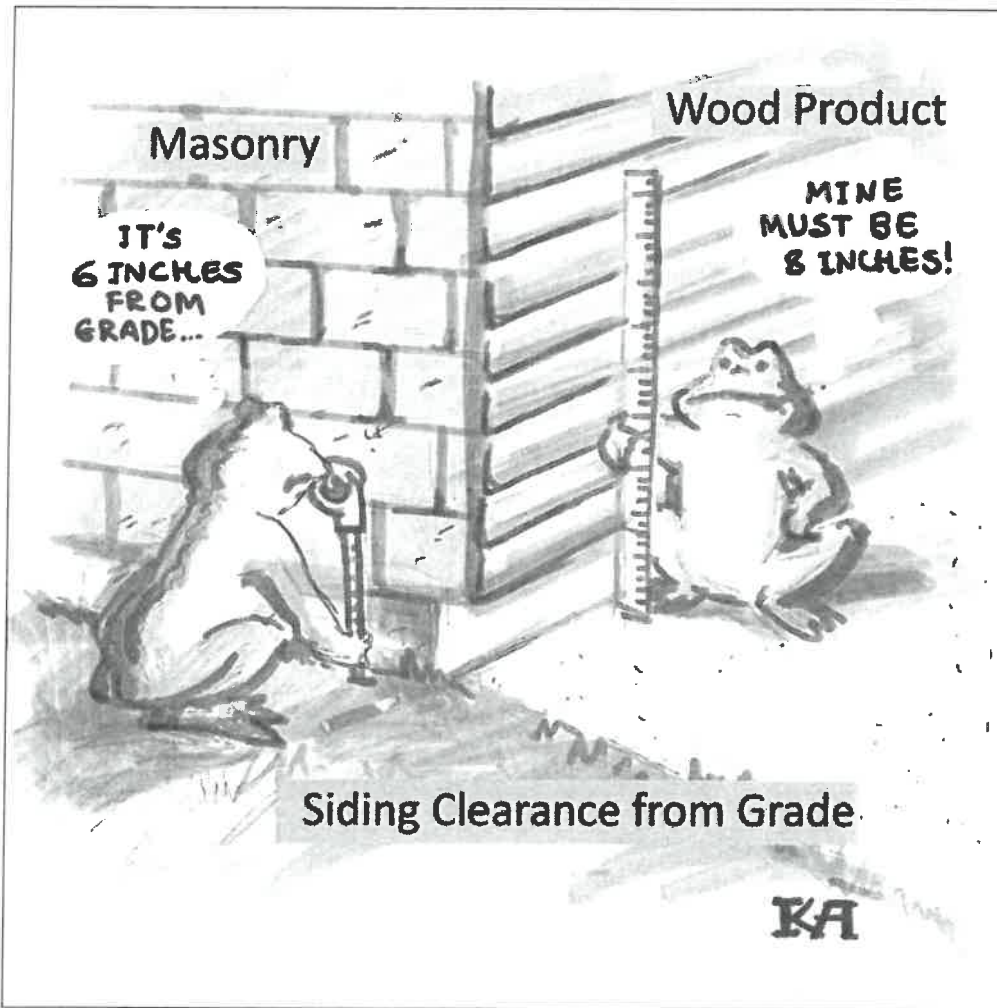
**X** (1) Insufficient exposure above grade at all sides side of house. Moisture intrusion is possible where there is insufficient exposure. Also, insufficient foundation exposure makes detection of Wood Destroying Insects more difficult.

The recommended clearance of masonry siding products (brick, stone, etc.) is 6 inches.

Wood siding clearance is recommended to be 8 inches from soil. Wood products need to be able to dry thoroughly after rain and the extra space aids that process.

Also, do not allow mulch (wood or stone) or vegetation to come in contact with any siding product. And be especially vigilant regarding irrigation spray heads. Do not allow them to spray directly on siding products.

<https://spotoninspection.com/siding-to-soil-clearance/>



65

B. Item 1(Picture)



B. Item 2(Video)

**X** (2) There is an area of persistent water puddling on the north side of the primary structure crawlspace. This may be a contributing factor to the moisture intrusion damage present in the crawlspace

In addition, the crawlspace is poorly ventilated. I recommend removing all wood siding and trim products within 8 inches of grade and providing adequate ventilation opening to the crawlspace to facilitate drying

I = Inspected   NI = Not Inspected   NP = Not Present   D = Deficient

I   NI   NP   D

of the crawlspace.

A qualified contractor should be consulted for correction of the water intrusion and ventilation.



66

B. Item 3(Video)

✘ (3) The gutters are full of debris in areas. The debris in gutters can also conceal rust, deterioration or leaks. Debris in gutters prevents proper water flow and may allow moisture intrusion into the structure. A qualified contractor should be consulted for correction.



gutters will be cleaned by owner

B. Item 4(Picture)

C. Roof Covering Materials

Roof covering inspection vantage point.: Remotely Piloted Vehicle mounted camera

I = Inspected   NI = Not Inspected   NP = Not Present   D = Deficient

I   NI   NP   D

**Restrictions to roof access:** Roof greater than one story above ground level.

**Roof Covering:** Architectural fiberglass composition shingles

**Prior roof repairs evident?:** No.

Comments:

**X** (1) The roof covering has damaged and missing shingles on the west and south roof slope(s). A qualified contractor should be consulted for correction..



(67)

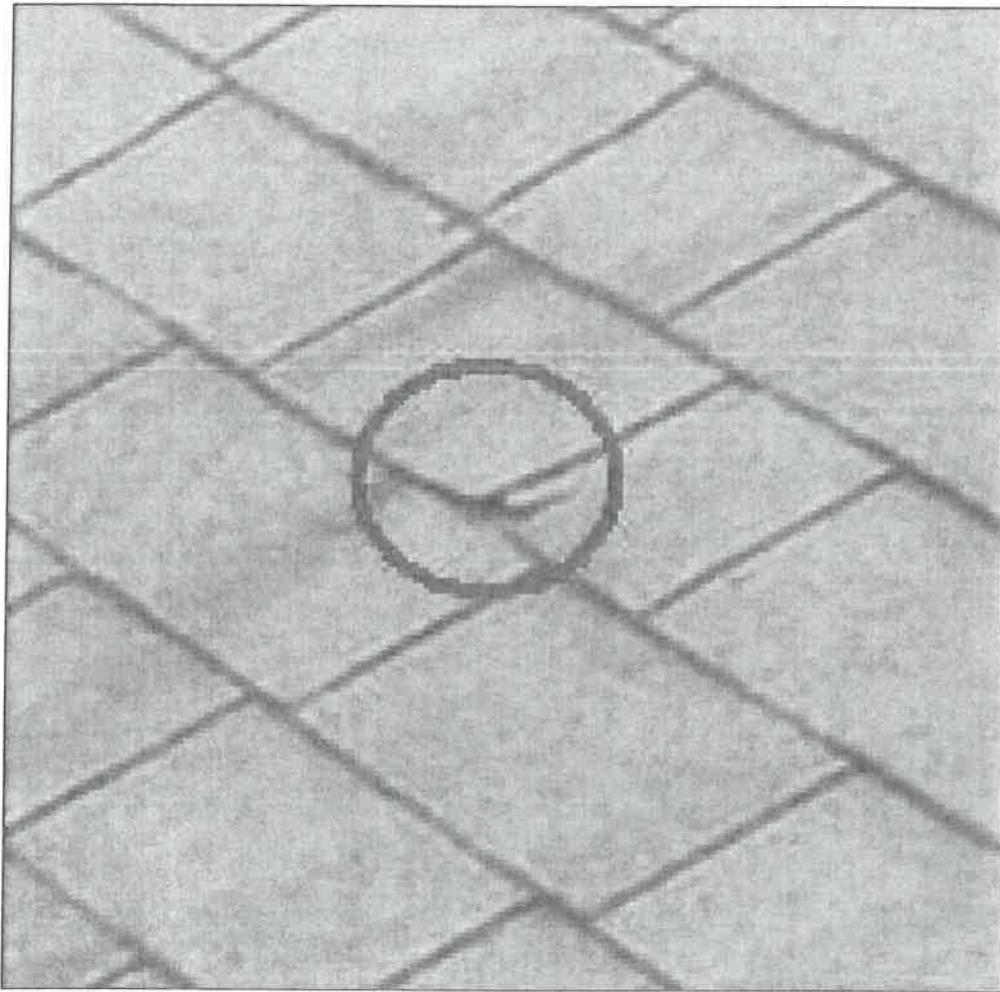
C. Item 1(Picture)



C. Item 2(Picture)

I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I   NI   NP   D



C. Item 3(Picture)

⊘ (2) The roof appears approximately 15 years old. This is approximately 2/3 to 3/4 through it's expected useful life given proper inspection and maintenance.

I recommend annual inspections of the roof covering and regular inspections inside the attic during periods of rain to detect any leaks which may not appear in the ceiling and wall cladding.

Roof penetrations are the first point of failure in any roof system and should be inspected regularly. This is for information only.

<https://www.roofingcalc.com/how-long-does-a-roof-last/>

I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I   NI   NP   D

| Table 1: Roof Covering Selection Data |                                 |                                  |                           |
|---------------------------------------|---------------------------------|----------------------------------|---------------------------|
| Roof Covering Types                   | Minimum Roof Slope <sup>a</sup> | Weight <sup>b</sup> (lbs per sf) | Service Life <sup>c</sup> |
| Composition Shingles                  | 2:12                            | 2 to 4                           | 15 to 30 years            |
| Wood Shingle                          | 3:12                            | 3 to 4                           | 15 to 30 years            |
| Metal (standing seam)                 | 1/4:12                          | 1 to 3                           | 20 to 50+ years           |
| Concrete/Clay Tile                    | 2 and 1/2:12                    | 9 to 25                          | 50+ years                 |
| Slate                                 | 4:12                            | 9+                               | 50 to 100 years           |
| Built-Up Roofing (BUR)                | 1/4:12                          | 6                                | 12 to 30 years            |
| Synthetic Membrane Roof               | 1/4:12                          | 1                                | 20+ years                 |

a. A minimum roof slope of 4:12 is allowable with normal use of single-layer roofing underlayment. However, a minimum 2:12 roof slope is permissible for composition shingles provided that 15# tarred felt underlayment is doubled and cemented together, or a self-adhering polymer modified bitumen sheet can be used. Similarly, a 2 and 1/2:12 roof slope is permissible with concrete/clay tile provided that 30# tarred felt or mineral surfaced roll roofing material is doubled and cemented together, or a self-adhering polymer modified bitumen sheet can be used.

b. Weights are approximate. Refer to manufacturer's data.

c. Service life may vary widely from these estimates due to differences in local climate, installation practice, and conditions at the time of installation, product variations, maintenance history, and other factors. Estimates are based upon *Life Expectancy of Housing Components*, NAHB, 2007.

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C. Item 4(Picture)

**D. Roof Structures and Attics**

**Attic Access information:** Hatch, Pull down ladder

**Attic inspection vantage point:** From entry. Not all areas are visible from this vantage point. Areas not visible were not inspected., Prepared walkways and work platforms only. Not all attic areas visible. Areas not visible from prepared walkways and platforms were not inspected.

**Fireblocking at Attic penetrations?:** No access to attic penetrations. Area not inspected.

**Average Insulation Depth (Estimated):** 8 inches

Comments:

**X** (1) The attic does not have adequate insulation. The attic should be insulated to R-30 or better. Insulation should cover all attic joists and wall studs adjacent to interior spaces to prevent thermal bridging. A qualified contractor should be consulted for correction.

[https://www.energystar.gov/index.cfm?c=home\\_sealing.hm\\_improvement\\_insulation\\_table](https://www.energystar.gov/index.cfm?c=home_sealing.hm_improvement_insulation_table)



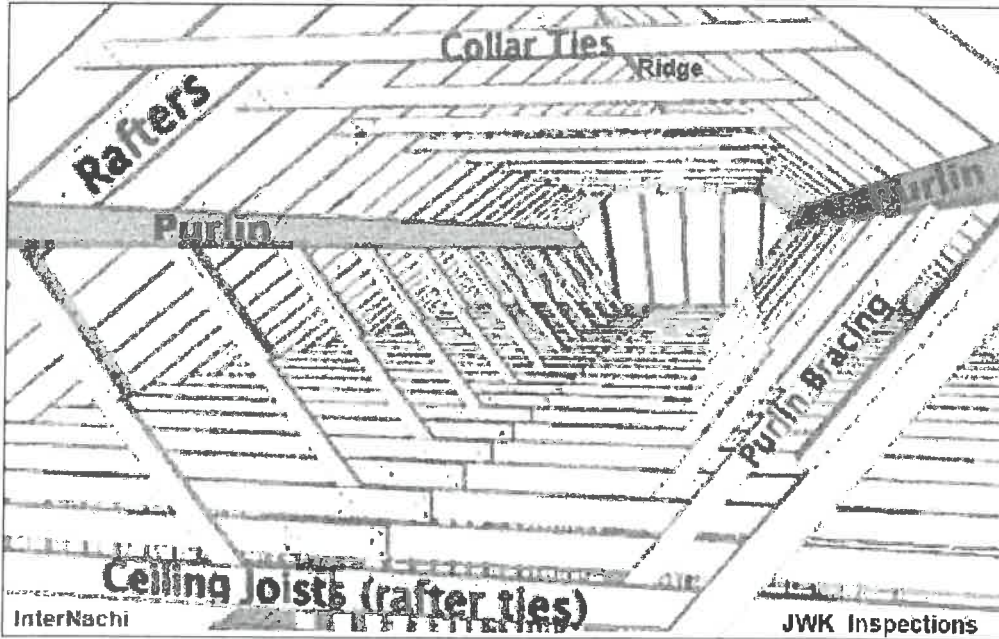
D. Item 1(Video)

**X** (2) Rafter bracing may not be adequate. I recommend the installation of a purlin brace at the mid span of the rafter on each side of the attic.



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D. Item 2 (Video)



D. Item 3 (Picture)

X (3) Damaged roof decking at the east end of the attic.

per structural engineer - attic is structurally sound to code. Survived hurricane Ike





*bracing is to code*

*25*

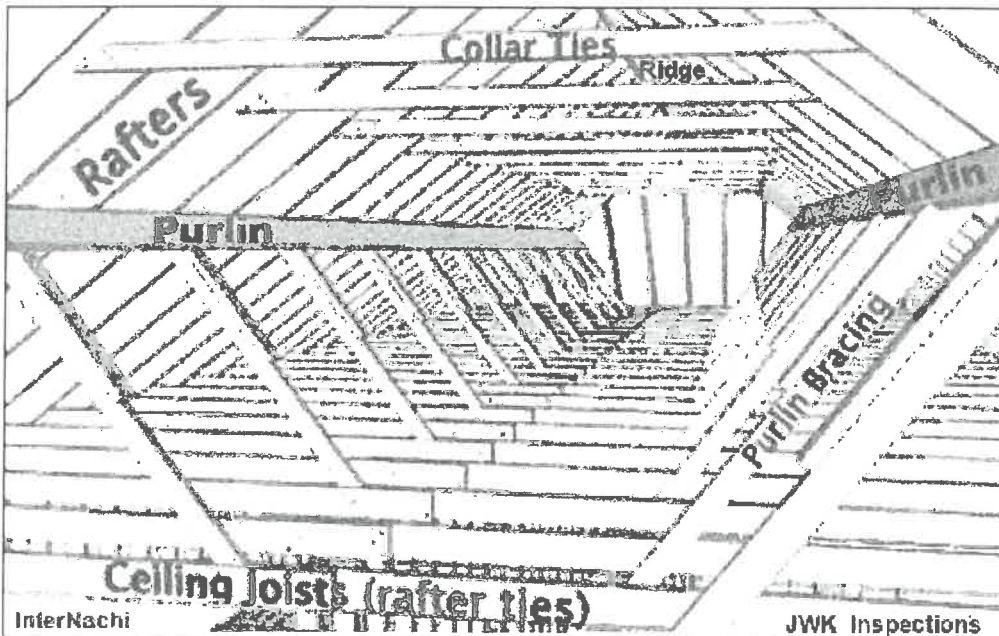
D. Item 1(Video)

**X**

(2) Rafter bracing may not be adequate. I recommend the installation of a purlin brace at the mid span of the rafter on each side of the attic.



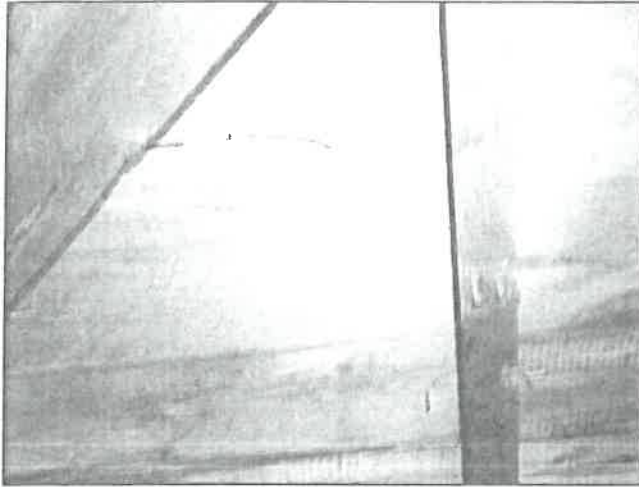
D. Item 2(Video)



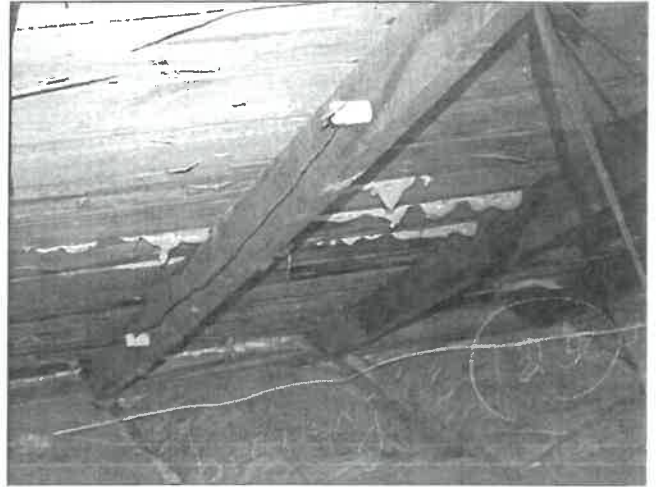
D. Item 3(Picture)

(3) Damaged roof decking at the east end of the attic.

✘



D. Item 4(Picture)



D. Item 5(Picture)

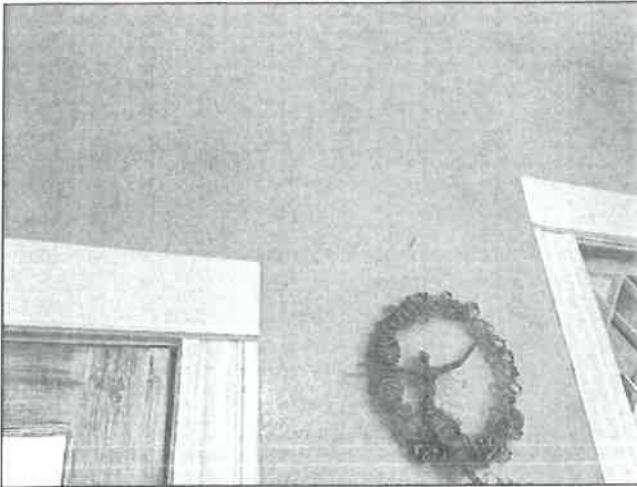
**E. Walls (Interior and Exterior)**

**Deficient**

✘

(1) There are repaired and unrepaired cracks in the wall and ceiling cladding throughout the structure. This may indicate prior structural movement that could be ongoing. All cracks should be monitored for change.

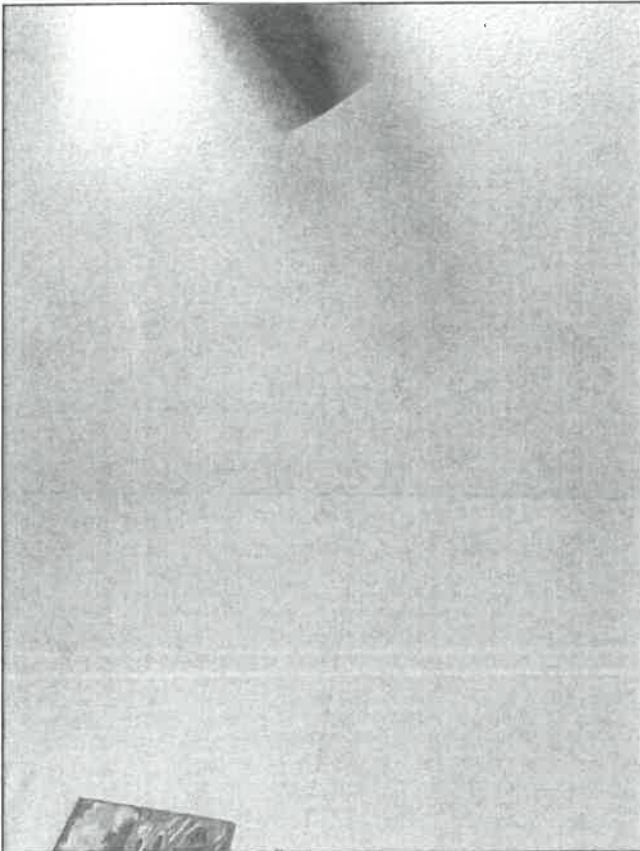
26



E. Item 1(Picture)



E. Item 2(Picture)



E. Item 3(Picture)

(27)  
these are  
sheetrock / taping  
floating issues.  
Seller will not  
address



(2) There are multiple examples of wood exterior siding and trim products in poor condition on all sides of both structures. Deteriorated finish is causing moisture intrusion damage in multiple areas. A qualified contractor should

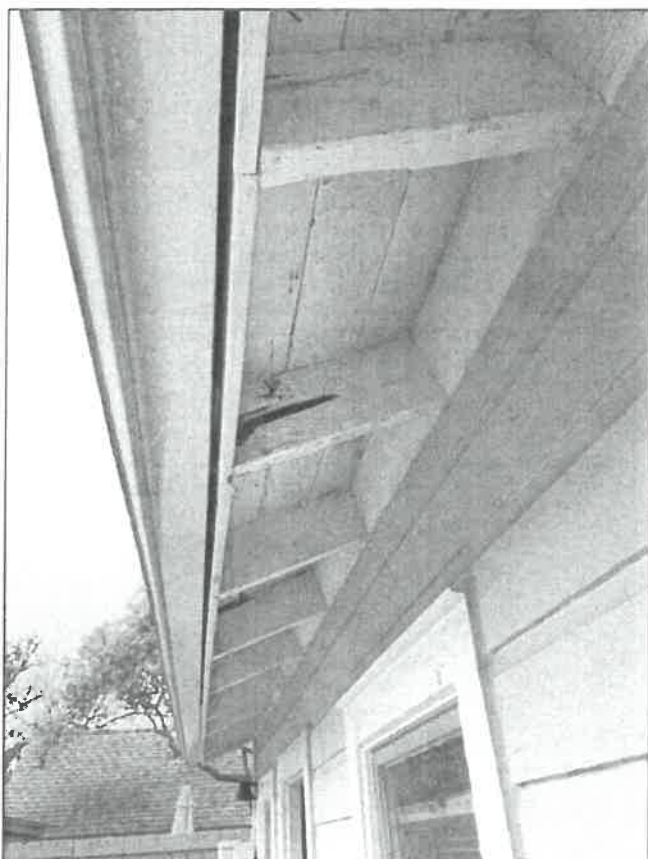
be consulted for correction.



