



PinPoint Surveying & Mapping, LLC

P.O. Box 3344
Lake Jackson, TX 77566

Invoice

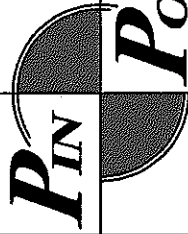
Date	Invoice #
5/18/2017	17-0492

Bill To
Alamo Title Co, LJ 107 West Way, Ste 32 Lake Jackson, TX 77566

P.O. No.	Terms	Project
	Net 30	

Quantity	Description	Rate	Amount
1	Single Lot Residential Survey 1706/1708 West 5th Street, Freeport, Texas Lot 13, Block 175 Avalon Courts Addition Buyers: Stonecrest Preoperties, LLC Sales Tax	425.00 8.25%	425.00T 35.06

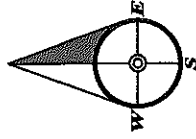
Phone #	Fax #	E-mail	Total
979-299-3373	979-299-3307	pinpointsurvey@sbcglobal.net	\$460.06



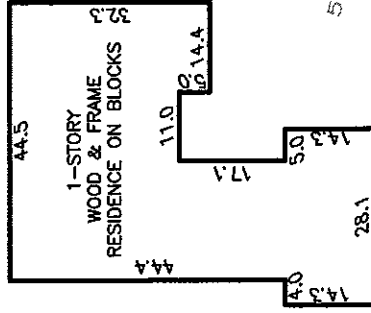
FIRM REGISTRATION NO. 10156700

Surveying & Mapping, LLC

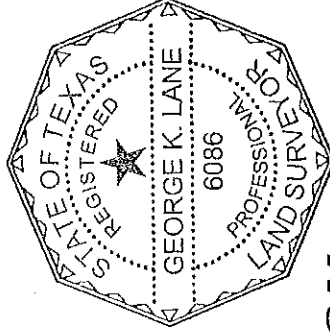
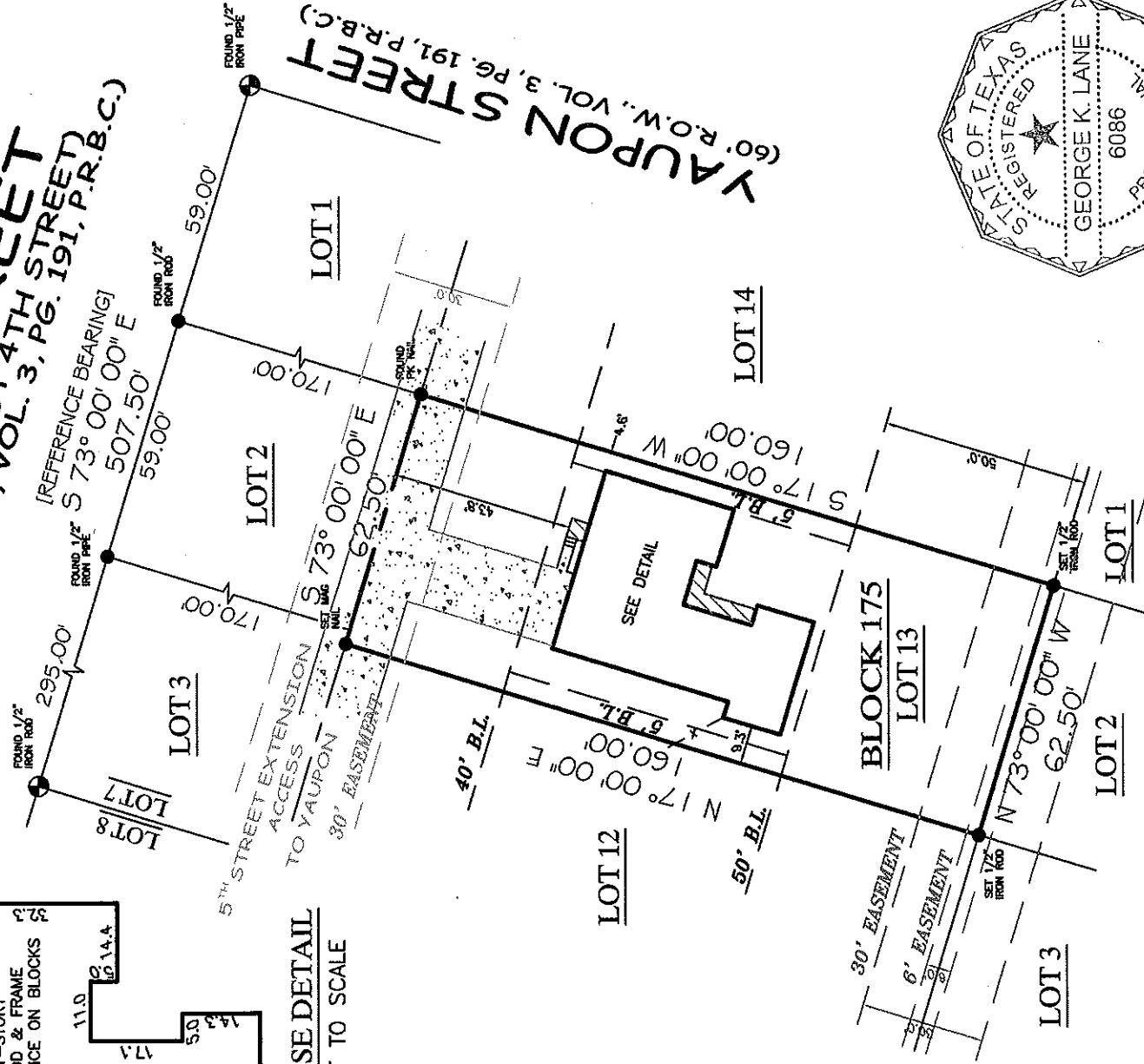
P.O. BOX 3344, LAKE JACKSON, TEXAS. 77566 (979) 299-3373



