



# TRI-TECH SURVEYING CO, INC.

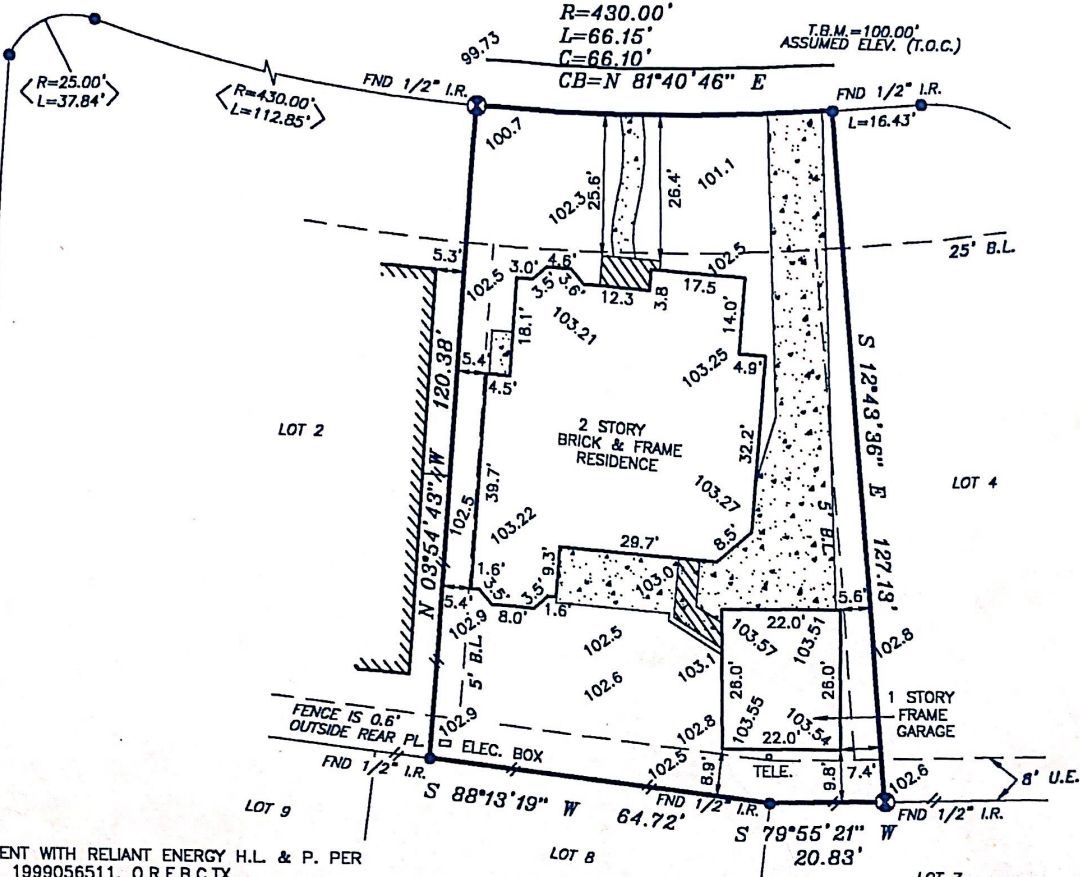
5210 SPRUCE

BELLAIRE, TEXAS. 77401

PHONE: (713) 667-0800

CLAWSON FALLS (60' R.O.W.)

5910 WILLOWFIELD COURT (60' R.O.W.)



AGREEMENT WITH RELIANT ENERGY H.L. & P. PER C.F. NO. 1999056511, O.R.F.B.C.TX.

SUBJECT TO THE TERMS, CONDITIONS, AND STIPULATIONS OF SCENIC EASEMENT AGREEMENT RECORDED UNDER F.B.C.C.F. No. 9163921.

SUBJECT TO ALL EASEMENTS AND RIGHTS-OF-WAY FOR PUBLIC UTILITIES, STREETS, DRIVEWAYS, SEWERS, ACCESS AND DRAINAGE OVER AND ACROSS THE COMMON AREAS, PER C.F. No. 9828170 O.R.F.B.C.TX.

ALL LOTS SHALL HAVE A MINIMUM 5' SIDE YARDS PER RECORDED PLAT NOTE #17.