E. Item 4(Picture)



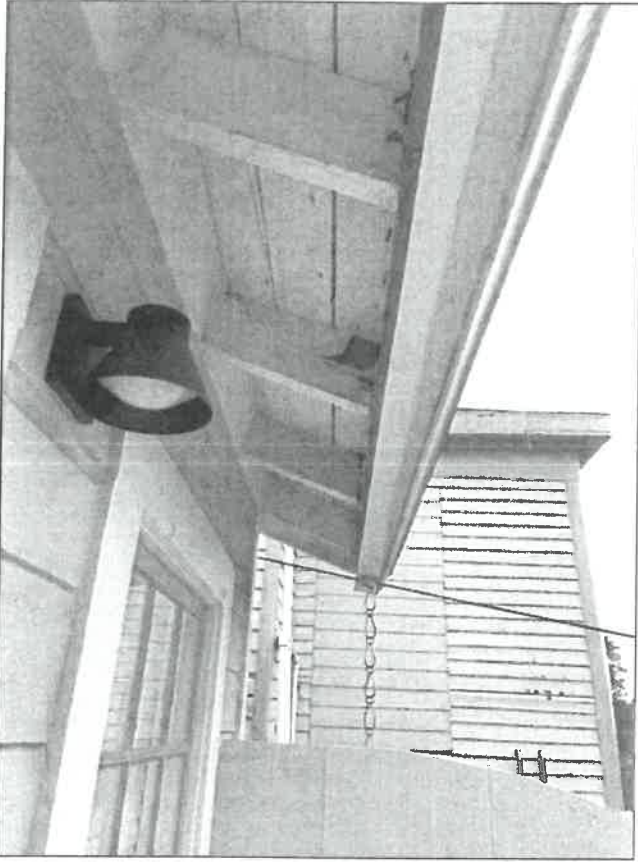
E. Item 5(Picture)



E. Item 6(Picture)



E. Item 7(Picture)



29

E. Item 8(Picture)

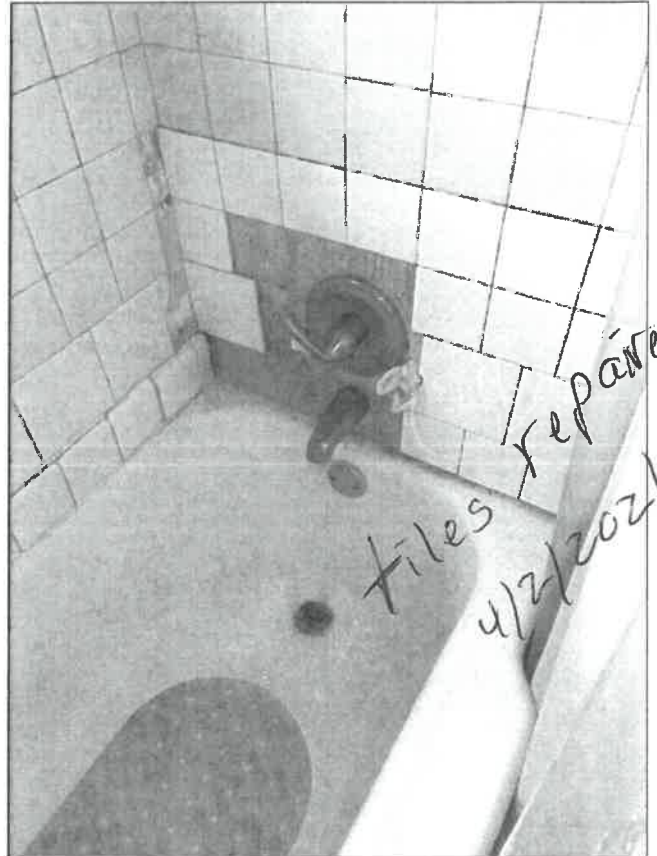


(3) The south apartment is undergoing extensive restoration/remodeling. There are multiple items not currently complete.

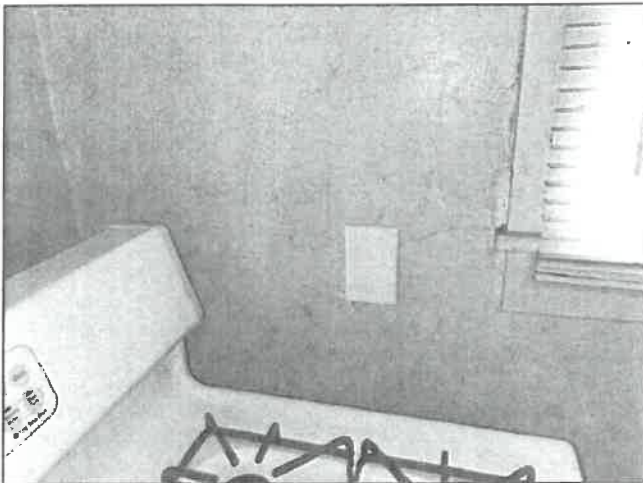


E. Item 9(Video)

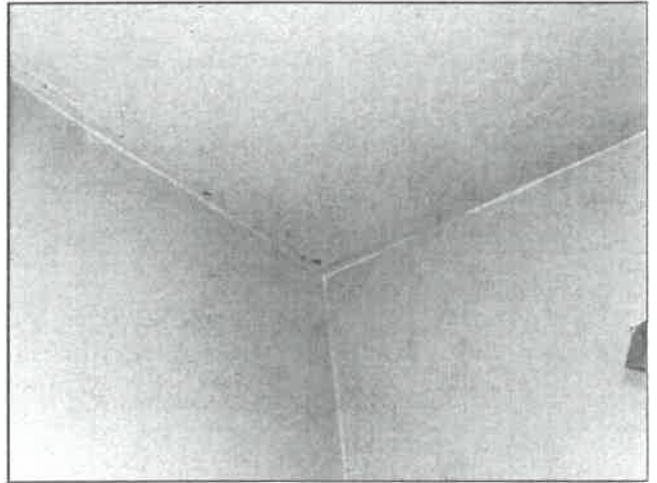
30



E. Item 10(Picture)

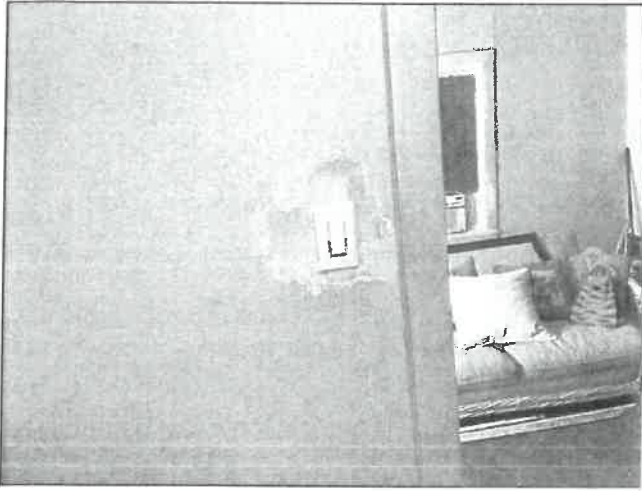


E. Item 11(Picture)



E. Item 12(Picture)

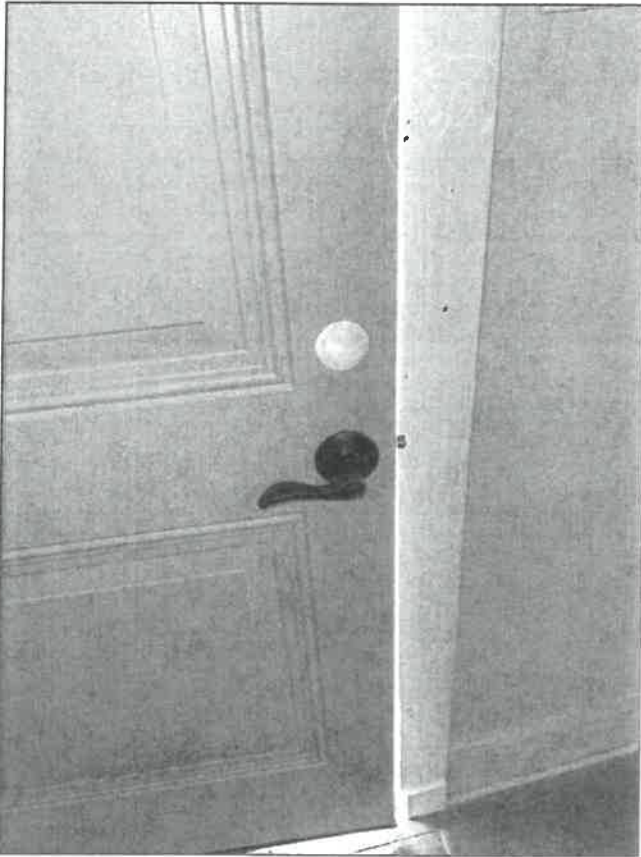
Walls to be painted by seller



E. Item 13(Picture)



E. Item 14(Video)



E. Item 15(Picture)

31

? really 100 years old

**F. Ceilings and Floors**

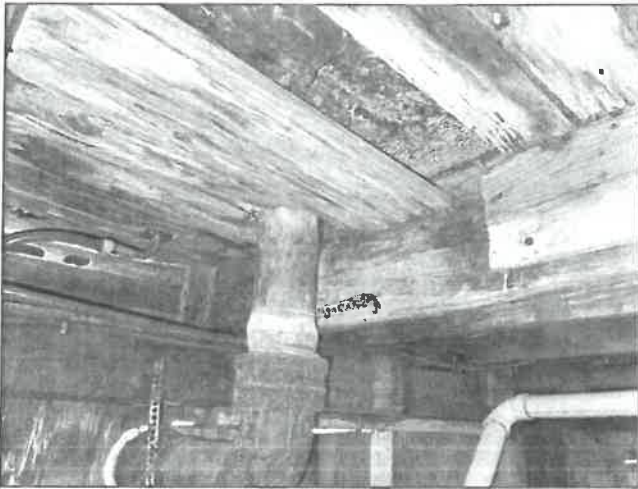
**Deficient**

XX

(1) Floors throughout both structures are not level. There are several planes of displacement throughout the structures. This indicates prior foundation or structural movement that may be ongoing.

XX

(2) There are areas of moisture intrusion damage in the subfloor and crawlspace skirting of the primary structure. A qualified contractor should be consulted for correction of all damaged areas. I recommend removal of all wood siding and trim products within 8 inches of the grade level and repair of all damaged structural components



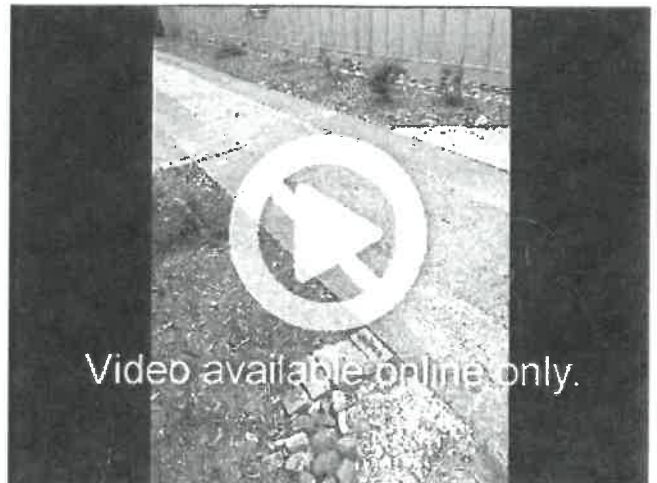
F. Item 1(Picture)



F. Item 2(Picture)



F. Item 3(Video)



F. Item 4(Video)



F. Item 5(Video)

37

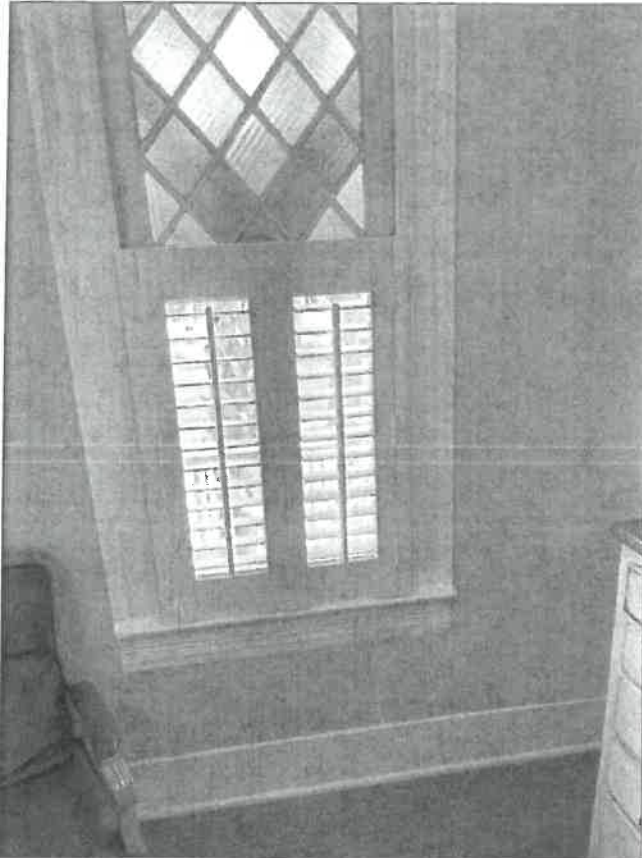
**H. Windows**

**Deficient**

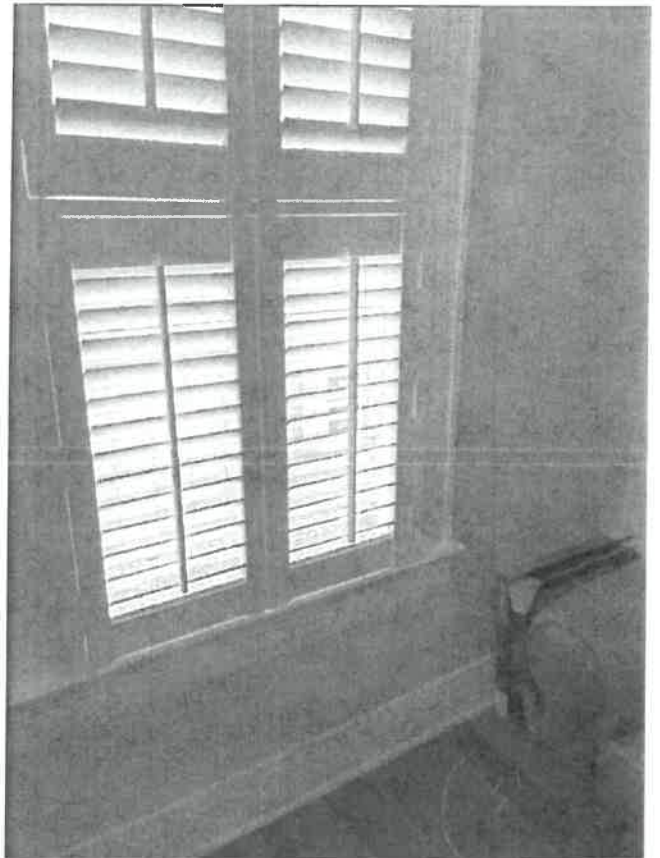


(1) Multiple windows do not open.





H. Item 1(Picture)



H. Item 2(Picture)



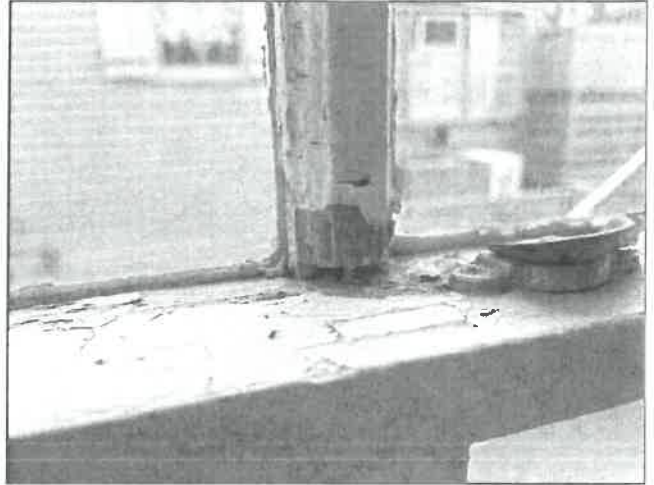
H. Item 3(Picture)



H. Item 4(Picture)



H. Item 5(Picture)



H. Item 6(Picture)



H. Item 7(Picture)



H. Item 8(Picture)

## II. Electrical Systems

### A. Service Entrance and Panels

#### Deficient



(1) Circuit breakers in the main distribution panel are not labeled.

*seller to label*

*34*

### B. Branch Circuits, Connected Devices and Fixtures

#### Deficient



(5) The switch outlet has a damaged wall cover plate in the primary kitchen. A qualified contractor should be consulted for correction.

*seller to replace*



35

seller to replace

B. Item 14(Picture)

### III. Heating, Ventilation and Air Conditioning Systems

#### B. Cooling Equipment

##### Inspected, Not Inspected, Deficient



(1) Air-conditioner refrigerant line insulation is deteriorated for the primary structure. A qualified contractor should be consulted for correction.

seller to insulate

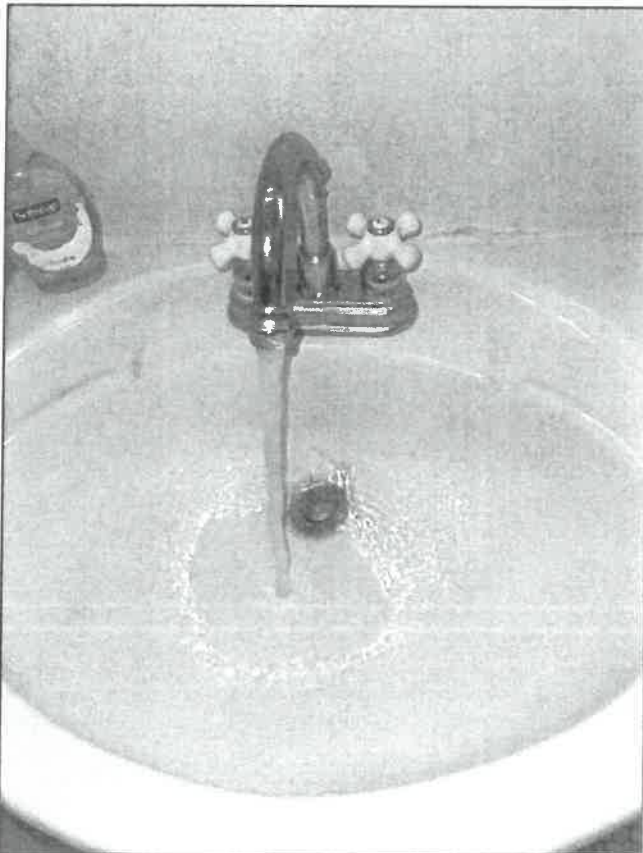


repaired  
& caulked  
4/3/2021 (37)

A. Item 1(Picture)

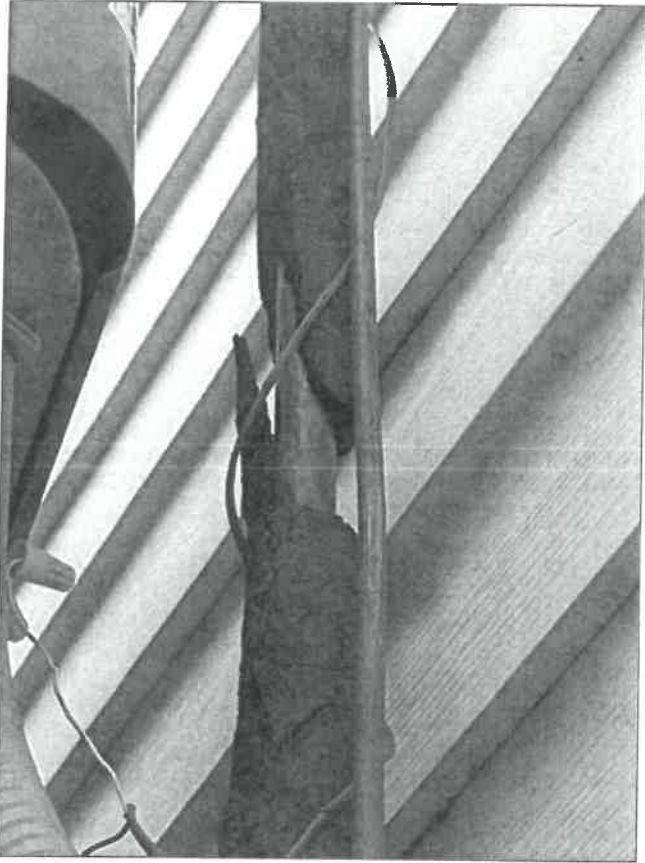


(2) The drain stopper in the second bathroom lavatory does not function.



A. Item 2(Picture)

(3) South apartment plumbing fixtures are incomplete.



36

Seller to  
replace insulation

B. Item 1(Picture)



(2) The air-conditioner temperature differential in the primary structure was measured at the return and supply registers and found to be outside acceptable parameters. The temperature differential was less than 15 degrees. A qualified contractor should be consulted for evaluation and correction.

#### IV. Plumbing System

##### A. Plumbing Supply, Distribution System and Fixtures

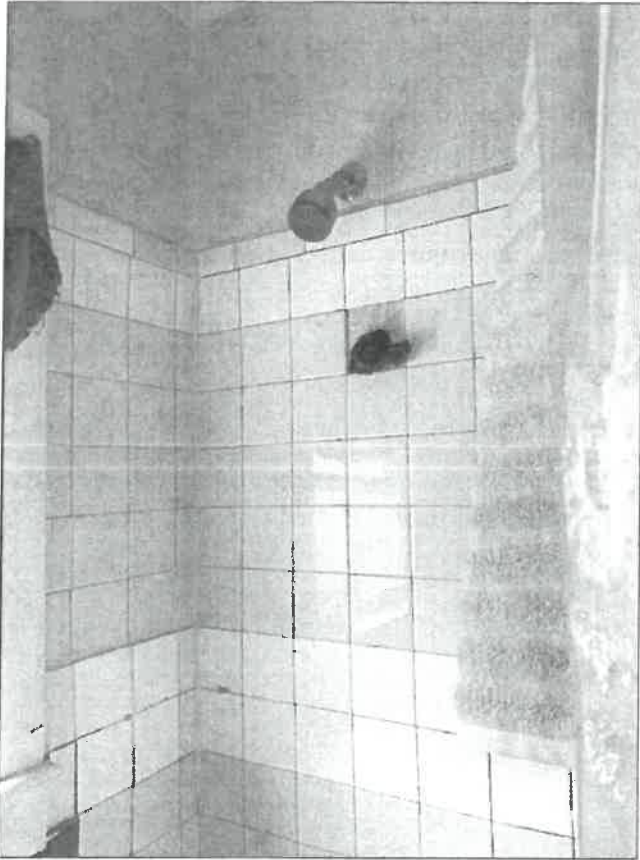
###### Deficient



(1) Master shower escutcheon is not properly secured. This may result in moisture intrusion into the structure.

Seller to caulk

X



38

Done

A. Item 3(Picture)

Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

## Aged Items

### Spot On Inspection, PLLC

11152 Westheimer Road, #718  
Houston, Texas 77042  
281-845-9505

39

**Customer**  
Kyle DonLevy

**Address**  
2025 Avenue M  
Galveston TX

Items in this section indicate systems or structures that degrade over time regardless of proper maintenance that are near or exceeding the average service life expectancy.

These are averages only.

Items in this section may fail prior to expected average life or may exceed the expected average service life.

This Summary is not the entire report

The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

## I. Structural Systems

### C. Roof Covering Materials

#### Deficient



(2) The roof appears approximately 15 years old. This is approximately 2/3 to 3/4 through it's expected useful life given proper inspection and maintenance.

I recommend annual inspections of the roof covering and regular inspections inside the attic during periods of rain to detect any leaks which may not appear in the ceiling and wall cladding.

Roof penetrations are the first point of failure in any roof system and should be inspected regularly. This is for information only.

<https://www.roofingcalc.com/how-long-does-a-roof-last/>

| Roof Covering Types     | Minimum Roof Slope <sup>a</sup> | Weight <sup>b</sup> (lbs per sf) | Service Life <sup>c</sup> |
|-------------------------|---------------------------------|----------------------------------|---------------------------|
| Composition Shingles    | 2:12                            | 2 to 4                           | 15 to 30 years            |
| Wood Shingle            | 3:12                            | 3 to 4                           | 15 to 30 years            |
| Metal (standing seam)   | 1/4:12                          | 1 to 3                           | 20 to 50+ years           |
| Concrete/Clay Tile      | 2 and 1/2:12                    | 9 to 25                          | 50+ years                 |
| Slate                   | 4:12                            | 9+                               | 50 to 100 years           |
| Built-Up Roofing (BUR)  | 1/4:12                          | 6                                | 12 to 30 years            |
| Synthetic Membrane Roof | 1/4:12                          | 1                                | 20+ years                 |

a. A minimum roof slope of 4:12 is allowable with normal use of single-layer roofing underlayment. However, a minimum 2:12 roof slope is permissible for composition shingles provided that 15# tarred felt underlayment is doubled and cemented together, or a self-adhering polymer modified bitumen sheet can be used. Similarly, a 2 and 1/2:12 roof slope is permissible with concrete/clay tile provided that 30# tarred felt or mineral surfaced roll roofing material is doubled and cemented together, or a self-adhering polymer modified bitumen sheet can be used.

b. Weights are approximate. Refer to manufacturer's data.

c. Service life may vary widely from these estimates due to differences in local climate, installation practice, and conditions at the time of installation, product variations, maintenance history, and other factors. Estimates are based upon *Life Expectancy of Housing Components*, NAHB, 2007.

40

C. Item 4(Picture)



## Age Related Information

### Spot On Inspection, PLLC

11152 Westheimer Road, #718  
Houston, Texas 77042  
281-845-9505

41

**Customer**  
Kyle DonLevy

**Address**  
2025 Avenue M  
Galveston TX

Items in this section indicate systems or structures that degrade over time regardless of proper maintenance that are younger than the average service life expectancy.

These are averages only.

Items in this section may fail prior to expected average life or may exceed the expected average service life.