4TH STREET
(60' A.K.A. WEST 4TH STREET
R.O.W., VOL. 3, PG. 191, P.R.B.C.)



HOUSE DETAIL
NOT TO SCALE



LOT 13, BLOCK 175 AVALON COURTS ADDITION

COMMUNITY NO. 485467 PANEL NO. 0780 SUFFIX: 1, ZONE: X, BASE: N/A. MAP REVISED: 11/17/93

I have consulted the HUD-PA Flood Hazard Boundary Map in the above described property and it IS NOT in a designated flood hazard area. The plat hereon is a true, correct and accurate representation of the property as determined by survey. The lines and dimensions of said property being as indicated by the plat; the size, location and type of buildings and improvements are as shown, all improvements being within the boundaries of the property, set back and distances from property lines are as indicated. There are no encroachments, conflicts, or protrusions, except as shown.

NOTES:

- 1) BUILDING LINES AND EASEMENTS PER PLAT AND VOL. 364, PG. 347 P.R.B.C.
- 2) DETACHED GARAGE BUILDING LINES TO BE 80' FROM FRONT PROPERTY LINE AND 5 FEET FROM SIDE PROPERTY LINE.
- 3) BEARINGS BASED ON THE SOUTH LINE OF LOTS 1 THRU 8, BEING S 73° 00' 00" E.
- 4) ALL EASEMENTS SHOWN ON PLAT RESERVED FOR PUBLIC AND/OR UTILITIES & MAINTENANCE.

ABSTRACT AND TITLE INFORMATION WAS PROVIDED BY: ALAMO TITLE COMPANY
THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. BEARINGS ARE BASED ON THE RECORDED MAP OR PLAT. G.F. NO. ATCH-17069078 DATED: 04/24/2017

ALL BUILDING LINES, EASEMENTS, BUILDING RESTRICTIONS (DEED RESTRICTIONS, ETC.) AND ZONING ORDINANCES, IF ANY, THAT MAY AFFECT SUBJECT PROPERTY SHOULD BE VERIFIED BY BUILDER BEFORE COMMENCING CONSTRUCTION.

PREPARED EXCLUSIVELY FOR: ALAMO TITLE COMPANY

This is to certify that I have made an on the ground survey of the property located at: 1706/1708 5TH STREET (A.K.A. W. 5TH STREET), TEXAS, Lot Thirteen (13), Block One Hundred Seventy-Five (175) of AVALON COURTS ADDITION, CITY OF FREEPORT, Brazoria County, Texas according to the map or plat thereof recorded in Volume 3, Page 191 of the Plat Records of Brazoria County, Texas.

Borrower(s):

STONECREST PROPERTIES, LLC

Drawn by: CRB

Job No.: 2017-0492

Request: ALAMO TITLE

Book No: PFO117

Scale: 1" = 40'

Date: 05/16/2017

	WOOD
	COVERED
	CONCRETE

LEGEND

	CHAIN-LINK		CORNER
	WOOD FENCE		UTILITY EASEMENT
	IRON FENCE		ASBESTAL EASEMENT
	U.E.		BUILDING LINE
	A.E.		RIGHT-OF-WAY
	U.E.		IRON ROD
	A.E.		FOUND

George K. Lane, R.P.L.S.
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 6086