DRAINAGE EASEMENT 20' WIDE ON EACH SIDE OF THE CENTERLINE OF ALL NATURAL DRAINAGE COURSES PER THE RECORDED PLAT.

ALL BUILDING LINES, EASEMENTS, BUILDING RESTRICTIONS (DEED RESTRICTIONS, ETC.) AND ZONING ORDINANCES, IF ANY, THAT MAY AFFECT SUBJECT PROPERTY SHOULD BE VERIFIED BY BUILDER

FLOOD INFORMATION PROVIDED HEREON IS BASED ON SCALING THE LOCATION OF THE SUBJECT TRACT ON THE FLOOD INSURANCE RATE MAPS. THE INFORMATION SHOULD BE USED TO DETERMINE FLOOD INSURANCE RATES ONLY AND IS NOT INTENDED TO IDENTIFY SPECIFIC FLOODING CONDITIONS. WE ARE NOT RESPONSIBLE FOR ITS ACCURACY.

SUBJECT PROPERTY LIES WHOLLY WITHIN FORT BEND COUNTY MUNICIPAL UTILITY DISTRICT No. 1, FORT BEND COUNTY LEVEE IMPROVEMENT DISTRICT No. 10, FORT BEND COUNTY SUBSIDENCE DISTRICT, FORT BEND COUNTY DRAINAGE DISTRICT AND THE ETJ OF THE CITY OF SUGARLAND, PER RECORDED PLAT NOTE No. 8.

BUILDER MUST VERIFY MINIMUM REQUIREMENTS OF PROPOSED FINISHED FLOOR ELEVATIONS FOR F.I.R.M. ZONE "AE"/"X500" INCLUDING APPLICABLE BENCHMARK, DATUM AND ADJUSTMENT WITH THE CITY OF SUGARLAND PRIOR TO STARTING CONSTRUCTION. (TOP OF FLOOR SLABS SHALL BE A MINIMUM OF 72.5' ABOVE M.S.L. IN ADDITION TO THIS MINIMUM, NO FLOOR SLABS SHALL BE LESS THAN 1.5' ABOVE NATURAL GROUND, PER RECORDED PLAT NOTE #14)

NOTE: PROPERTY SUBJECT TO RECORDED RESTRICTIONS, REGULATIONS, & ORDINANCES IF ANY. BEARINGS SHOWN REFERENCED TO: S 88°13'19" W ALONG THE REAR PROPERTY LINE.

THIS SURVEY IS VALID FOR THIS TRANSACTION ONLY © 2002, TRI-TECH SURVEYING COMPANY

LEGEND	
CONCRETE	IRON FENCE
COVERED	WOOD FENCE
ASPHALT	CHAIN LINK FENCE
CONTROLLING MONUMENT 7-31-02	

ABSTRACT INFORMATION PROVIDED HEREON IS BELIEVED TO BE SUFFICIENT AND CORRECT BY THE UNDERSIGNED SURVEYOR. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. THE ENCUMBRANCES OF RECORD, AS REFLECTED ON THIS SURVEY ARE BASED ON THE RECORDED MAP OR PLAT AND TITLE INFORMATION PROVIDED BY CHICAGO TITLE CO./EXECUTIVE TITLE CO., LTD. G.F. No. 002281773, DATED 10-3-02.

I, the undersigned registered professional land surveyor, do hereby state that the plat shown hereon represents a boundary survey made on the ground under my direction and supervision on the tract or parcel of land, according to the map or plat thereof, indicated below.

drawn by: S. NGUYEN

### BOUNDARY SURVEY OF

LOT 3, BLOCK 3 OF RIVERPARK SECTION 4  
 RECORDED IN SLIDE No. 1738A, PLAT RECORDS, FORT BEND COUNTY, TEXAS.  
 BORROWER: KEN STEVENSON AND DEENA STEVENSON  
 TITLE COMPANY: CHICAGO TITLE CO./EXECUTIVE TITLE CO., LTD. G.F.No. 002281773  
 SURVEYED FOR: PERRY HOMES  
 F.I.R.M. MAP No. 48157C PANEL No. 0210J ZONE "AE"/"X500" REVISED 1-3-97  
 DATE: 10-7-02 SCALE: 1"=30' JOB NO. Y3131-02



*Ivan Perry*  
 SURVEYOR REGISTRATION