This Summary is not the entire report.

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## III. Heating, Ventilation and Air Conditioning Systems

### B. Cooling Equipment

#### Inspected, Not Inspected, Deficient

Q (4) Air conditioner evaporator data plate. Unit manufactured in 2012.

This unit is 9 year(s) old.

Expected service life of evaporator units is 7 to 11 years although some units may remain in service for much longer. Regular maintenance may increase service life.

*very efficient  
no problems*



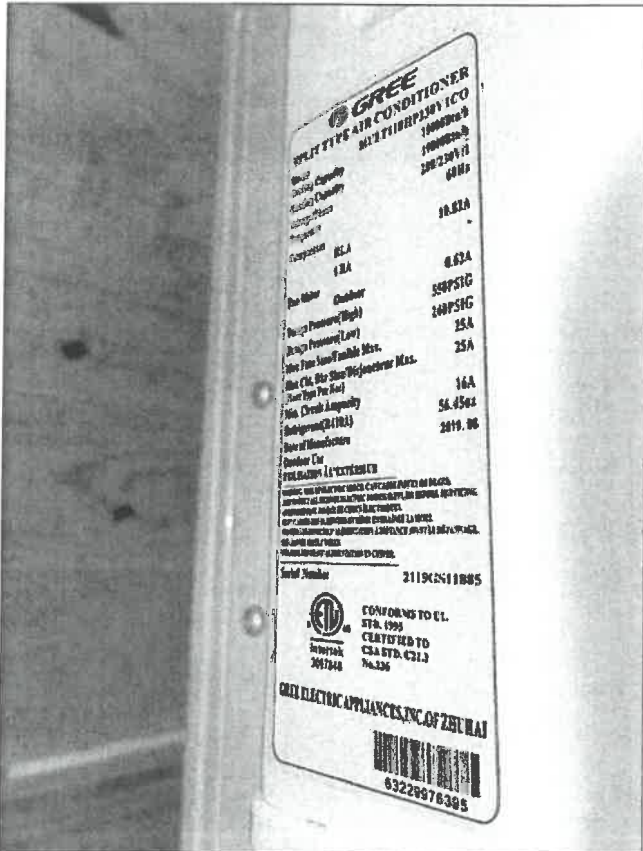
B. Item 2(Video)

(42)

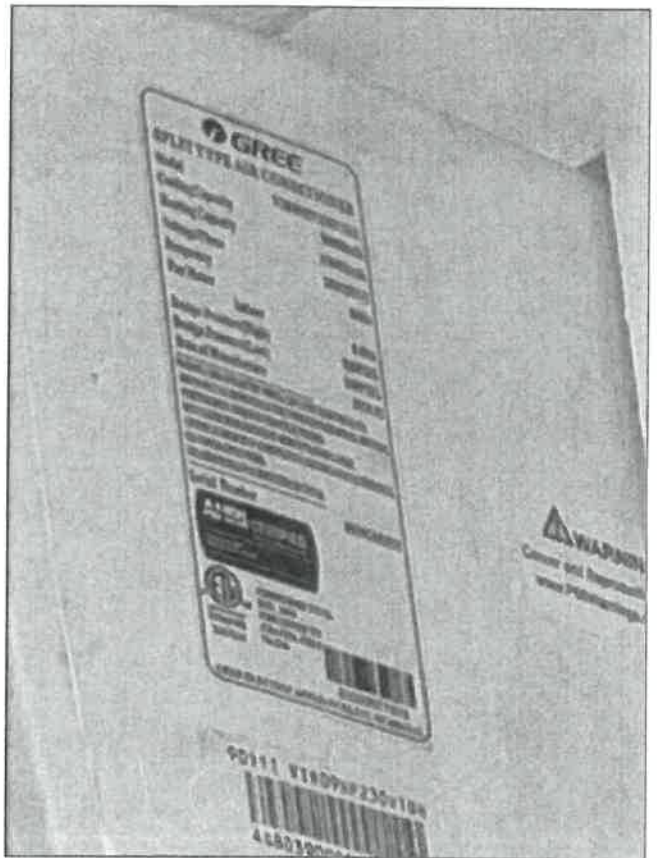
*This unit has been in place since 08/2020*

(6) Air conditioning unit dataplate for information only. This unit was manufactured in 2019. This unit is 2 year(s) old.

Expected service life of condenser units is 10-15 years although some units remain in service for much longer. Regular maintenance may increase service life.



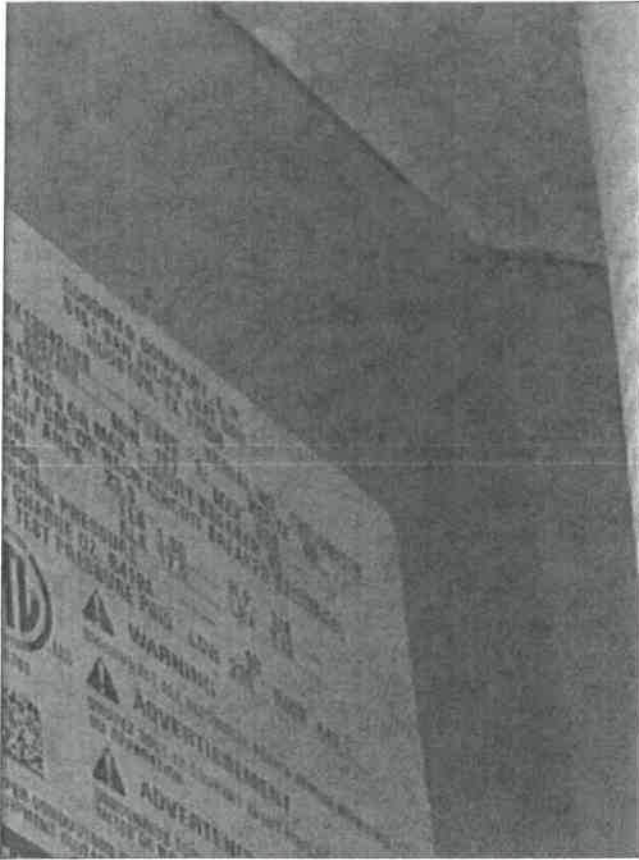
B. Item 5(Picture)



B. Item 6(Picture)

(7) Air conditioning condenser unit dataplate for information only. This unit was manufactured in 2012. This unit is 9 year(s) old.

Expected service life of condenser units is 10-15 years although some units remain in service for much longer. Regular maintenance may increase service life.



43

B. Item 7(Picture)

## IV. Plumbing System

### C. Water Heating Equipment

#### Deficient

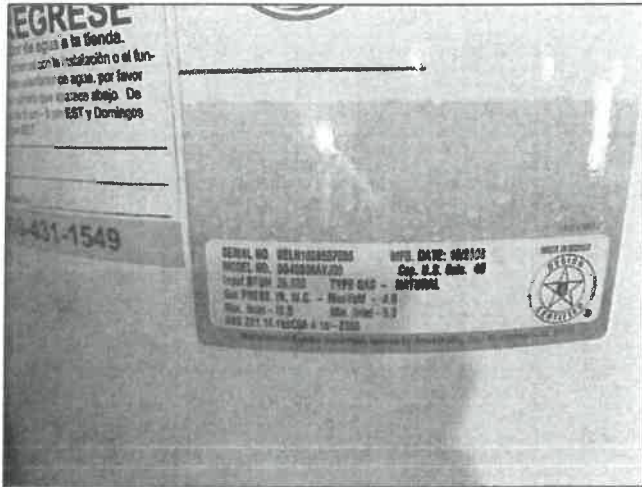
🔍 (3) Water heater dataplate(s). Unit(s) manufactured in 2008.

Unit(s) are 13 year(s) old.

Most tank-type water heaters last 10 to 20 years, with the average age of replacement between 12 and 14 years.

There are four variables that affect the lifespan:

- 1) Quality of manufacture - The premium-priced water heaters with the longer warranties and features like a porcelain-lined tank, larger heating elements, and better insulation will hold up longer.
- 2) Rate of usage - A 40-gallon water heater serving a family of six is not going to last as long as one serving a single occupant.
- 3) Installation - A homeowner or handyman installation can shorten the life of a water heater, especially a gas-fired one.
- 4) Maintenance - The simplest and easiest maintenance item is draining the water heater to flush out sediment accumulation at the bottom every two years, or sooner if you have a lot of sediment in the water.



C. Item 3(Picture)

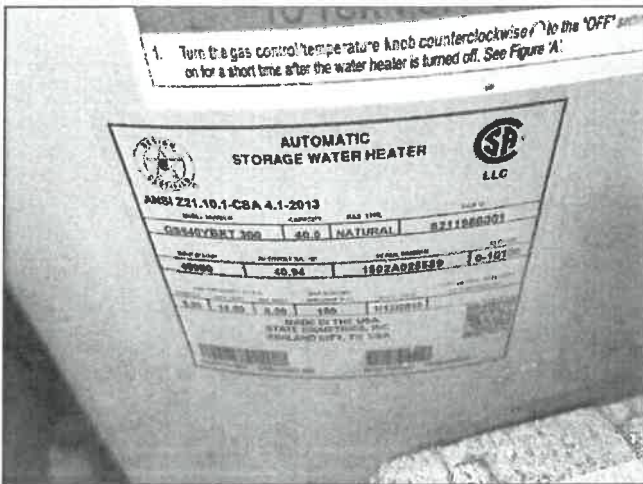
(4) Water heater dataplate(s). Unit(s) manufactured in 2015.

Unit(s) are 6 year(s) old.

Most tank-type water heaters last 10 to 20 years, with the average age of replacement between 12 and 14 years.

There are four variables that affect the lifespan:

- 1)Quality of manufacture - The premium-priced water heaters with the longer warranties and features like a porcelain-lined tank, larger heating elements, and better insulation will hold up longer.
- 2)Rate of usage - A 40-gallon water heater serving a family of six is not going to last as long as one serving a single occupant.
- 3)Installation - A homeowner or handyman installation can shorten the life of a water heater, especially a gas-fired one.
- 4) Maintenance - The simplest and easiest maintenance item is draining the water heater to flush out sediment accumulation at the bottom every two years, or sooner if you have a lot of sediment in the water.



C. Item 4(Picture)

## Information and Maintenance Items

### Spot On Inspection, PLLC

11152 Westheimer Road, #718  
Houston, Texas 77042  
281-845-9505

45

**Customer**  
Kyle DonLevy

**Address**  
2025 Avenue M  
Galveston TX

Items in this summary are homeowner information items.

This section should be read carefully, as it contains important information regarding your home.

This Summary is not the entire report.

The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

### I. Structural Systems

#### A. Foundations

##### Deficient

IN  
FO

(2) In the opinion of this inspector, the foundation of the primary residence is adequately performing its intended function at this time. It is recommended that the foundation be monitored over time to determine any adverse trends not detectable via one time examination.

#### E. Walls (Interior and Exterior)

##### Deficient

IN  
FO

(4) North apartment video for information only.



46

E. Item 16(Video)

IN  
FO

(5) Bedroom and closet walls obstructed by personal belongings. Obstructed areas were not inspected.

Laundry area wall obstructed by appliances. Obstructed areas were not inspected.

Living area walls and windows obstructed by personal belongings. Obstructed areas were not inspected

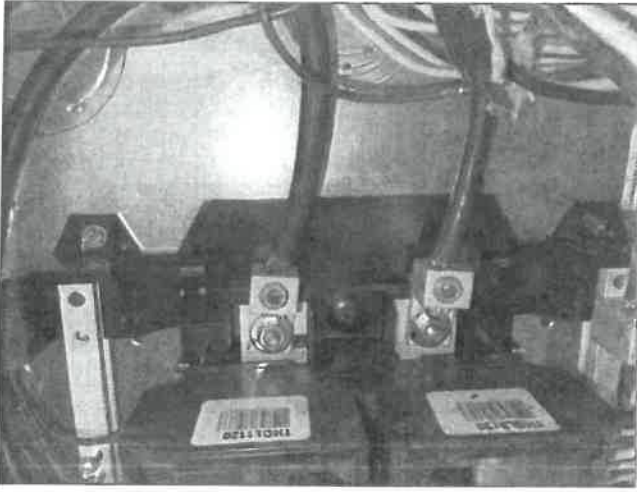
## II. Electrical Systems

### A. Service Entrance and Panels

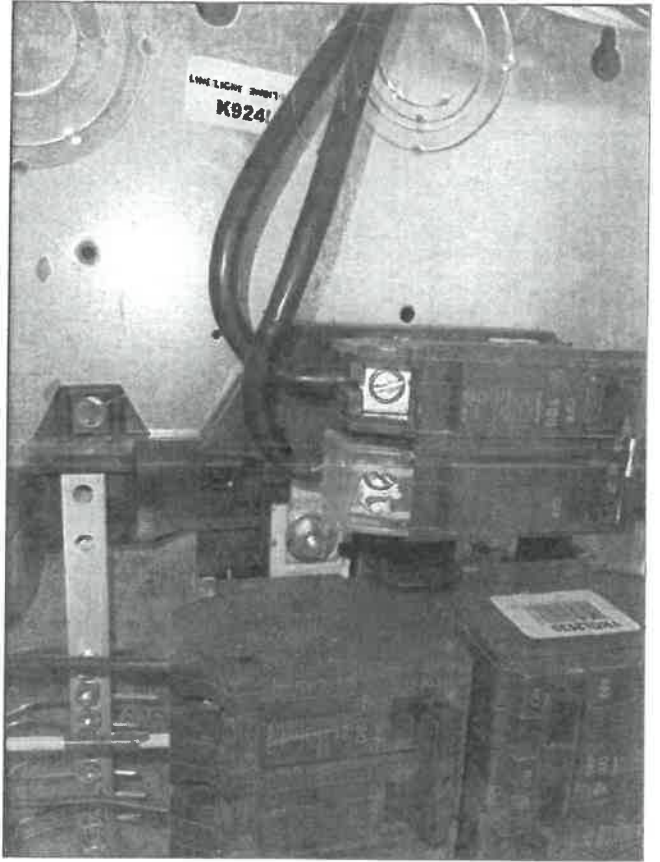
#### Deficient

IN  
FO

(2) The main electrical service and distribution panel is located inside the structure in the crawlspace. This is for information only.



A. Item 1(Picture)



A. Item 2(Picture)

(47)



A. Item 3(Picture)

IN  
FO

(3) Electrical system grounding electrode. This is for information only.



48

A. Item 4(Picture)

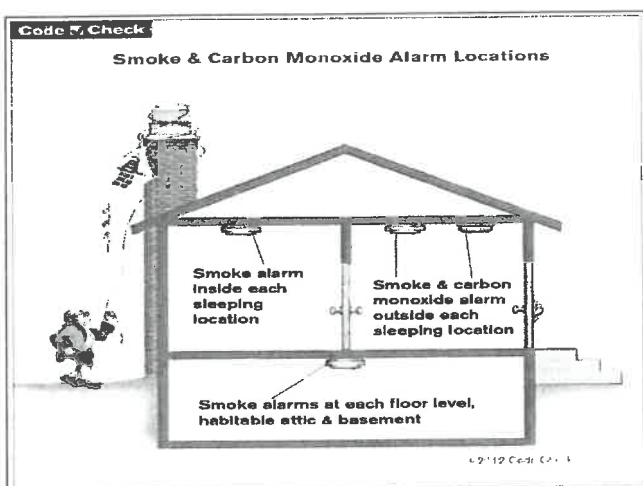
**B. Branch Circuits, Connected Devices and Fixtures**  
**Deficient**

IN  
FO

(6) Smoke detectors are installed and operational in all required locations.

Smoke detectors should be installed in each bedroom, directly outside each bedroom and on each level of the home. The smoke detectors should be interconnected and continuously powered.

Smoke detectors have a life span of ten years. They should be replaced on or before the ten year mark.



B. Item 15(Picture)

**III. Heating, Ventilation and Air Conditioning Systems**



**A. Heating Equipment**

**Inspected, Not Inspected**

IN  
FO

(1) The primary structure and north apartment furnace was operated using normal controls. Heat output was adequate and no deficiencies were noted. This is for information only.



49

A. Item 1 (Video)

**B. Cooling Equipment**

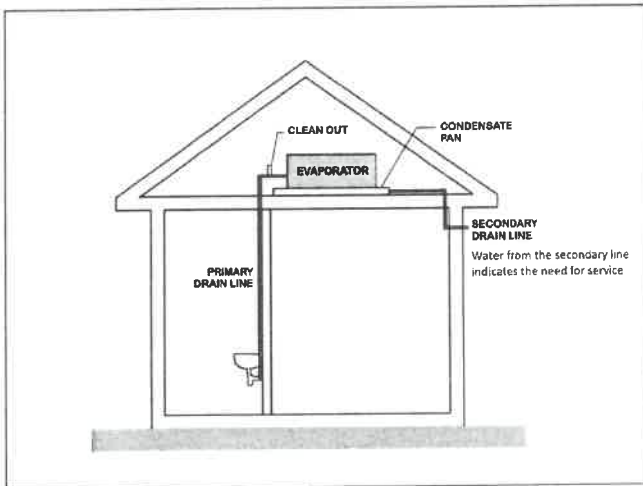
**Inspected, Not Inspected, Deficient**

IN  
FO

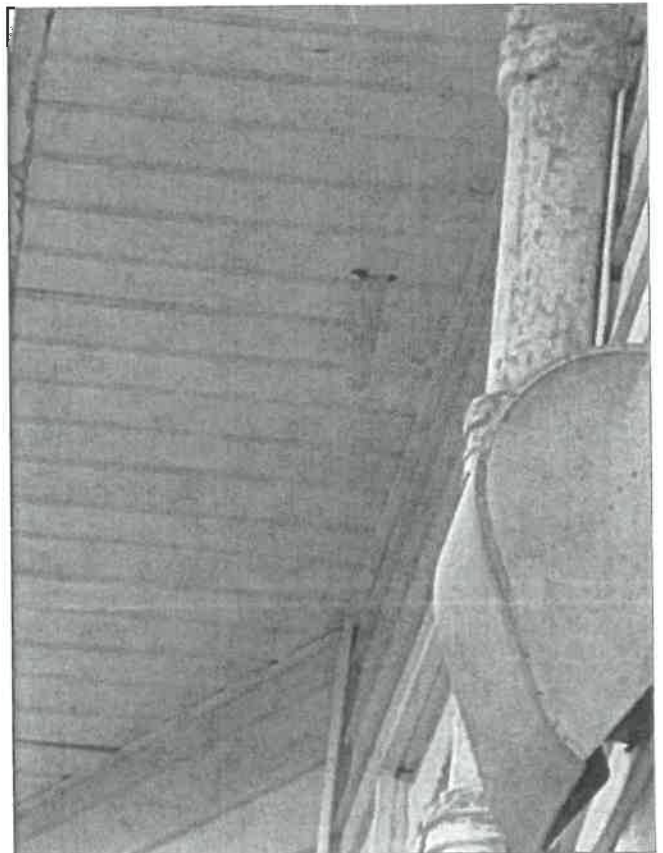
(3) The air-conditioner temperature differential was measured at the return and supply registers and found to be within acceptable parameters in the North apartment. This is for information only.

IN  
FO

(5) The pipes in the soffit are the secondary condensate drain for the air conditioning system. Water emitting from these drains indicates a problem with the primary drain system. If water is seen, a qualified contractor should be consulted for correction. This is for information only.



B. Item 3 (Picture)



B. Item 4 (Picture)

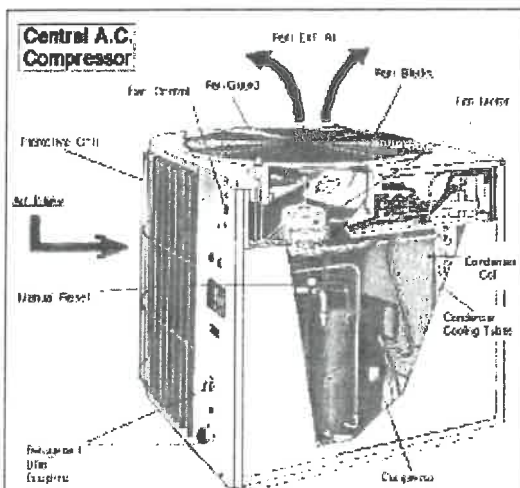
IN  
FO

(8) Your home has a split system air conditioning system. The unit outside is the condenser. I recommend the following annual checks before the start of cooling season (March or April in Houston)

- Inspect unit for proper refrigerant level and adjust if necessary
- Clean dirt, leaves and debris from inside cabinet
- Inspect base pan for restricted drain openings - remove obstructions as necessary
- Inspect coil and cabinet - clean as needed
- Inspect fan motor and fan blades for wear and damage - on older models lubricate as needed
- Inspect control box, associated controls/accessories, wiring and connections. Controls may include contactors, relays, circuit boards, capacitors, sump heat and other accessories. All control box and electrical parts should be checked for wear or damage.
- Inspect compressor and associated tubing for damage

50

I suggest a qualified air conditioning contractor to perform these tasks.



to be inspected  
4/6/2021  
~~last inspected~~

B. Item 8(Picture)

IN  
FO

(9) The components of your heating and cooling system that are located inside your home (usually in the attic in Houston) should be inspected twice each year just prior to the cooling and heating seasons.

Here are some items that should be completed during these inspections:

- Inspect and clean blower assembly (includes blower housing, blower wheel and motor)
- On older models, lubricate motor and inspect and replace fan belt if needed
- Check combustion blower housing for lint and debris and clean as necessary
- Inspect evaporator coil, drain pan and condensate drain lines. Clean as needed
- Inspect for gas leaks in gas furnaces
- Inspect burner assembly - clean and adjust as needed
- Inspect ignition system and safety controls - clean and adjust as needed
- Inspect heat exchanger or heating elements
- Inspect flue system - check for proper attachment to the furnace, any dislocated sections, and for signs of corrosion. Replace if necessary.
- Inspect control box, associated controls, wiring and connections
- Clean or replace air filters
- Inspect conditioned airflow system (ductwork) - check for leaks

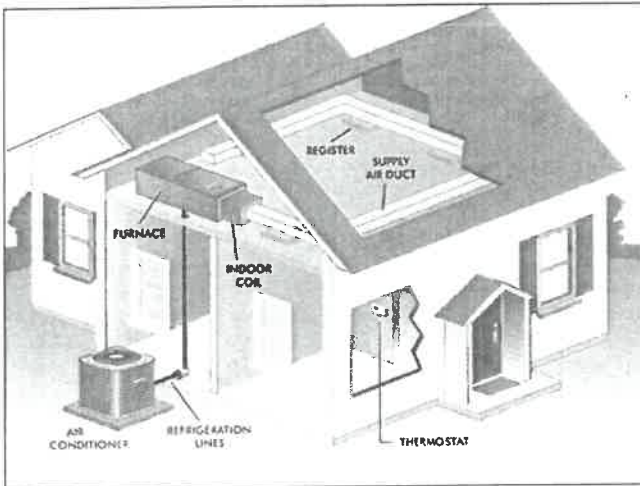
WHILE YOUR SYSTEM IS OPERATING

- Monitor system starting characteristics and capabilities

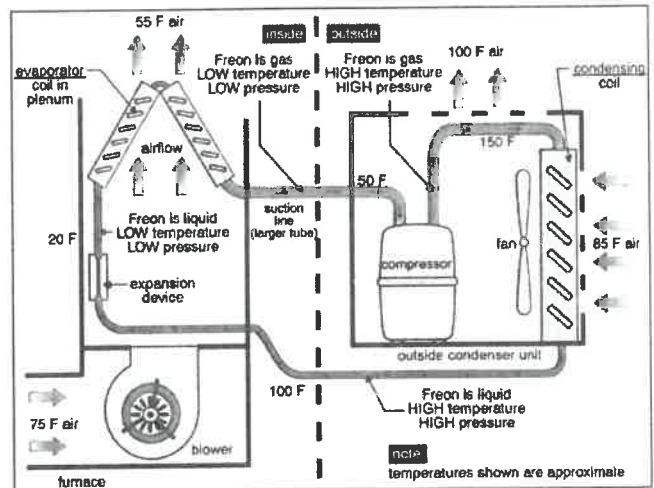
- Listen for abnormal noise
- Search for source of unusual odors
- Monitor air conditioning and heat pump systems for correct refrigerant charge
- Measure outdoor dry bulb temperature
- Measure indoor dry and wet bulb temperature
- Measure high and low side system pressures
- Monitor gas furnace for correct line and manifold gas pressure - make adjustments as needed
- Measure temperature rise and adjust airflow as needed
- Check vent system for proper operation
- Monitor system for correct line and load volts/amps

(51)

I recommend you retain the services of a qualified HVAC contractor for these inspections.



B. Item 9(Picture)



B. Item 10(Picture)

IN  
FO

(10) Window units in the south apartment were not operated.



B. Item 11(Picture)



B. Item 12(Picture)



B. Item 13(Picture)

52

- new HVAC Ducts  
12/2019  
with  
Hepa  
filter

**C. Duct Systems, Chases and Vents**  
**Inspected, Not Present**

INFO

Visible HVAC ducts and chases were inspected and no deficiencies were noted. This is for information only.

**IV. Plumbing System**

**A. Plumbing Supply, Distribution System and Fixtures**

**Deficient**

INFO

(4) The water meter is located at the utility easement at the alley .

The water meter is not running at the time of inspection with all sources turned off. This is the normal condition with all sources turned off.

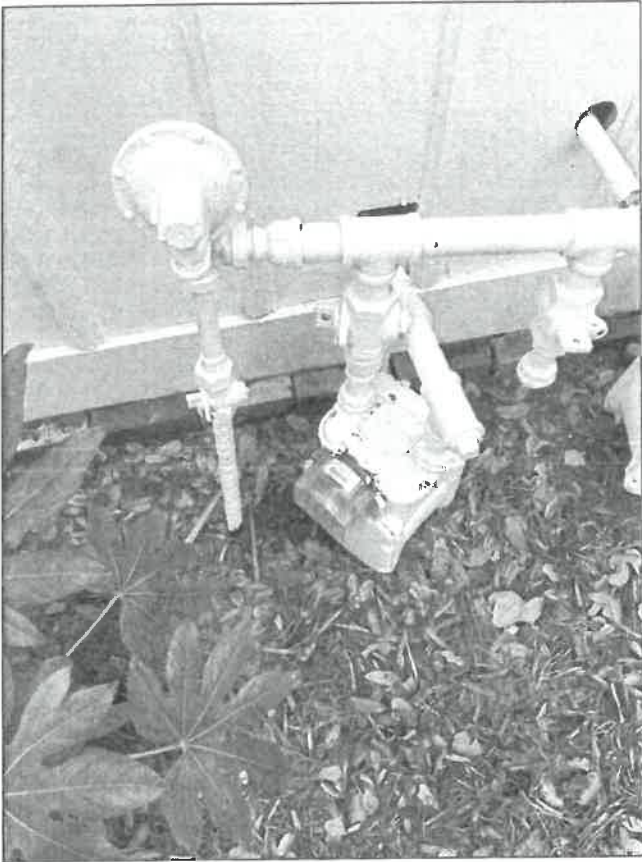
If the meter shows water flow ( running meter) with all water sources turned off, a leak is possible and should be investigated.

INFO

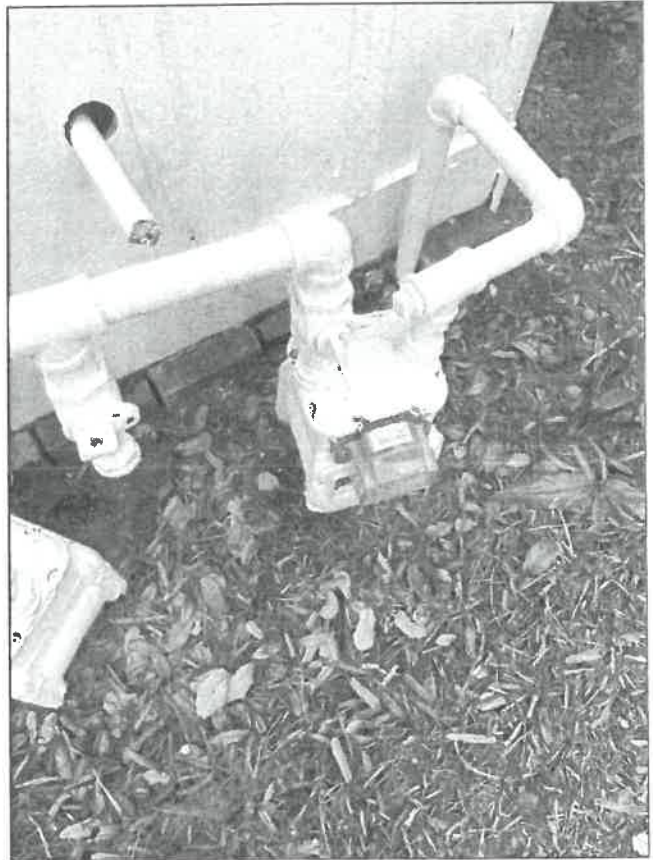
(5) Static water pressure checked at hose bibb closest to water supply entry into the structure.

INFO

(7) The natural gas shut off valve is located at the gas meter. This is for information only.



A. Item 4(Picture)



A. Item 5(Picture)

## V. Appliances

### A. Dishwasher

#### Inspected, Not Present

IN  
FO

The dishwasher was operated through a full cycle and no deficiencies were noted.

### B. Food Waste Disposers

#### Inspected, Not Present

IN  
FO

The disposal was inspected and operated. No deficiencies noted.

### D. Ranges, Cooktops and Ovens

#### Not Present, Deficient

IN  
FO

(1) The cooktop was visually inspected and operated using normal controls. No deficiencies noted.

53



54

D. Item 1(Picture)

IN  
FO

(2) The oven was visually inspected and operated using normal controls. No deficiencies noted.

**E. Microwave Ovens**

**Inspected, Not Present**

IN  
FO

The microwave oven was operated using normal controls and heated approximately one cup of water to approximately 150°F in one minute.

|   |                                  |   |
|---|----------------------------------|---|
| <b>Date:</b> 3/30/2021                            | <b>Time:</b> 10:00 AM            | <b>Report ID:</b> 20210330-2025-Avenue-M  |
| <b>Property:</b><br>2025 Avenue M<br>Galveston TX | <b>Customer:</b><br>Kyle DonLevy | <b>Real Estate Professional:</b><br>Donna Norris<br>Keller Williams Realty Clear<br>Lake/NASA |

**Comment Key or Definitions**

The following definitions of comment descriptions represent this inspection report.

55

**Inspected (IN)** = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

**Not Inspected (NI)** = I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

**Not Present (NP)** = This item, component or unit is not in this home or building.

**Deficient (D)** = The item, component or unit is not functioning as intended, or needs further inspection by a qualified specialist. Items, components or units that can be repaired to satisfactory condition may not need replacement.

**Type of building:**

Single Family Detached (1 level), Duplex  
Detached (Single Level)

**Year Built:**

1922

**Front Entry Faces:**

East

**Temperature:**

70-74 F

**Weather:**

Overcast clouds

**Surface grade condition:**

Damp

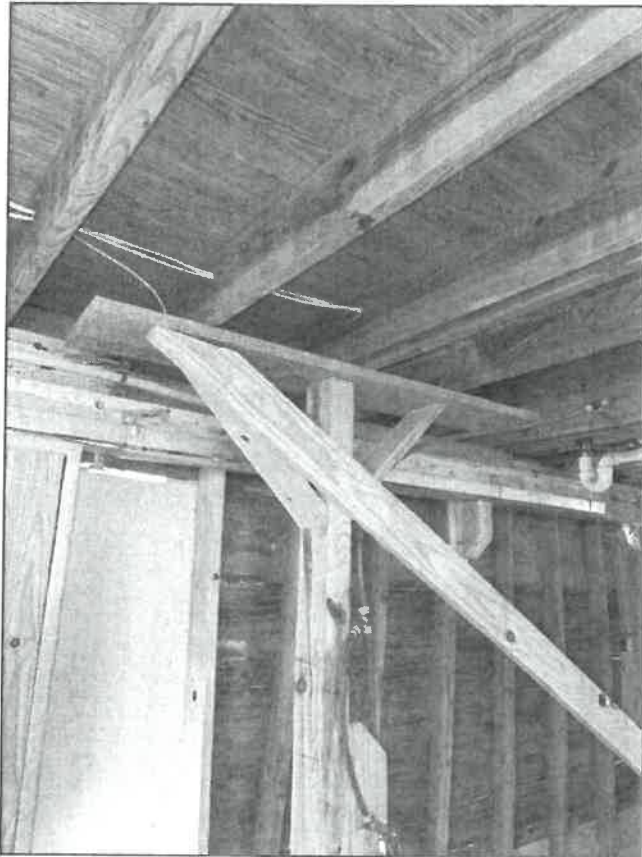
I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I   NI   NP   D



57

A. Item 1(Video)



A. Item 2(Picture)



I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I   NI   NP   D

I   Structural Systems

**A. Foundations**

**Foundation Type:** Pier and Beam

**Foundation Material:** Poured concrete, Masonry block, Wooden piers

**Crawlspace Access:** Exterior Access

**Method used to observe Crawlspace:** Direct examination of entire crawlspace

**Columns or Piers:** Wood piers, Concrete piers, Masonry block

**Termite Shields:** Not Present

Comments:

**X** (1) It is the opinion of this inspector that the adequate performance of garage apartments foundation cannot be determined via one time inspection. There are multiple indications of prior structural movement present. The lower half of the north wall is leaning approximately 16 degrees at the Northwest corner. This lean extends across the entire length of this wall. There are extensive structural repairs. These repairs are not in accordance with industry standard practices and may not be sufficient to prevent further structural movement.

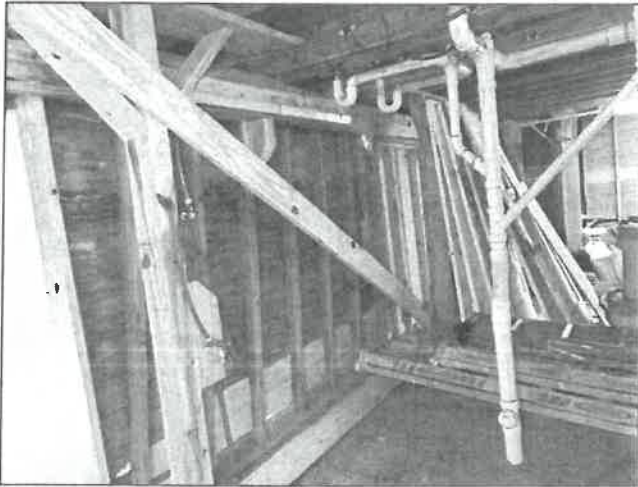
The foundation should be evaluated by a qualified structural engineer with experience with this type of foundation system.

*examined by structural engineer  
and is structurally sound.  
Survived hurricane Ike*

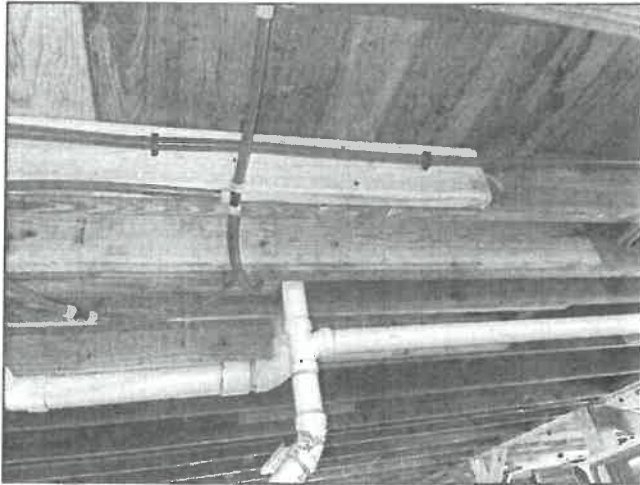
*Sp*

I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

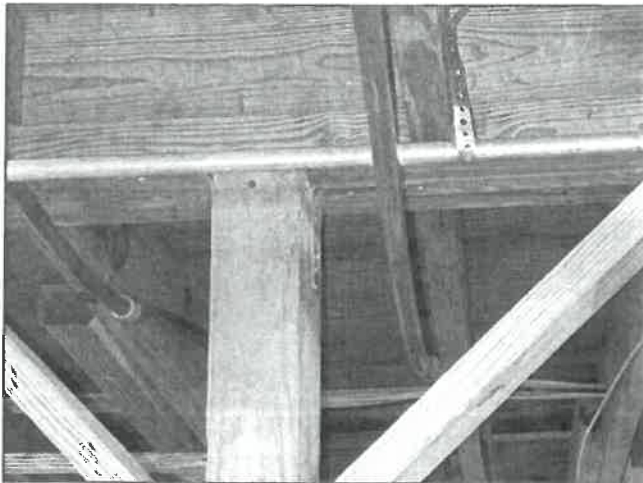
I   NI   NP   D



A. Item 3(Picture)



A. Item 4(Picture)



A. Item 5(Picture)

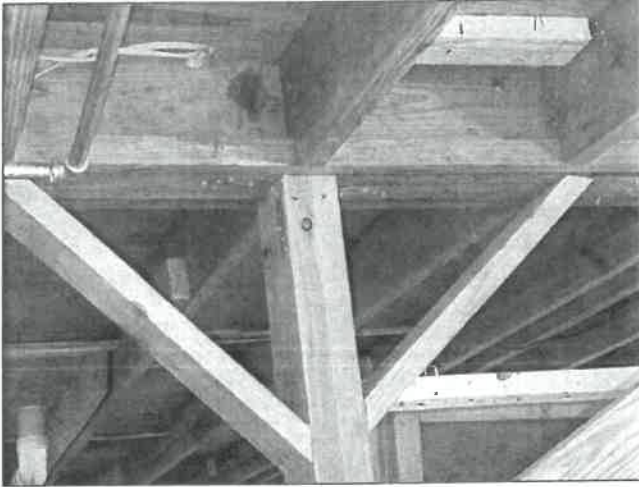
58

I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

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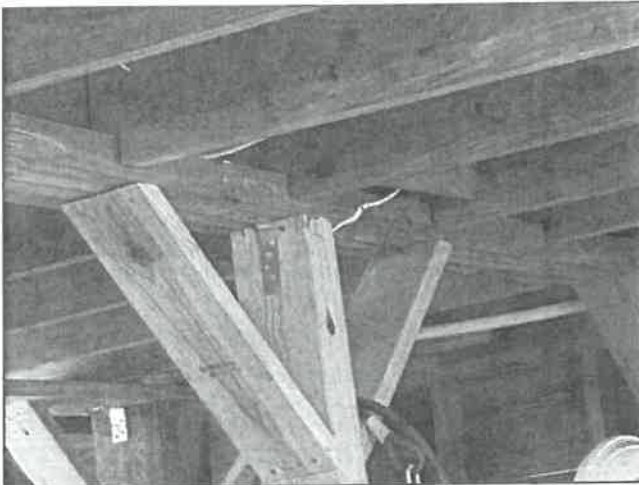
I   NI   NP   D

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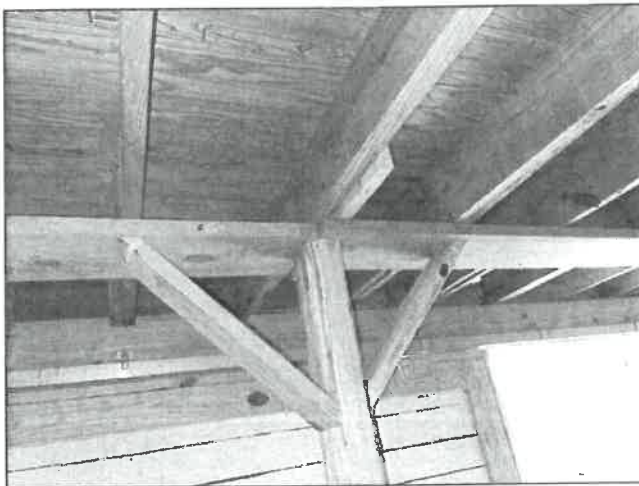


A. Item 6(Picture)

59



A. Item 7(Picture)

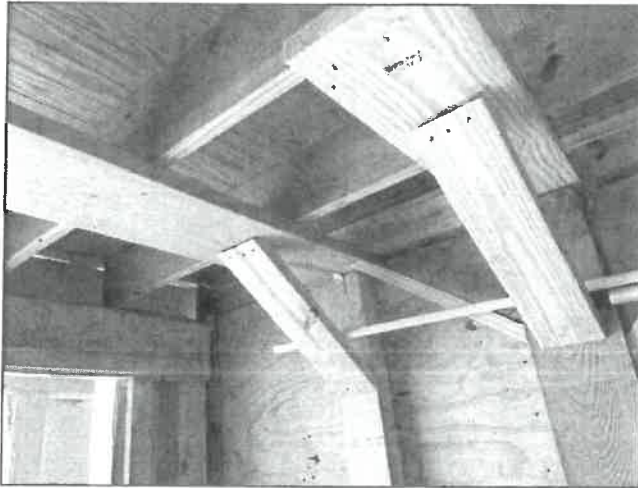


A. Item 8(Picture)

I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

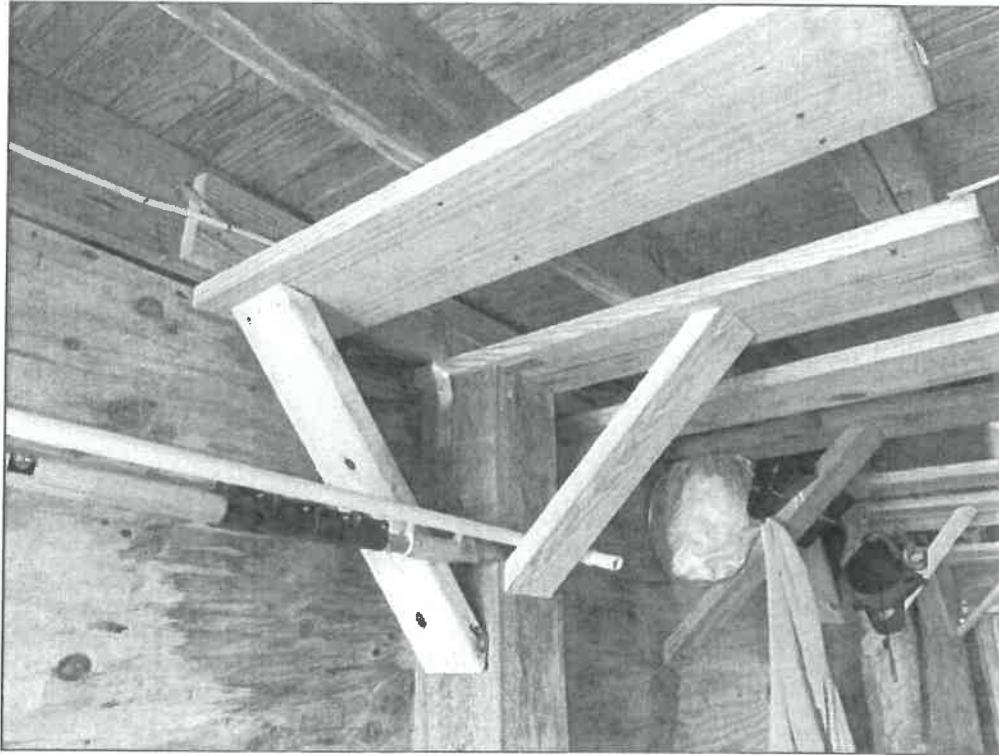
I   NI   NP   D

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60

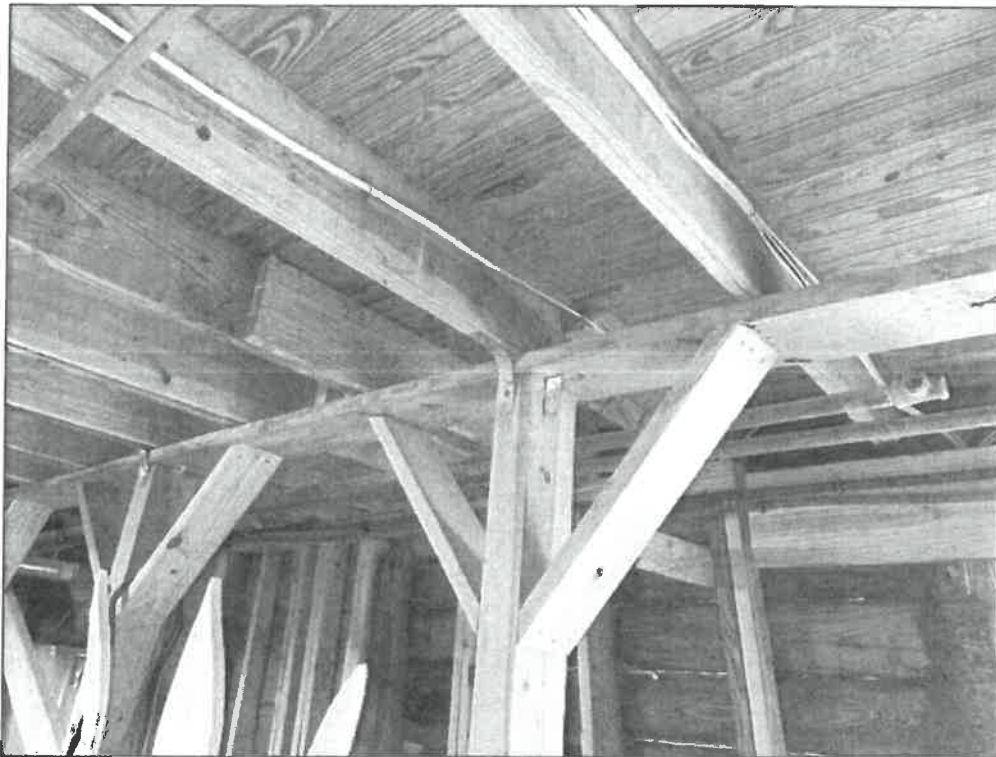
A. Item 9(Picture)



A. Item 10(Picture)

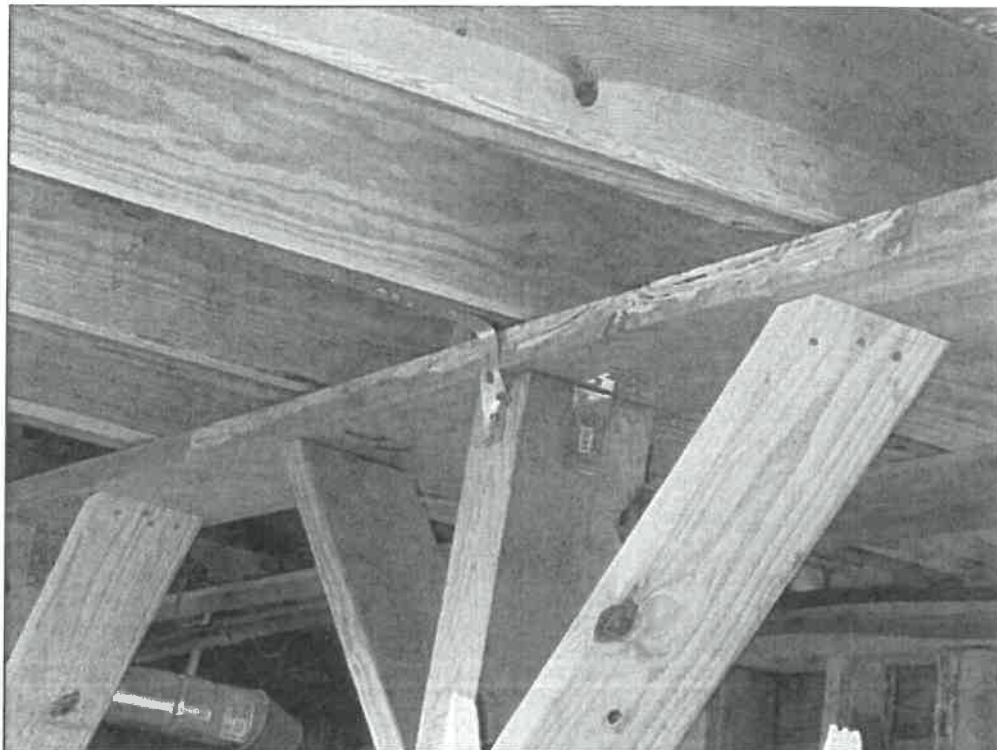
I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I   NI   NP   D



61

A. Item 11(Picture)

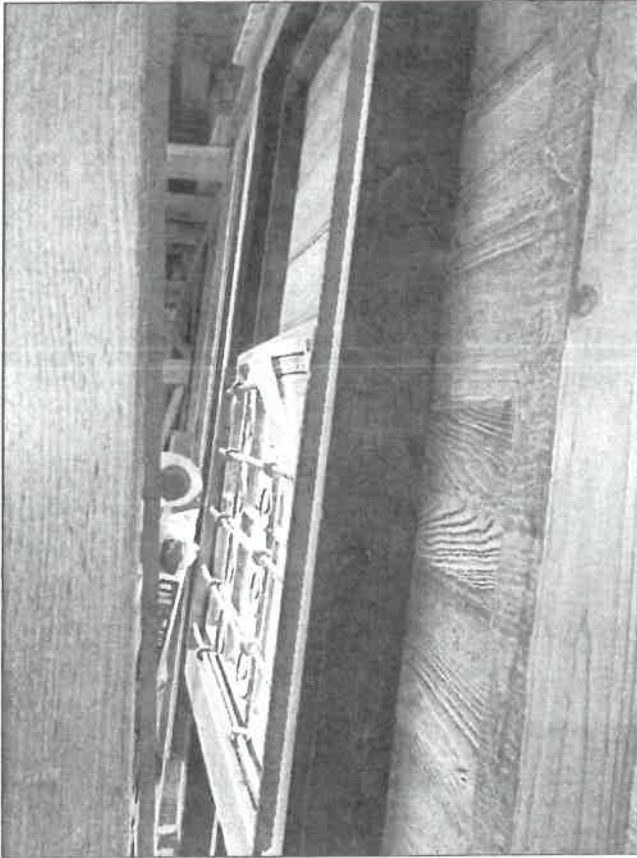


A. Item 12(Picture)

✓

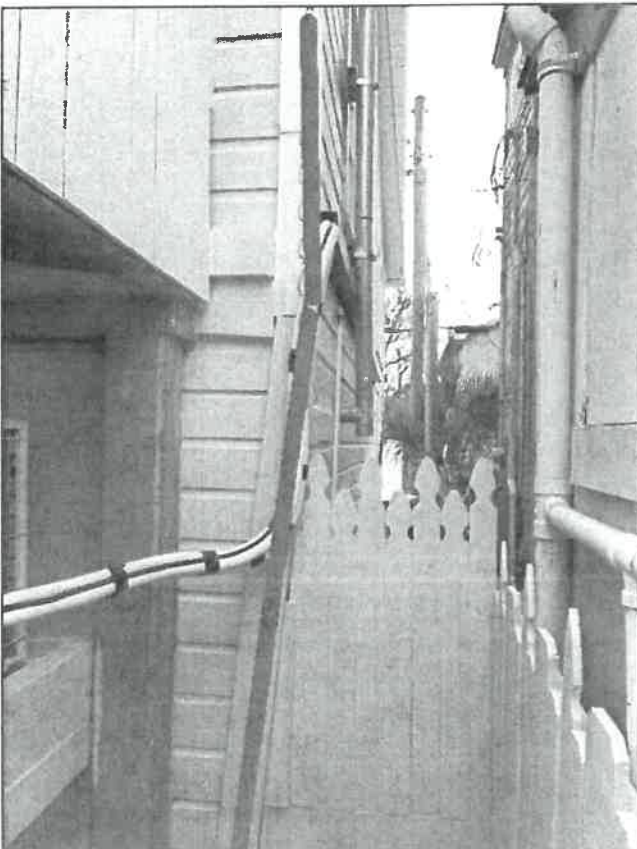
I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I   NI   NP   D



62

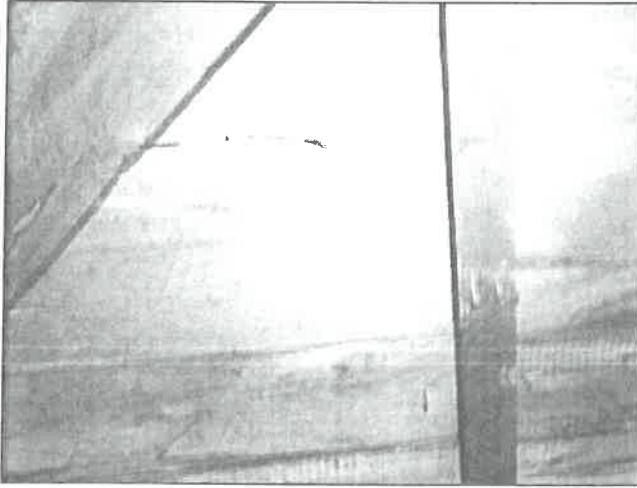
A. Item 13(Picture)



A. Item 14(Picture)

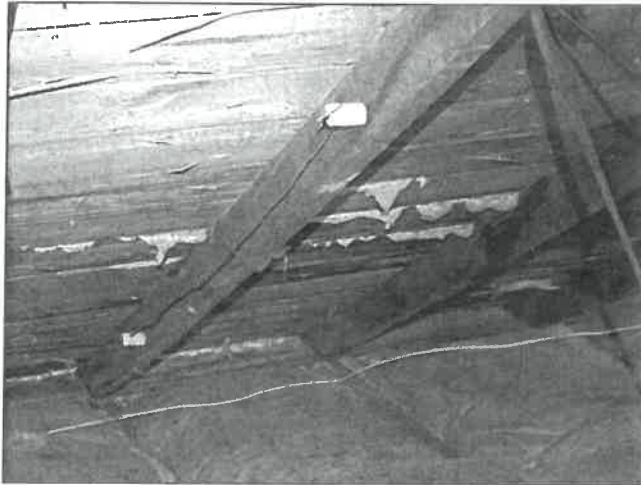
I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I   NI   NP   D



63

D. Item 4(Picture)



D. Item 5(Picture)

E. Walls (Interior and Exterior)

**Garage Obstructions:** Yes. Walls obstructed by personal belongings and not inspected.

**Siding Soffit Facia and Trim Materials:** Wood or Wood Product, Vinyl

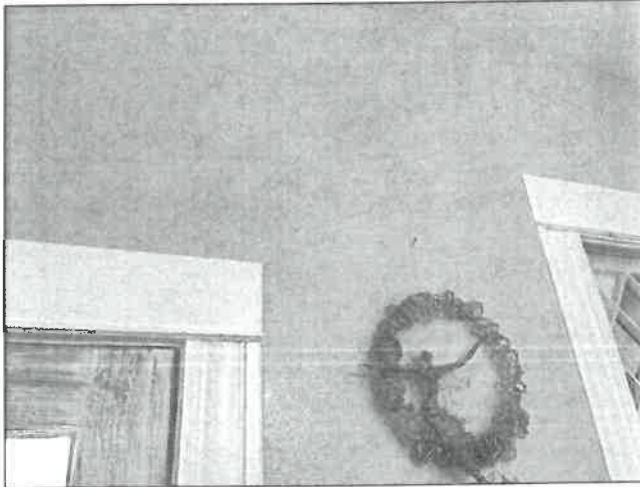
**Obstructions to Interior Walls Windows Floors or other living (conditioned) areas:** Yes. See deficiencies for details of obstructed areas.

Comments:

**X** (1) There are repaired and unrepaired cracks in the wall and ceiling cladding throughout the structure. This may indicate prior structural movement that could be ongoing. All cracks should be monitored for change.

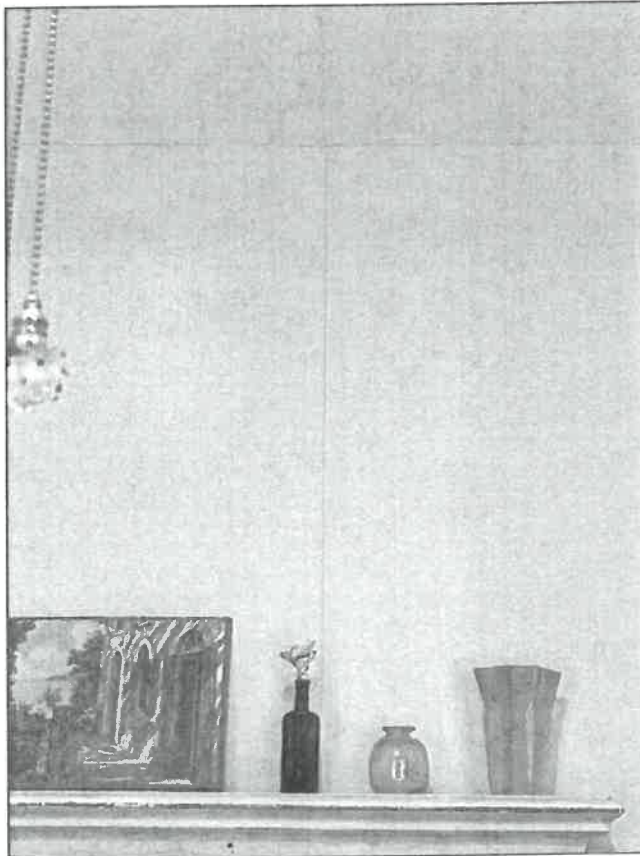
I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I   NI   NP   D



64

E. Item 1(Picture)



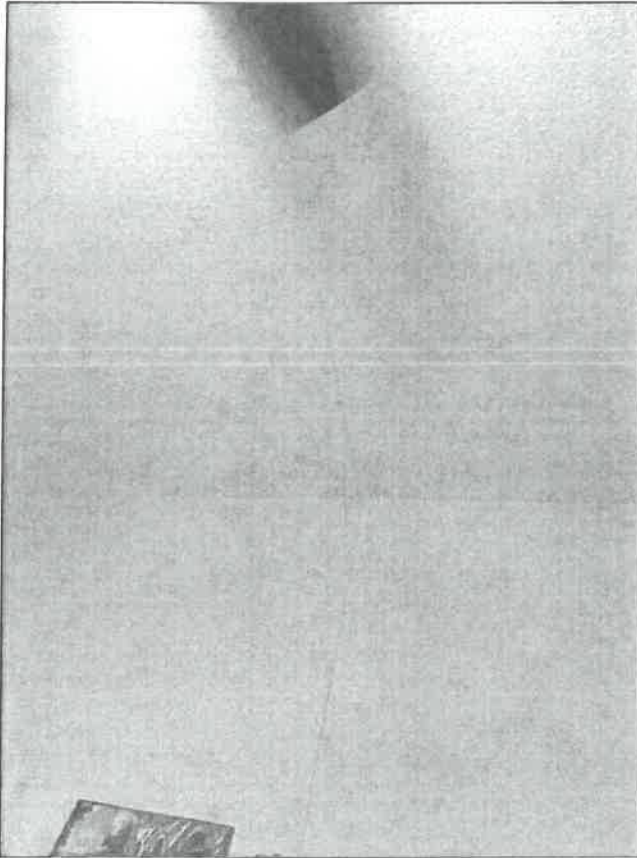
taping issue

E. Item 2(Picture)



I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

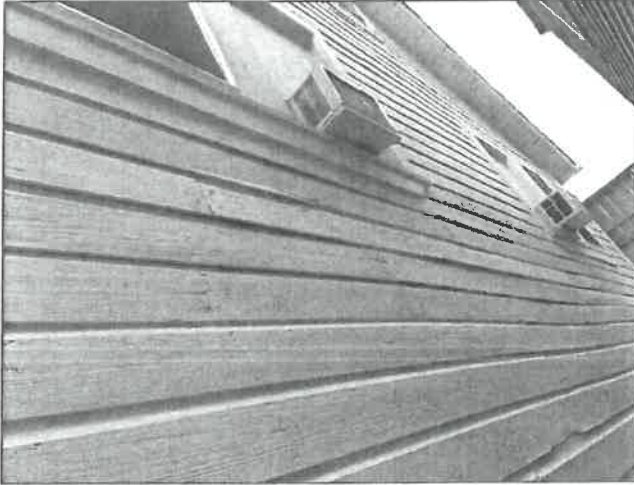
I   NI   NP   D



65

E. Item 3(Picture)

**X** (2) There are multiple examples of wood exterior siding and trim products in poor condition on all sides of both structures. Deteriorated finish is causing moisture intrusion damage in multiple areas. A qualified contractor should be consulted for correction.



E. Item 4(Picture)



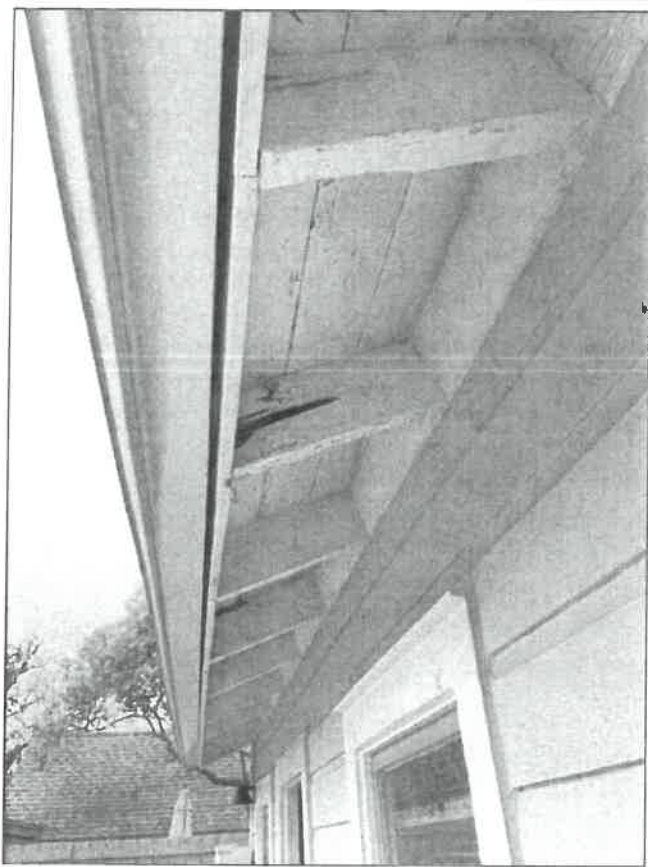
E. Item 5(Picture)

66

these windows - all  
new 2/2021 with  
frames replaced with  
wood preservative treated  
with preservative treated  
weather  
replaced with  
original wood prime  
& treated for weather  
caulked.

I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I   NI   NP   D

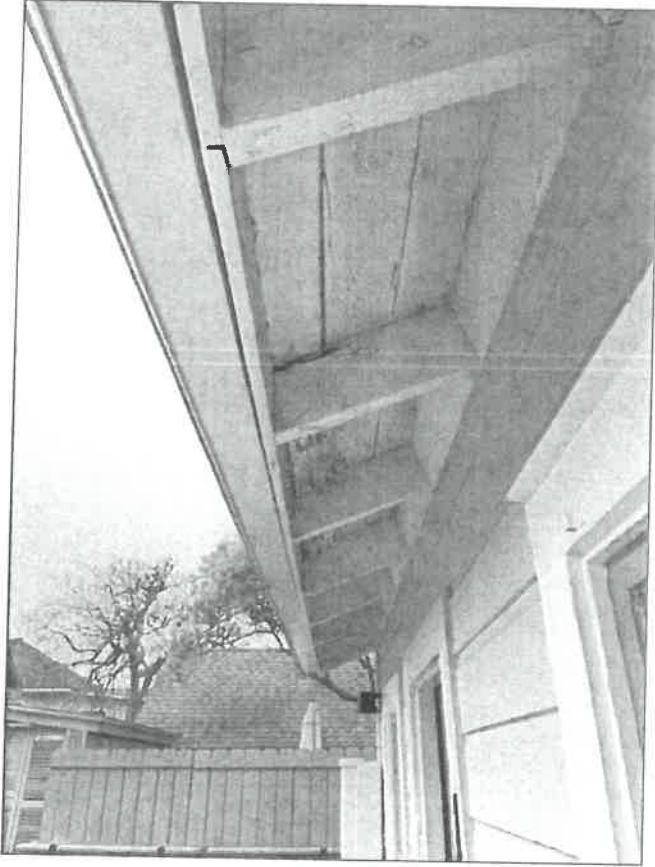


67

E. Item 6(Picture)

I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I   NI   NP   D

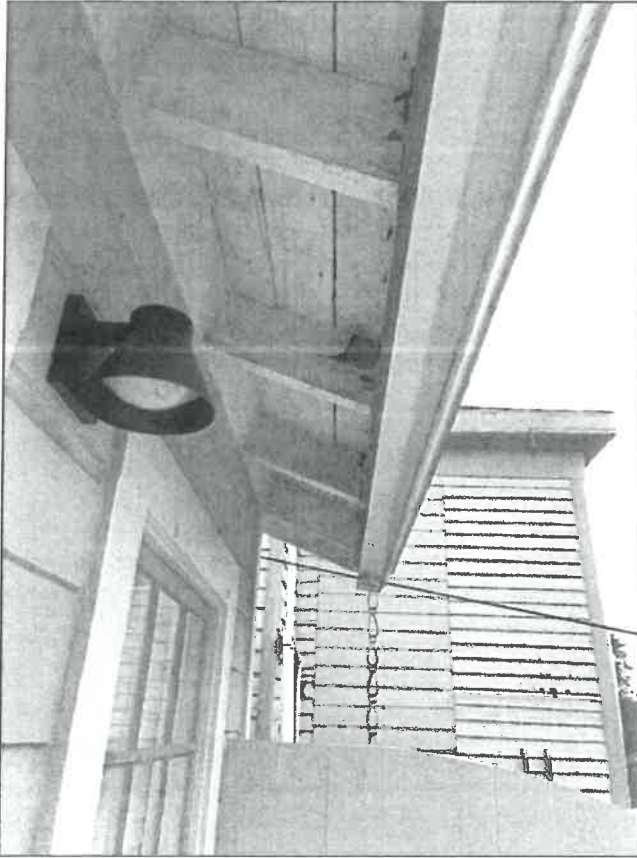


68

E. Item 7(Picture)

I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I   NI   NP   D



69

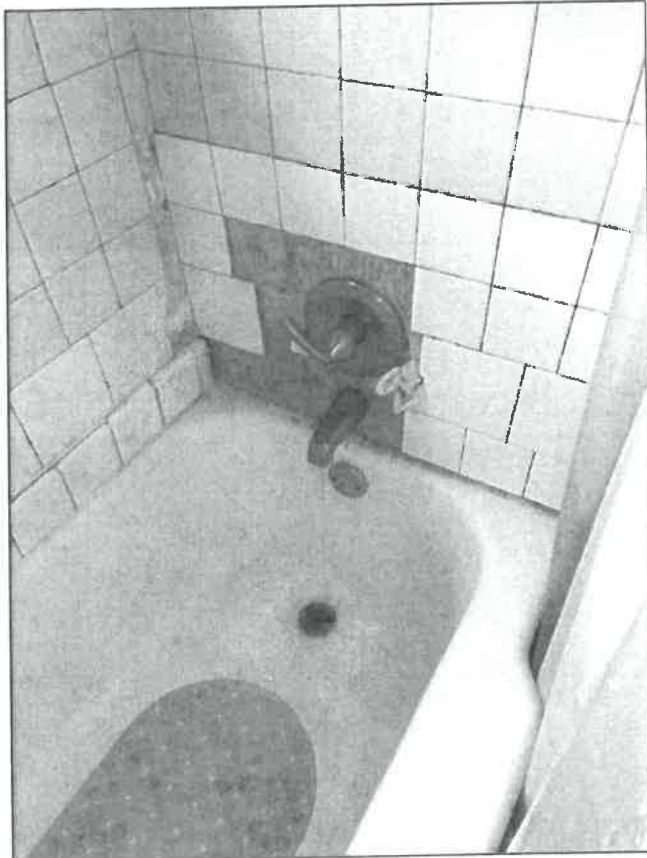
E. Item 8(Picture)

**X** (3) The south apartment is undergoing extensive restoration/remodeling. There are multiple items not currently complete.



70

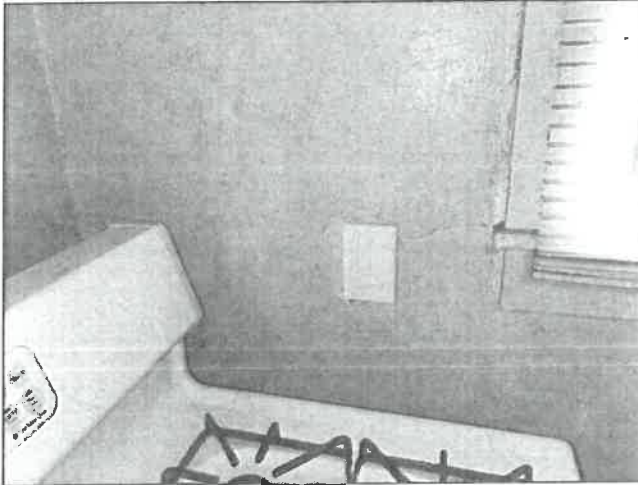
E. Item 9(Video)



tile work  
has completed  
04/02/2021

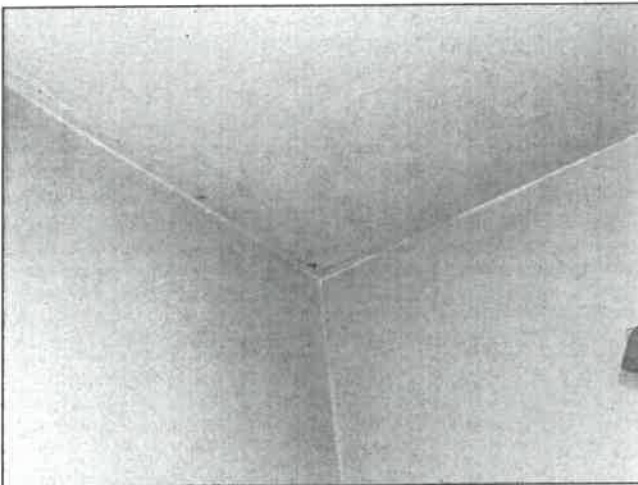
E. Item 10(Picture)

I   NI   NP   D



E. Item 11(Picture)

71



E. Item 12(Picture)

apartment to be  
painted in next  
2 weeks ??



E. Item 13(Picture)

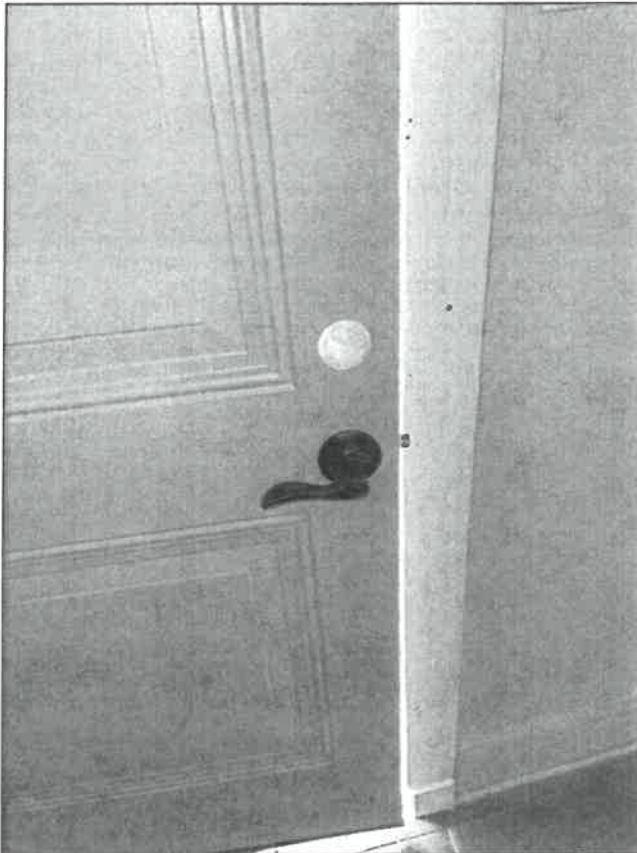
I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I   NI   NP   D



72

E. Item 14(Video)



E. Item 15(Picture)

**IN**  
**FO** (4) North apartment video for information only.





73

**E. Item 16(Video)**

**IN**  
**FO** (5) Bedroom and closet walls obstructed by personal belongings. Obstructed areas were not inspected.

Laundry area wall obstructed by appliances. Obstructed areas were not inspected.

Living area walls and windows obstructed by personal belongings. Obstructed areas were not inspected

**F. Ceilings and Floors**

Comments:

**X** (1) Floors throughout both structures are not level. There are several planes of displacement throughout the structures. This indicates prior foundation or structural movement that may be ongoing.

**X** (2) There are areas of moisture intrusion damage in the subfloor and crawlspace skirting of the primary structure. A qualified contractor should be consulted for correction of all damaged areas. I recommend removal of all wood siding and trim products within 8 inches of the grade level and repair of all damaged structural components



74

F. Item 1(Picture)



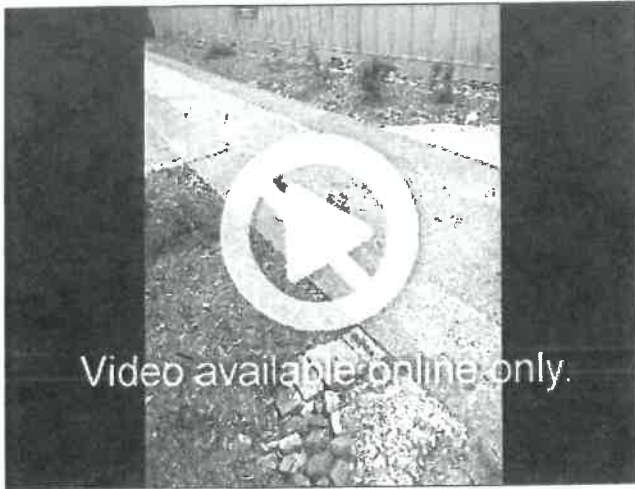
F. Item 2(Picture)



F. Item 3(Video)

I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I   NI   NP   D



75

F. Item 4(Video)



F. Item 5(Video)

I = Inspected   NI = Not Inspected   NP = Not Present   D = Deficient

I   NI   NP   D

**G. Doors (Interior and Exterior)**

Attached Garage Man Door: N/A

Exterior Door Material: Not Identified

Comments:



The Front entry door has a double cylinder deadbolt lock (Requires a key on the inside to open). This is an emergency egress issue. A qualified contractor should be consulted for replacement with an interior thumb turn.

7b



G. Item 1(Picture)

**H. Windows**

Comments:



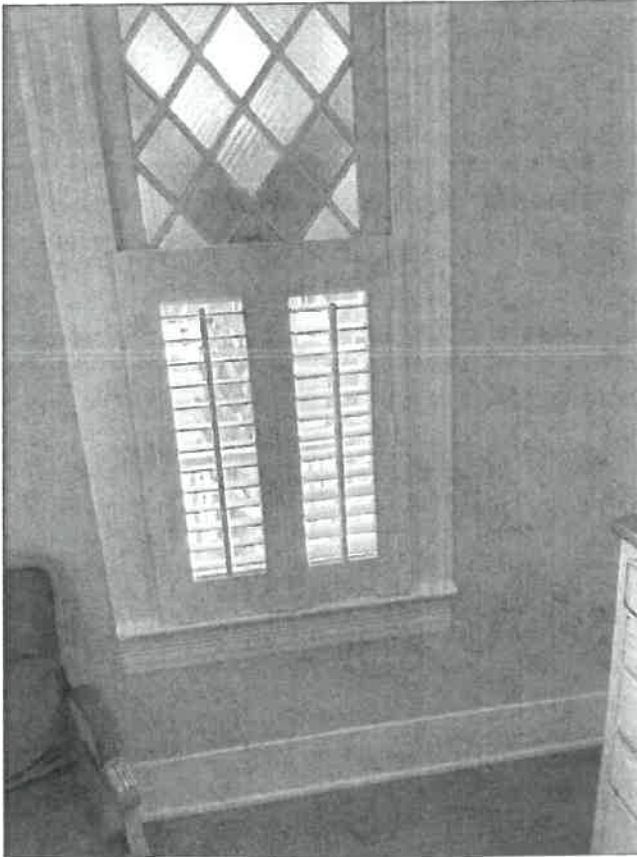
(1) Multiple windows do not open.

I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

---

I   NI   NP   D

---



77

H. Item 1(Picture)

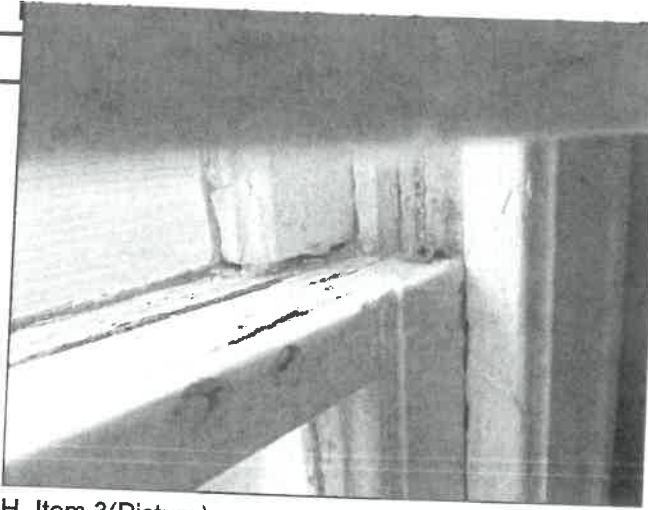


H. Item 2(Picture)

I = Inspected

I NI NP D

ient



H. Item 3(Picture)



H. Item 4(Picture)



H. Item 5(Picture)

78



79

H. Item 6(Picture)



H. Item 7(Picture)



H. Item 8(Picture)



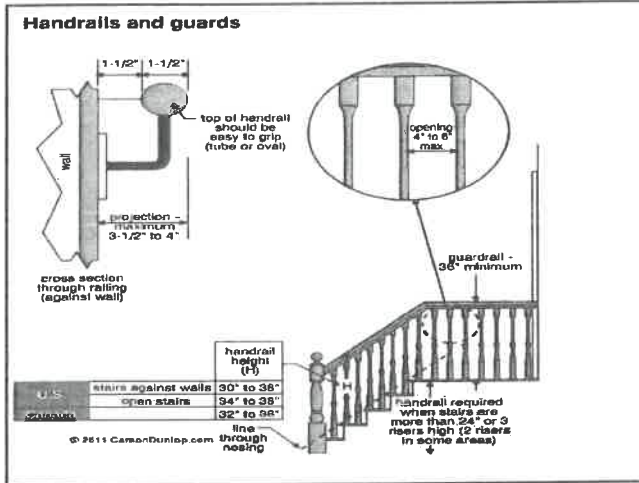
(2) Multiple windows have missing or damaged insect screens.

I. Stairways (Interior and Exterior)

Comments:

I   NI   NP   D

**+** (1) The hand/guard rail for the exterior stairway contains balusters that are spaced more than 4 inches apart. Balusters more than 4 inches apart may allow a small child to become trapped or to fall. This is a safety issue. This is a safety concern. A qualified contractor should be consulted for correction.



80

I. Item 1(Picture)

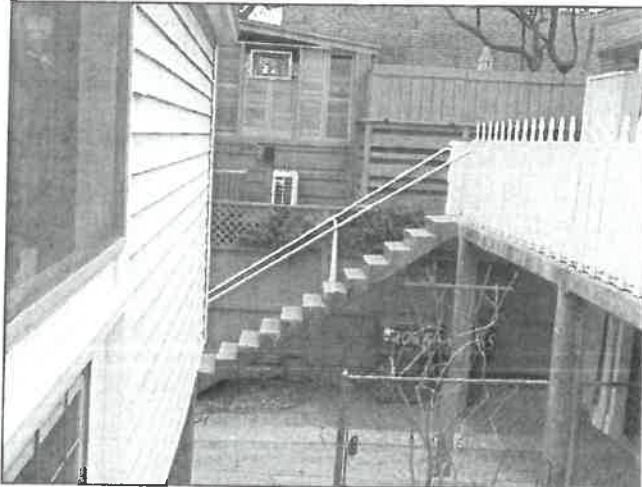


I. Item 2(Picture)



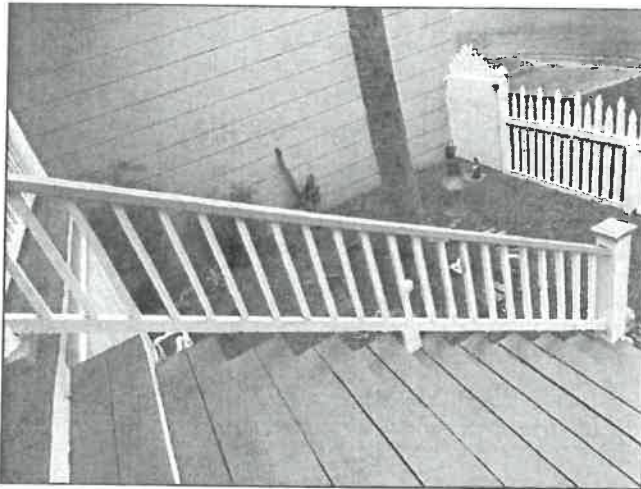
I. Item 3(Picture)





81

I. Item 4(Picture)



I. Item 5(Picture)

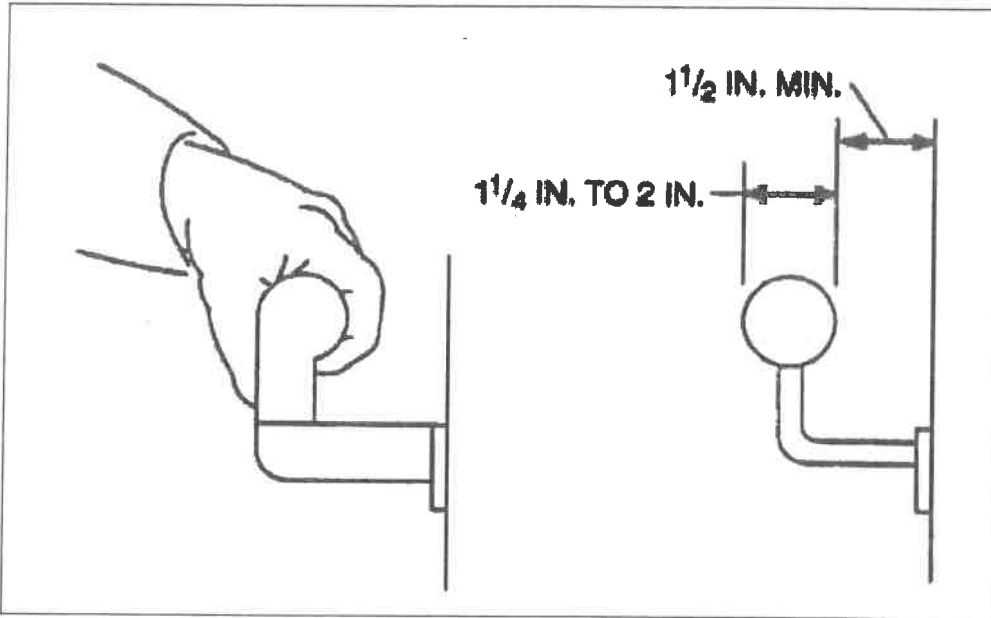


I. Item 6(Picture)

Historical District

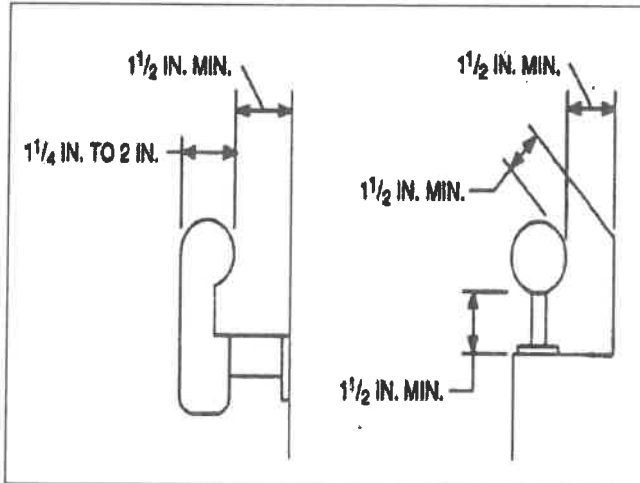


(2) The exterior stairway handrail does not meet the grasp ability requirements. This is a safety issue. A qualified contractor should be consulted for correction



(87)

I. Item 7(Picture)



I. Item 8(Picture)

I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I   NI   NP   D

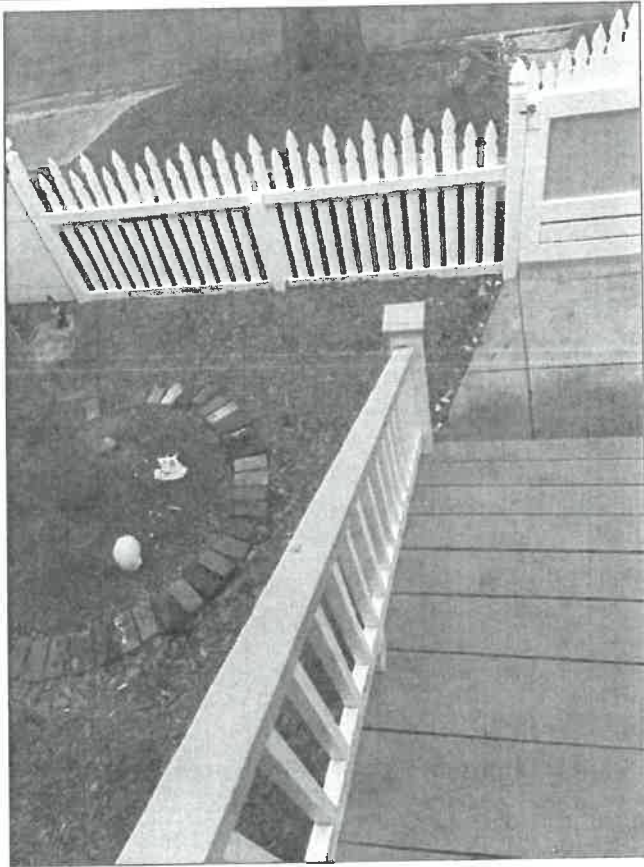


83

I. Item 9(Picture)

I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I   NI   NP   D



84

I. Item 10(Picture)

**J. Fireplaces and Chimneys**

**Fireplace Present:** No

**Comments:**

**K. Porches, Balconies, Decks and Carports**

**Appurtenance:** None

**Comments:**

**L. Other**

**Flatwork present:** Driveway, Sidewalk

**Flatwork material:** Concrete

**Comments:**

I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I   NI   NP   D

## II. Electrical Systems

**A. Service Entrance and Panels**

**Electrical Service Type:** Overhead service

**Service Entrance Conductor Material:** Copper

**Antioxidant paste present on aluminum conductor terminations?:** N/A

**Panel Location:** Interior

**Panel Type:** Circuit breakers, Distribution only

**Panel Capacity:** 125 AMP, (2) 100 AMP service panel

**Main Disconnect:** Single throw

**Branch Circuit Conductor Material:** Copper

**240V Plug Receptacle in Laundry?:** Yes

Comments:

**X** (1) Circuit breakers in the main distribution panel are not labeled.

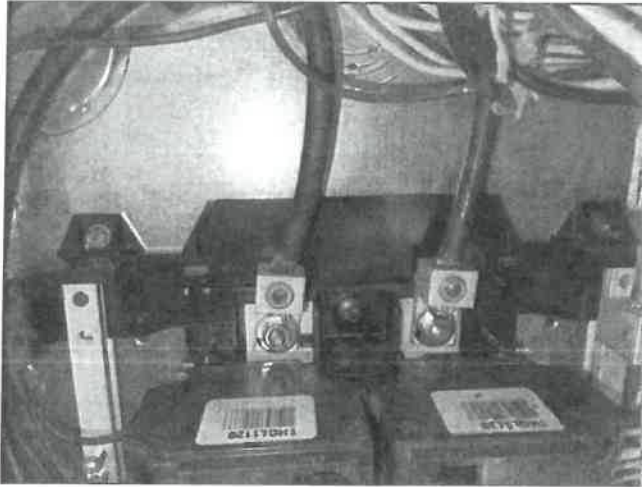
**IN**  
**FO** (2) The main electrical service and distribution panel is located inside the structure in the crawlspace.  
This is for information only.

(85)

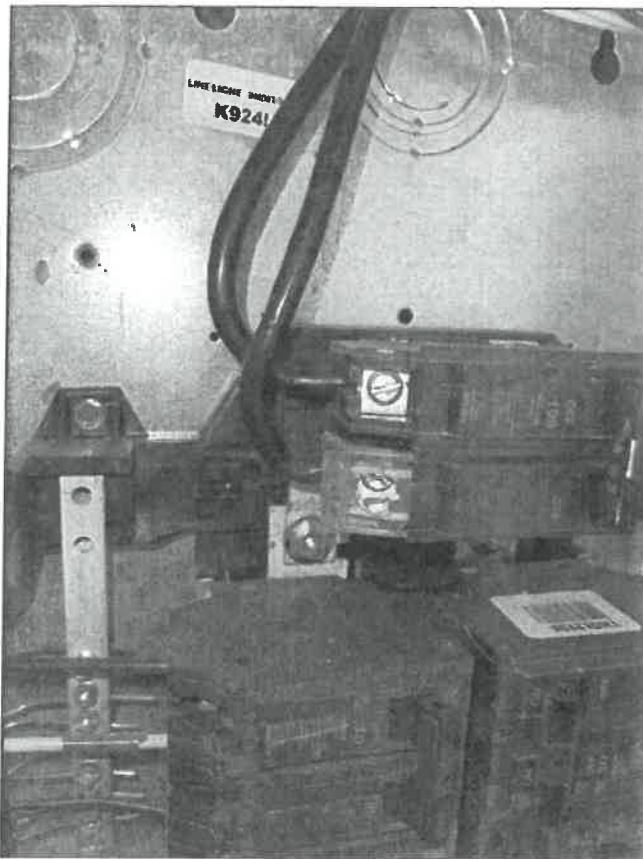
To be done

I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I   NI   NP   D



A. Item 1(Picture)

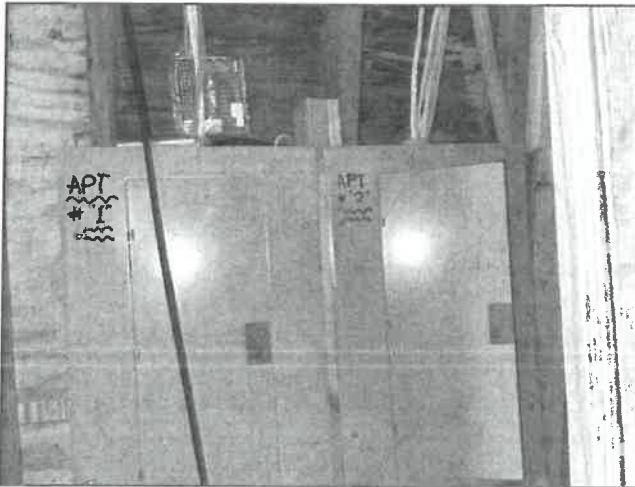


A. Item 2(Picture)

86

I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I   NI   NP   D



87

A. Item 3(Picture)

**IN**  
**FO** (3) Electrical system grounding electrode. This is for information only.



A. Item 4(Picture)

**B. Branch Circuits, Connected Devices and Fixtures**

Grounding System visible?: Yes

GFCI receptacle protection-Exterior receptacles: Yes.

GFCI receptacle protection -garage receptacles: No. See deficiencies.

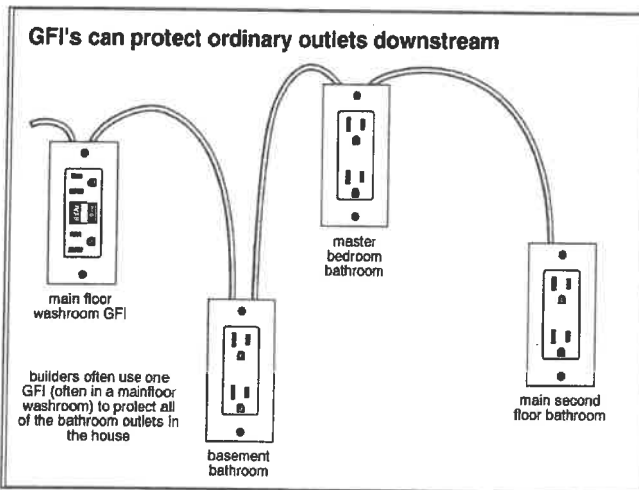
GFCI Receptacle Protection -All bathrooms: Yes

GFCI receptacle protection-Kitchen counter receptacles: No. See deficiencies.

**Smoke Alarm-Living space of each level:** Yes.  
**Smoke Alarm-Outside each sleeping area.:** Yes.  
**Smoke Alarm -Each Sleeping Room:** Yes.

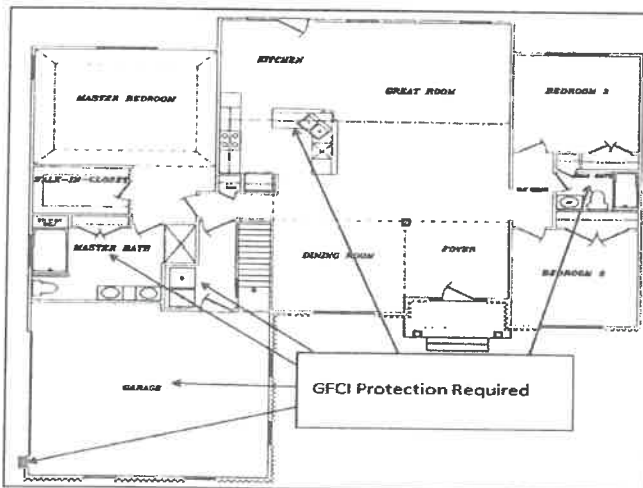
Comments:

**+** (1) Two plug receptacle(s) in the north apartment kitchen (plug receptacles serving counter space only) are not Ground Fault Circuit Interrupter (GFCI) protected. This is a safety concern. The purpose of GFCI is as a safety device designed to protect humans from electrocution hazards at any place where they are likely to be in prolonged direct contact with electrical devices, especially those devices with motors. They also protect from electrocution hazards near open water receptacles such as sinks, tubs and pools. A licensed electrician should be consulted for installation of appropriate GFCI protection in all kitchen, bathroom, garage, pool area and exterior plug receptacle locations.



88

B. Item 1(Picture)



B. Item 2(Picture)



I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I   NI   NP   D



B. Item 3(Picture)



(2) Multiple junction boxes are not properly enclosed.

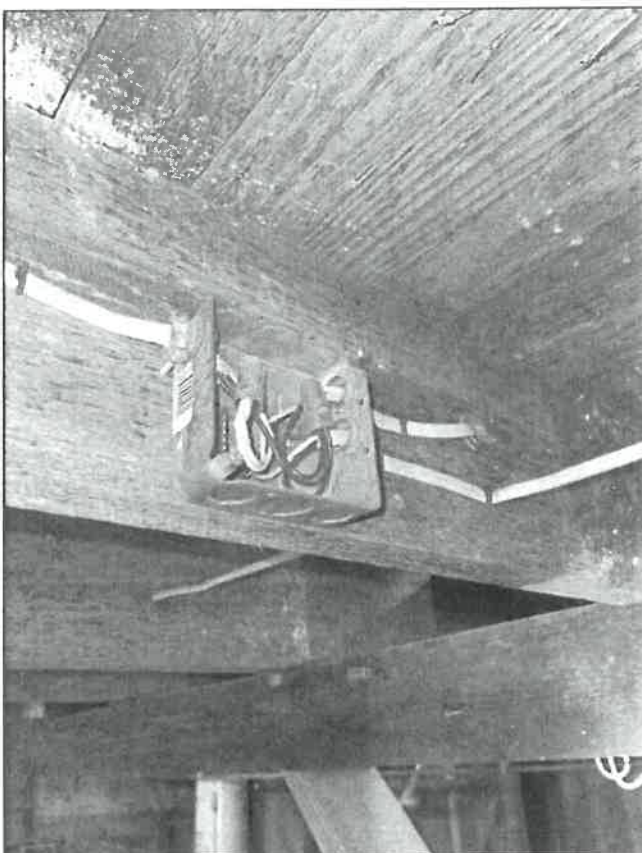
89

I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I   NI   NP   D



B. Item 4(Picture)



B. Item 5(Picture)

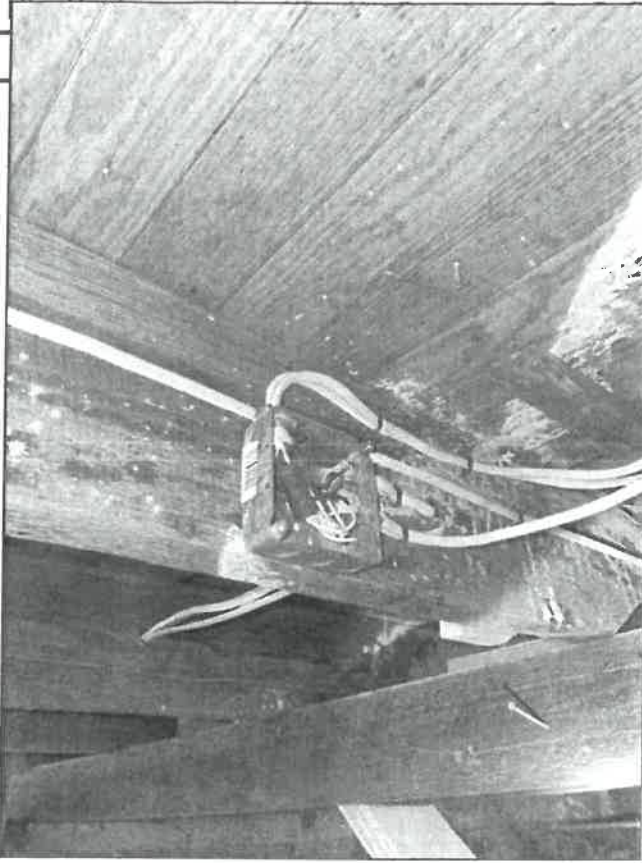
90

Seller  
will enclose

I = Inspected

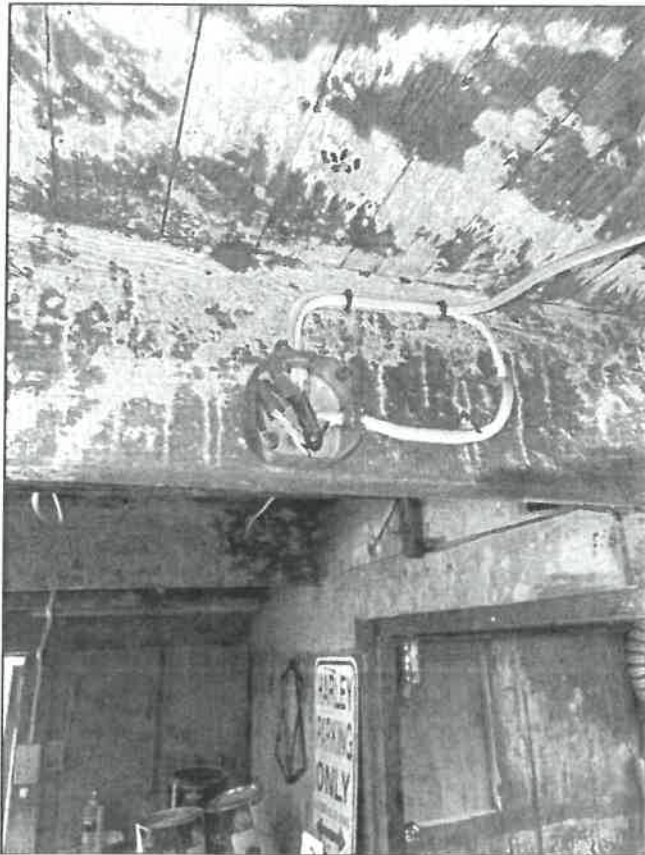
Client

I NI NP D



(a)

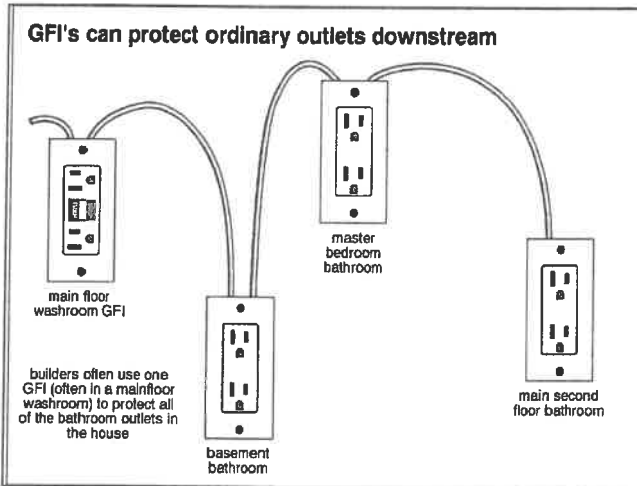
B. Item 6(Picture)



B. Item 7(Picture)

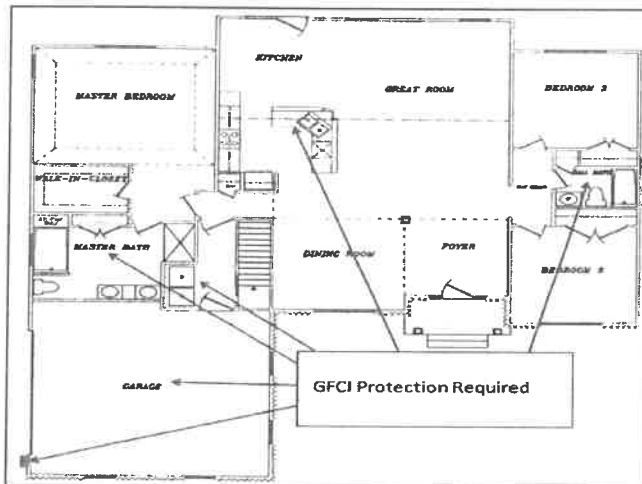
⊕ (3) Four plug receptacle(s) in the primary structure kitchen (plug receptacles serving counter space

only) are not Ground Fault Circuit Interrupter (GFCI) protected. This is a safety concern. The purpose of GFCI is as a safety device designed to protect humans from electrocution hazards at any place where they are likely to be in prolonged direct contact with electrical devices, especially those devices with motors. They also protect from electrocution hazards near open water receptacles such as sinks, tubs and pools. A licensed electrician should be consulted for installation of appropriate GFCI protection in all kitchen, bathroom, garage, pool area and exterior plug receptacle locations.



97

B. Item 8(Picture)



B. Item 9(Picture)



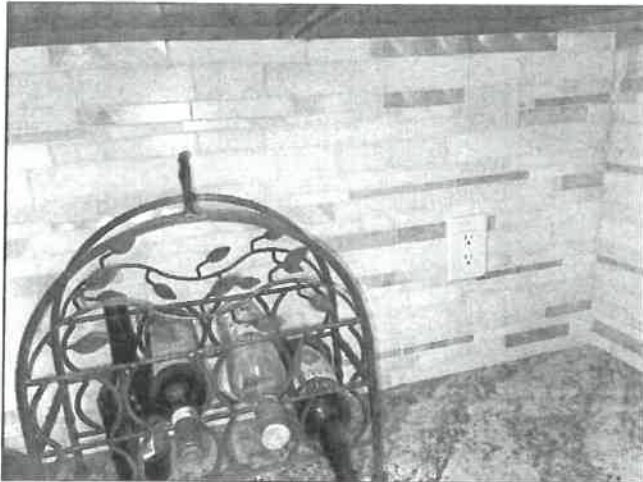
*Seller to replace*

93

B. Item 10(Picture)



B. Item 11(Picture)



B. Item 12(Picture)



(4) The number of kitchen counter plug receptacle outlets is not adequate in the primary structure. There should be no point on the kitchen counter further than 24 inches from a GFCI protected plug receptacle outlet. A qualified electrician should be consulted for correction.



04

B. Item 13(Picture)

**X** (5) The switch outlet has a damaged wall cover plate in the primary kitchen. A qualified contractor should be consulted for correction.



5/2/12 to replace

B. Item 14(Picture)

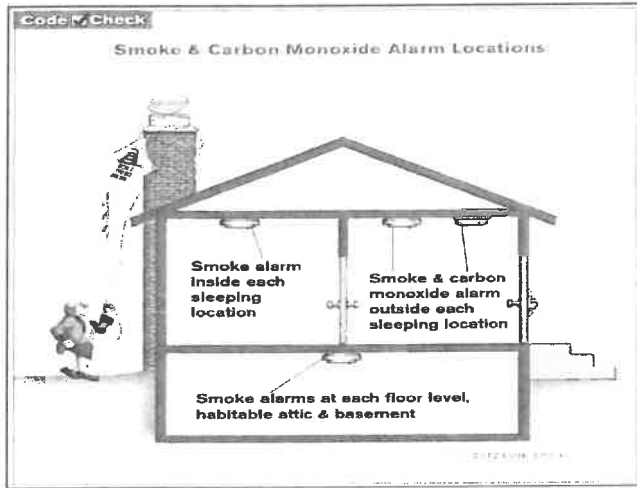
**IN**  
**FO** (6) Smoke detectors are installed and operational in all required locations.

Smoke detectors should be installed in each bedroom, directly outside each bedroom and on each level of the home. The smoke detectors should be interconnected and continuously powered.

I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I   NI   NP   D

Smoke detectors have a life span of ten years. They should be replaced on or before the ten year mark.



96

B. Item 15(Picture)

I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I   NI   NP   D

### III. Heating, Ventilation and Air Conditioning Systems

**A. Heating Equipment**

**Evaporator Coil:** Coil not accessible

**Number of Heat Systems:** Two

**Heat Type:** Natural Gas fueled Central Furnace, Electric Central Furnace, Wall mounted space heater(s)  
-Natural Gas

**Condensor 1 Tonnage:** Unknown

**Condensor 2 Tonnage:** N/A

Comments:

**IN**  
**FO** (1) The primary structure and north apartment furnace was operated using normal controls. Heat output was adequate and no deficiencies were noted. This is for information only.



Ab

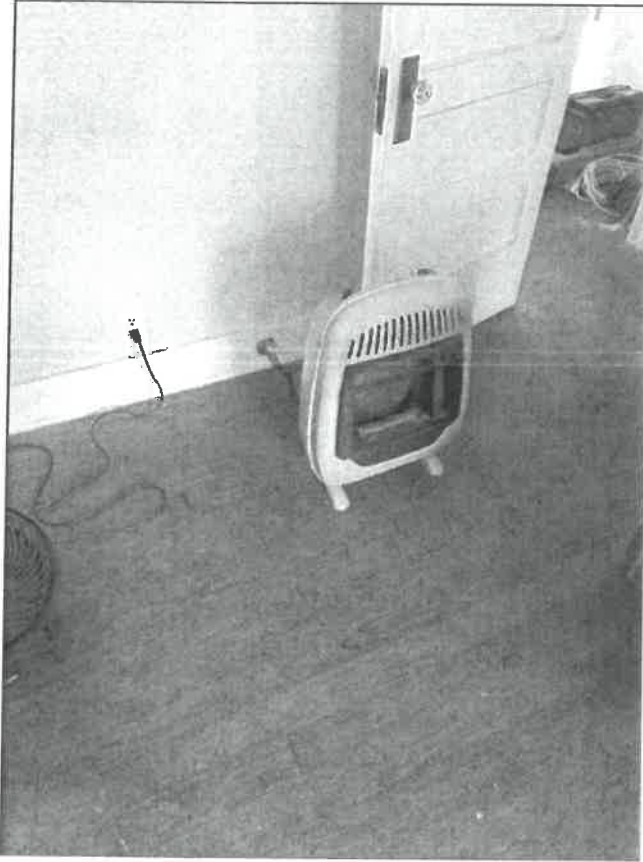
A. Item 1(Video)

**+** (2) South apartment heating sources were not inspected. These are unventilated natural gas devices not meeting current safety requirements. I recommend removal.



I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I   NI   NP   D



97

A. Item 2(Picture)

B. Cooling Equipment

**Service Plug Receptacle within 25 Feet of all equipment:** Yes

**Equipment Disconnect present at condensor?:** Yes

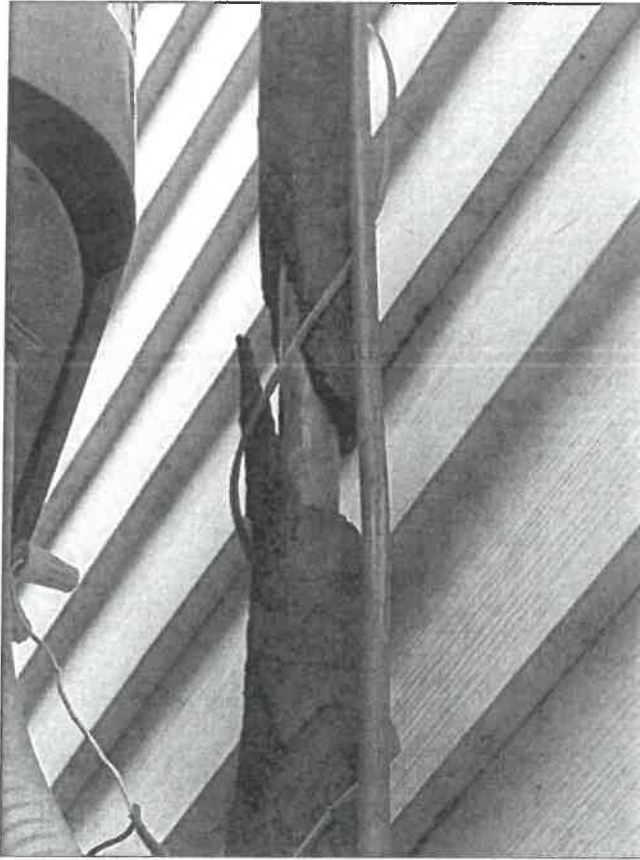
**Cooling Equipment Type:** Split Central Air Conditioning System(s), Window Unit(s)

**Number of Air conditioning units or systems:** Four

**Manufacturer of Central Unit(s):** GOODMAN

Comments:

~~X~~ (1) Air-conditioner refrigerant line insulation is deteriorated for the primary structure. A qualified contractor should be consulted for correction.



*Seller to replace 98*

B. Item 1(Picture)

~~X~~ (2) The air-conditioner temperature differential in the primary structure was measured at the return and supply registers and found to be outside acceptable parameters. The temperature differential was less than 15 degrees. A qualified contractor should be consulted for evaluation and correction.

<sup>IN</sup>  
~~FO~~ (3) The air-conditioner temperature differential was measured at the return and supply registers and found to be within acceptable parameters in the North apartment. This is for information only.

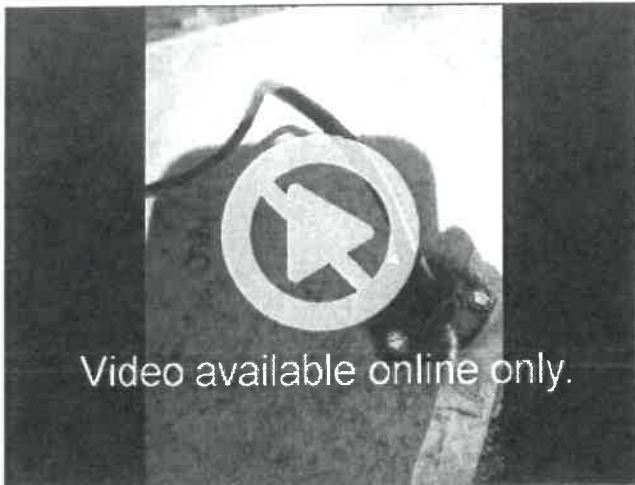
Q (4) Air conditioner evaporator data plate. Unit manufactured in 2012 .

This unit is 9 year(s) old.

Expected service life of evaporator units is 7 to 11 years although some units may remain in service for much longer. Regular maintenance may increase service life.

I = Inspected   NI = Not Inspected   NP = Not Present   D = Deficient

I   NI   NP   D



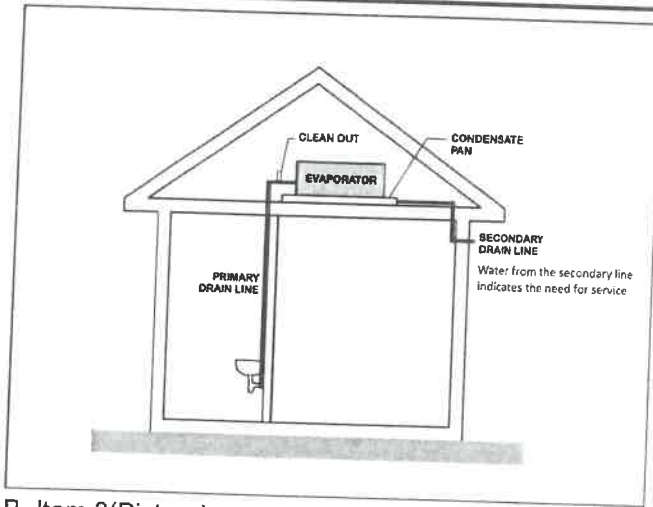
99

B. Item 2(Video)

**IN**  
**FO** (5) The pipes in the soffit are the secondary condensate drain for the air conditioning system. Water emitting from these drains indicates a problem with the primary drain system. If water is seen, a qualified contractor should be consulted for correction. This is for information only.

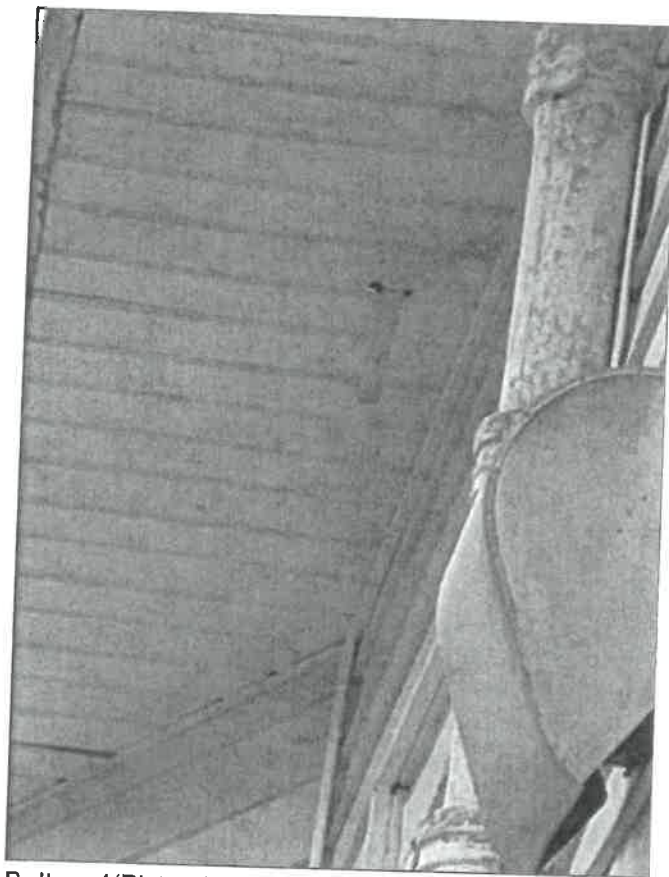
I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I   NI   NP   D



B. Item 3(Picture)

100



B. Item 4(Picture)

(6) Air conditioning unit dataplate for information only. This unit was manufactured in 2019. This unit is 2 year(s) old.

Expected service life of condenser units is 10-15 years although some units remain in service for much longer. Regular maintenance may increase service life.

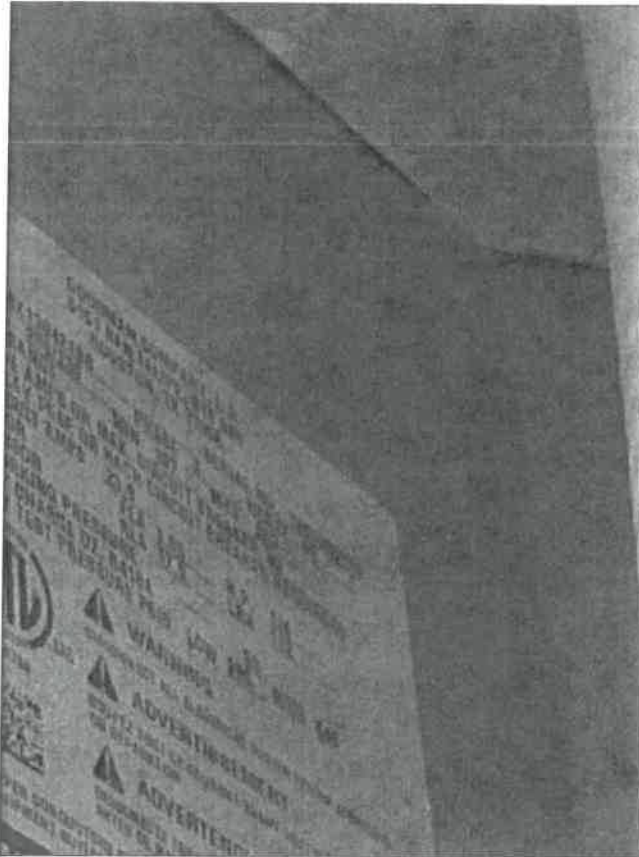


**I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient**

**I   NI   NP   D**

🔍 (7) Air conditioning condenser unit dataplate for information only. This unit was manufactured in 2012. This unit is 9 year(s) old.

Expected service life of condenser units is 10-15 years although some units remain in service for much longer. Regular maintenance may increase service life.



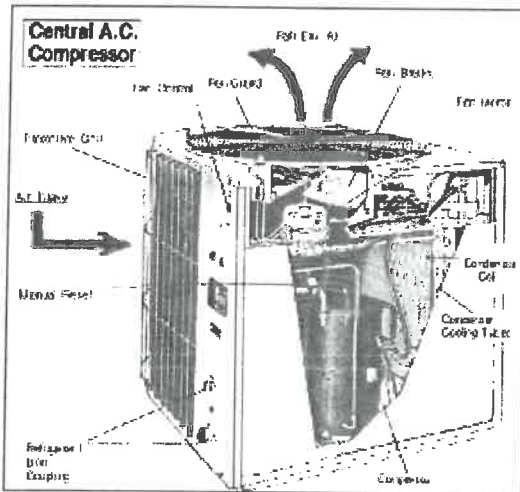
102

B. Item 7(Picture)

**INFO** (8) Your home has a split system air conditioning system. The unit outside is the condenser. I recommend the following annual checks before the start of cooling season (March or April in Houston)

- Inspect unit for proper refrigerant level and adjust if necessary
- Clean dirt, leaves and debris from inside cabinet
- Inspect base pan for restricted drain openings - remove obstructions as necessary
- Inspect coil and cabinet - clean as needed
- Inspect fan motor and fan blades for wear and damage - on older models lubricate as needed
- Inspect control box, associated controls/accessories, wiring and connections. Controls may include contactors, relays, circuit boards, capacitors, sump heat and other accessories. All control box and electrical parts should be checked for wear or damage.
- Inspect compressor and associated tubing for damage

I suggest a qualified air conditioning contractor to perform these tasks.



B. Item 8(Picture)

103

**IN**  
**FO** (9) The components of your heating and cooling system that are located inside your home (usually in the attic in Houston) should be inspected twice each year just prior to the cooling and heating seasons.

Here are some items that should be completed during these inspections:

- Inspect and clean blower assembly (includes blower housing, blower wheel and motor)
- On older models, lubricate motor and inspect and replace fan belt if needed
- Check combustion blower housing for lint and debris and clean as necessary
- Inspect evaporator coil, drain pan and condensate drain lines. Clean as needed
- Inspect for gas leaks in gas furnaces
- Inspect burner assembly - clean and adjust as needed
- Inspect ignition system and safety controls - clean and adjust as needed
- Inspect heat exchanger or heating elements
- Inspect flue system - check for proper attachment to the furnace, any dislocated sections, and for signs of corrosion. Replace if necessary.
- Inspect control box, associated controls, wiring and connections
- Clean or replace air filters
- Inspect conditioned airflow system (ductwork) - check for leaks

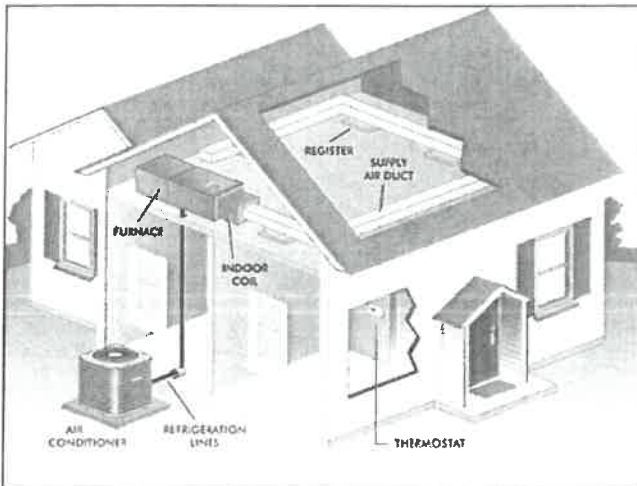
#### WHILE YOUR SYSTEM IS OPERATING

- Monitor system starting characteristics and capabilities
- Listen for abnormal noise
- Search for source of unusual odors
- Monitor air conditioning and heat pump systems for correct refrigerant charge
- Measure outdoor dry bulb temperature
- Measure indoor dry and wet bulb temperature
- Measure high and low side system pressures
- Monitor gas furnace for correct line and manifold gas pressure - make adjustments as needed
- Measure temperature rise and adjust airflow as needed
- Check vent system for proper operation
- Monitor system for correct line and load volts/amps

I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

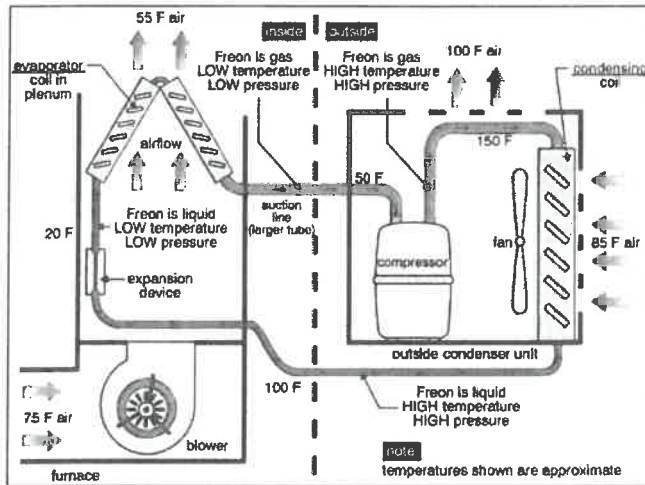
I   NI   NP   D

I recommend you retain the services of a qualified HVAC contractor for these inspections.



104

B. Item 9(Picture)



B. Item 10(Picture)

IN  
FO (10) Window units in the south apartment were not operated.



I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I   NI   NP   D



B. Item 11(Picture)



B. Item 12(Picture)



B. Item 13(Picture)

105

I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I   NI   NP   D

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**C. Duct Systems, Chases and Vents**

Comments:

**IN**  
**FO** Visible HVAC ducts and chases were inspected and no deficiencies were noted. This is for information only.

106

I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I   NI   NP   D

IV. Plumbing System

A. Plumbing Supply, Distribution System and Fixtures

Water Meter Location: Utility Easement-Rear of structure

Static Water Pressure: 60 psi

Homeowner Shut Off Valve Location: Exterior

Backflow devices on exterior spigots?: No-See deficiencies

Laundry Water Supply Fixtures Present?: Yes

Clothes Washer Drain present?: Yes

Temperature and Pressure Relief Valve: Operated normally, Improperly plumbed or damaged. Device not operated-See deficiencies

Water supply pipe material?: PVC, PEX, Unknown, Not Visible

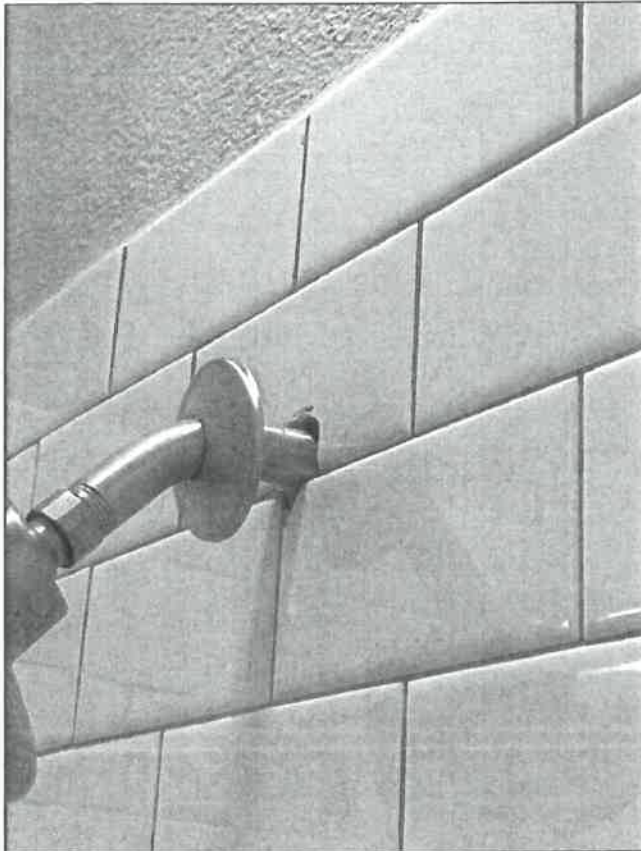
Natural Gas Shutoff Valve Location: Structure Exterior at Gas Meter

Natural Gas Supply Pipe Material: Iron, Unknown, Not visible

Drain Waste and Vent Material: PVC, Iron, Unknown, Not Visible

Comments:

**X** (1) Master shower escutcheon is not properly secured. This may result in moisture intrusion into the structure.



A. Item 1(Picture)

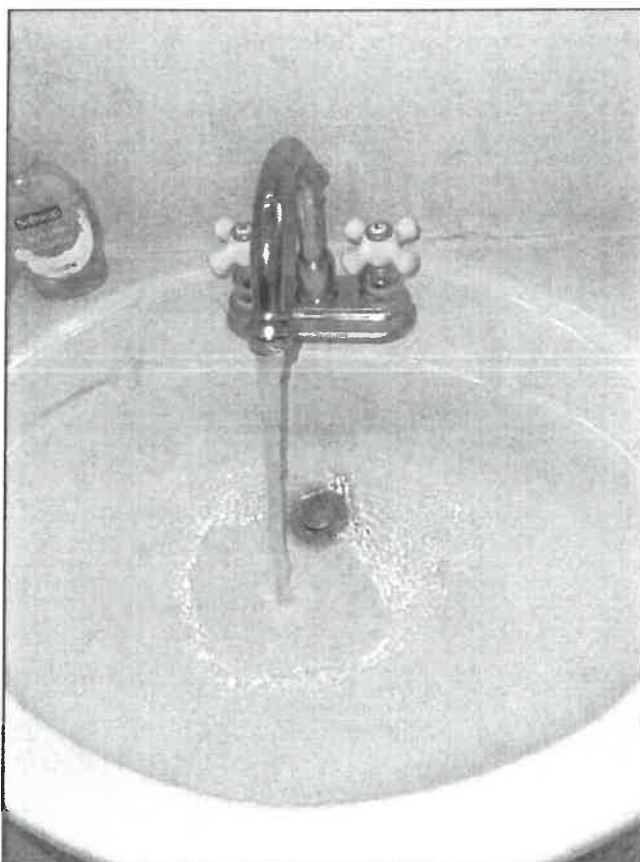
**X** (2) The drain stopper in the second bathroom lavatory does not function.

107

to be repaired / caulked

I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

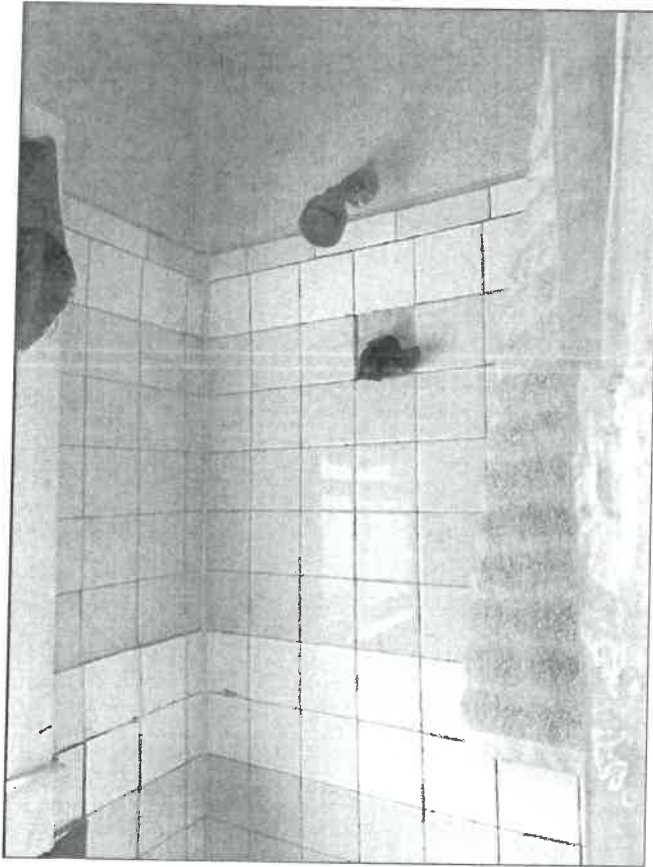
I   NI   NP   D



108

A. Item 2(Picture)

✘ (3) South apartment plumbing fixtures are incomplete.



109

A. Item 3(Picture)

**IN**  
**FO** (4) The water meter is located at the utility easement at the alley .

The water meter is not running at the time of inspection with all sources turned off. This is the normal condition with all sources turned off.

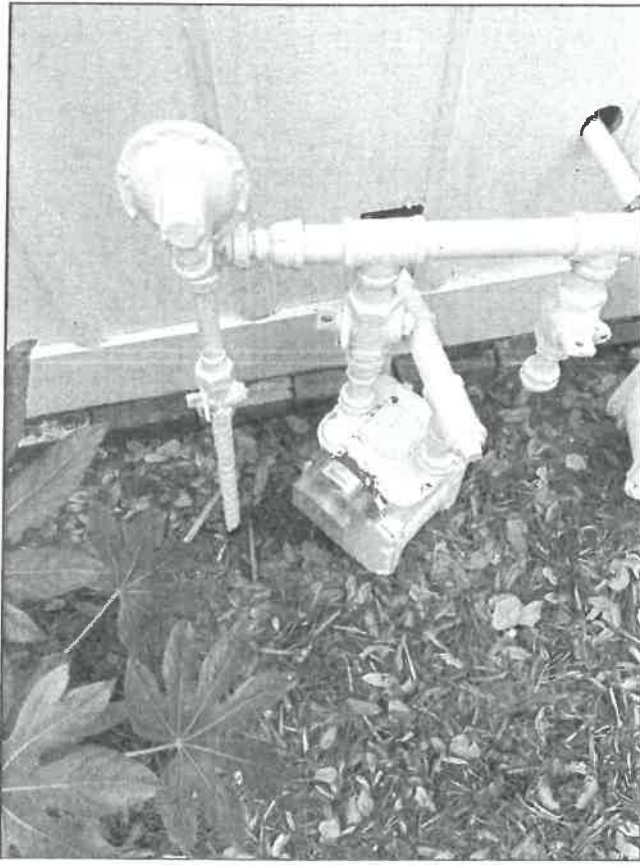
If the meter shows water flow ( running meter) with all water sources turned off, a leak is possible and should be investigated.

**IN**  
**FO** (5) Static water pressure checked at hose bibb closest to water supply entry into the structure.  
(6) One or more exterior spigots do not have backflow devices installed. This may allow contamination of the potable water supply. A qualified plumber should be consulted for correction.

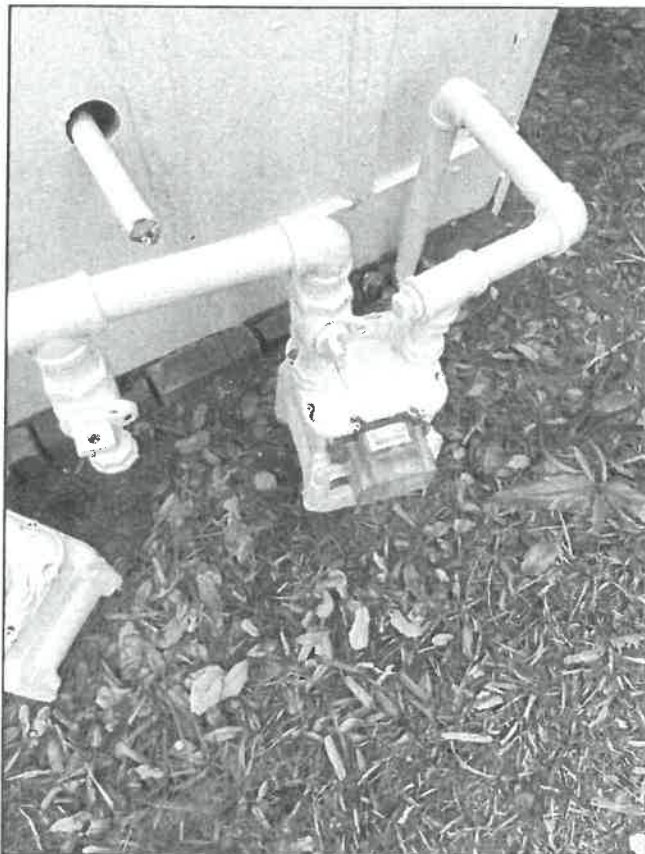
**IN**  
**FO** (7) The natural gas shut off valve is located at the gas meter. This is for information only.

I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I   NI   NP   D



A. Item 4(Picture)



A. Item 5(Picture)

110

I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I   NI   NP   D

**B. Drains, Waste and Vents**

Comments:

**C. Water Heating Equipment**

**Water Heater Power Source:** Natural Gas

**Gas Water Heater Flame:** Flame Normal

**Gas Water Heater SOV:** Shutoff valve within 6 feet of the appliance

**Water Heater Capacity:** 2 X 40 Gallon

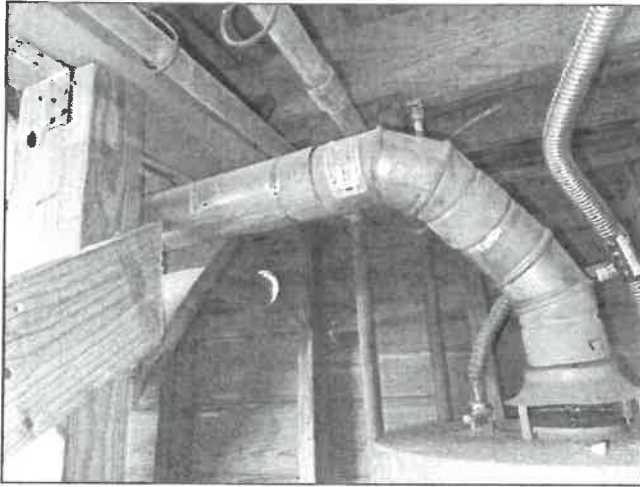
**Location of Water Heater:** Equipment Room

**WH Manufacturer:** GE, RHEEM

Comments:



(1) Water heater exhaust flue is not properly installed. This may result in carbon monoxide infiltration into the structure and is a serious health hazard. A qualified plumber should be consulted for correction.



C. Item 1(Picture)



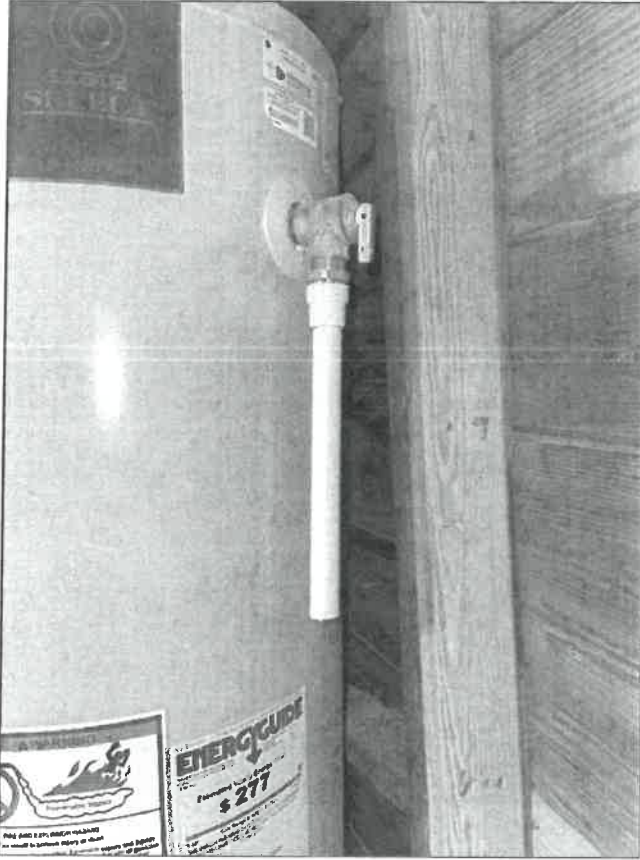
(2) The TPR valve is plumbed incorrectly.

The Temperature and Pressure Relief Valve discharge line should discharge within 6 inches of the surface or into the pan or to the structure exterior.

This is a safety issue. A licensed plumber should be consulted for correction.

(111)

per plumber  
that installed is  
correct. Inspect  
by city 08/2022  
to remove  
perm



Moved lower by  
Plumber. No pan  
needed. (112)  
if outside

C. Item 2(Picture)

🔍 (3) Water heater dataplate(s). Unit(s) manufactured in 2008.

Unit(s) are 13 year(s) old.

Most tank-type water heaters last 10 to 20 years, with the average age of replacement between 12 and 14 years.

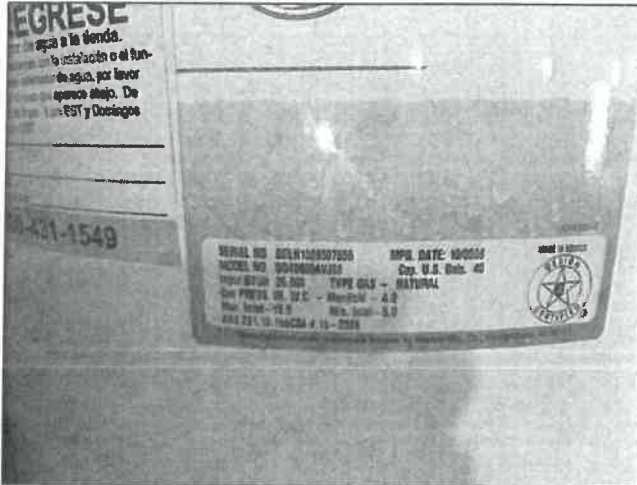
There are four variables that affect the lifespan:

- 1) Quality of manufacture - The premium-priced water heaters with the longer warranties and features like a porcelain-lined tank, larger heating elements, and better insulation will hold up longer.
- 2) Rate of usage - A 40-gallon water heater serving a family of six is not going to last as long as one serving a single occupant.
- 3) Installation - A homeowner or handyman installation can shorten the life of a water heater, especially a gas-fired one.
- 4) Maintenance - The simplest and easiest maintenance item is draining the water heater to flush out sediment accumulation at the bottom every two years, or sooner if you have a lot of sediment in the water.



I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I   NI   NP   D



C. Item 3(Picture)

🔍 (4) Water heater dataplate(s). Unit(s) manufactured in 2015.

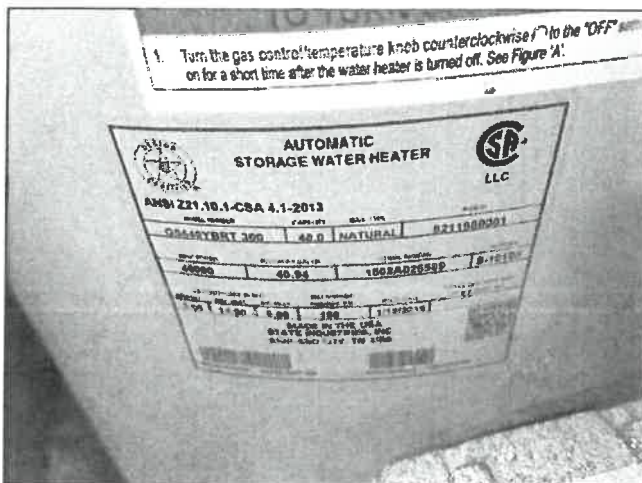
113

Unit(s) are 6 year(s) old.

Most tank-type water heaters last 10 to 20 years, with the average age of replacement between 12 and 14 years.

There are four variables that affect the lifespan:

- 1) Quality of manufacture - The premium-priced water heaters with the longer warranties and features like a porcelain-lined tank, larger heating elements, and better insulation will hold up longer.
- 2) Rate of usage - A 40-gallon water heater serving a family of six is not going to last as long as one serving a single occupant.
- 3) Installation - A homeowner or handyman installation can shorten the life of a water heater, especially a gas-fired one.
- 4) Maintenance - The simplest and easiest maintenance item is draining the water heater to flush out sediment accumulation at the bottom every two years, or sooner if you have a lot of sediment in the water.



C. Item 4(Picture)

I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

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I   NI   NP   D

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**D. Hydro-Massage Therapy Equipment**

**Hydrotherapy Equipment Accessible?:** Not applicable- No Hydrotherapy equipment present  
Comments:

**E. Other**

**Exterior Gas Stub Out?:** Not Located or Absent

**Natural Gas Service to Laundry Area?:** N/A

Comments:

114

I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I   NI   NP   D

V. Appliances

A. Dishwasher

Dishwasher Manufacturer: SAMSUNG

Dishwasher Means of Disconnect: Accessible plug receptacle

Comments:

IN

FO The dishwasher was operated through a full cycle and no deficiencies were noted.

B. Food Waste Disposers

Disposer Manufacturer: BADGER/INSINKERATOR

Comments:

IN

FO The disposal was inspected and operated. No deficiencies noted.

C. Range Hood and Exhaust System

Cooktop Exhaust Manufacturer: Microwave Combination Unit

Comments:

The cooktop/range exhaust hood was visually inspected and operated normally.

115

D. Ranges, Cooktops and Ovens

Cooktop Manufacturer: SAMSUNG

Oven Manufacturer: SAMSUNG

Freestanding Range Anti-Tip Device Installed: No. See deficiencies.

Comments:

IN

FO (1) The cooktop was visually inspected and operated using normal controls. No deficiencies noted.



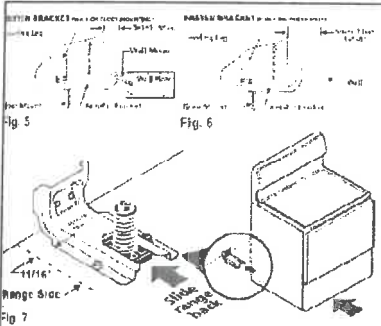
D. Item 1(Picture)

IN

FO (2) The oven was visually inspected and operated using normal controls. No deficiencies noted.

+

(3) There is no anti-tip device installed on the range oven combination. A qualified contractor should be consulted for correction.



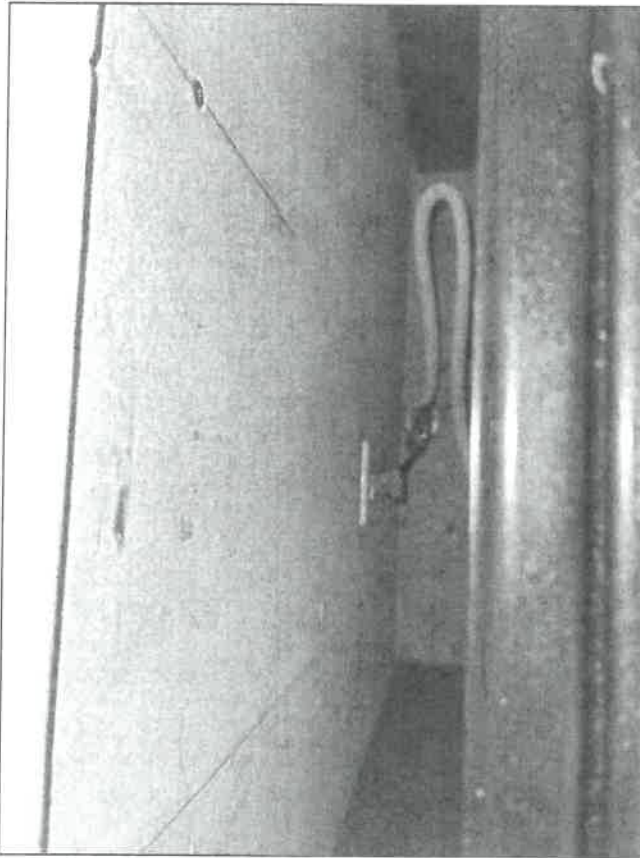
- Proper range installation requires the attachment of a range anti-tip device.
- The device typically attaches to the bottom of the wall behind the range or floor using two (2) screws (Fig. 5/ Fig. 6).
- Device engagement is made when the range rear leg slides into the slot in the device (Fig 7).
- Installation of the range anti-tip device will vary based on range model and device design.

**Range Anti-Tip Device**

Cooking ranges can tilt forward when too much pressure is applied to an open oven door. This can result in injury from a tipped range or from hot food/liquids falling from the range top.

For added protection against range tipping incidents, a manufacturer supplied range anti-tip device shall be installed on the floor or wall. The range anti-tip device secures the range to the floor and/or wall and prevents the range from tipping forward.

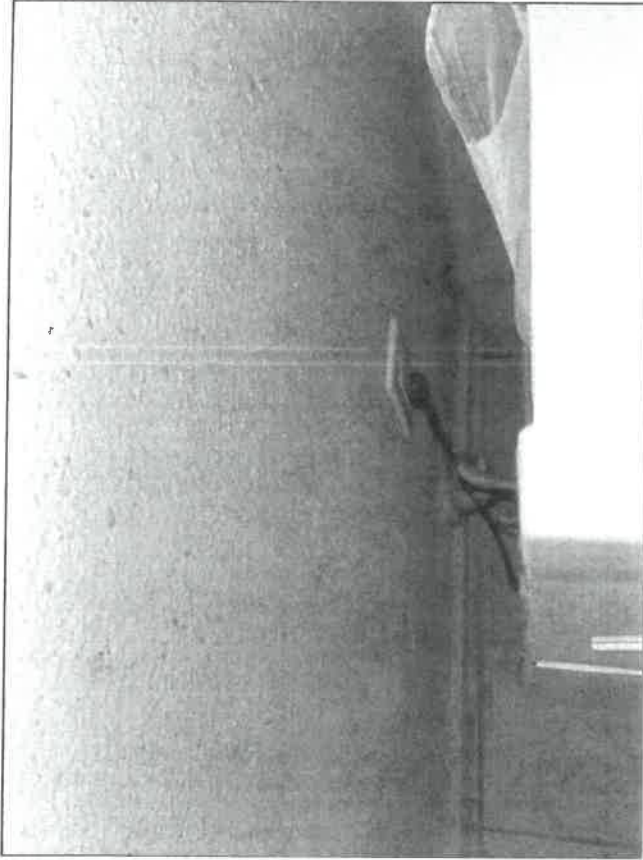
D. Item 2(Picture)



D. Item 3(Picture)

I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I   NI   NP   D



117

D. Item 4(Picture)

**E. Microwave Ovens**

**Built in Microwave:** SAMSUNG

Comments:

~~IN~~  
~~FO~~ The microwave oven was operated using normal controls and heated approximately one cup of water to approximately 150°F in one minute.

**F. Mechanical Exhaust Vents and bathroom Heaters**

Comments:

**G. Garage Door Operator(s)**

**Garage Door Type:** Two manual

**Garage Door Operator Manufacturer:** No Operator Installed

Comments:

**H. Dryer Exhaust System**

**Clothes Dryer Vent:** Yes

Comments:

**I. Other**

Comments:

Spot On Inspection, PLLC

**Patrick Miceli**

**11152 Westheimer Road, #718  
Houston, Texas 77042  
281-845-9505**



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