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AREAS	
Heated Area	
1st Floor Livable	1125 SF
2nd Floor Livable	1125 SF
	2250 SF
Unheated Area	
Balcony	119 SF
Front Porch	235 SF
	354 SF
Total	2604 SF

SHEET INDEX	
SHEET NO.	SHEET NAME
0-Cover	
A0-CV	Cover
A-SITE	Site Plan
1-Architectural	
A1.0	Slab Plan
A1.1	1st & 2nd Floor Plan
A1.3	Interior Elevations
A1.5	Slab & Roof Plan
A1.6	Project Details
A1.7	Project Details
A2.0	Elevations
A2.1	Elevations
A2.2	Section A-A
2-Electrical	
E-1.0	1st & 2nd Floor Electrical Plan

DESIGNED AND TO BE BUILT USING 2012 IRC STANDARDS

INSULATION VALUES:

MAXIMUM FENESTRATION U FACTOR: 0.40

MAXIMIZED GLAZED PENETRATION SHGC:: 0.25

MINIMUM CEILING R VALUE: 38

MINIMUM WALL R VALUE: 13

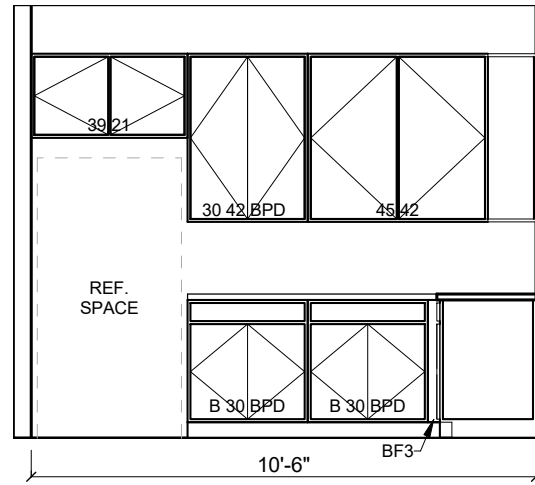
MINIMUM FLOOR VALUE: 13

PROJECT SCOPE:

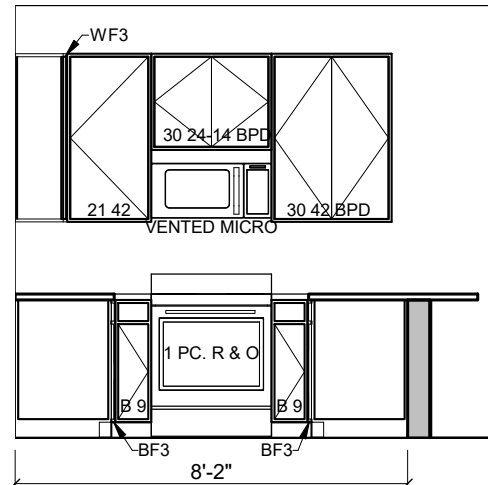
NEW DUPLEX



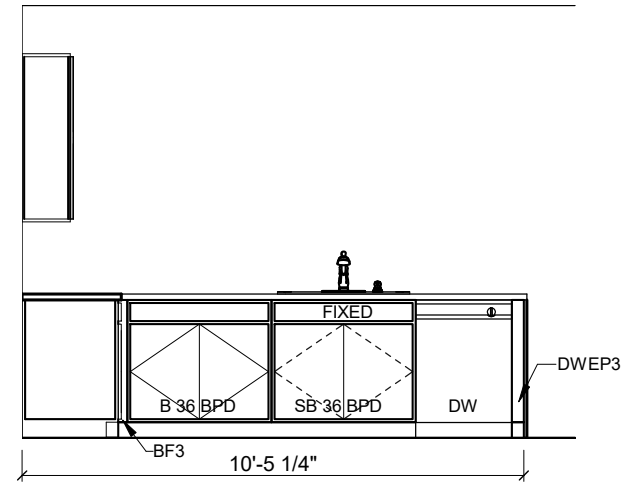
SAME FOR BOTH UNITS



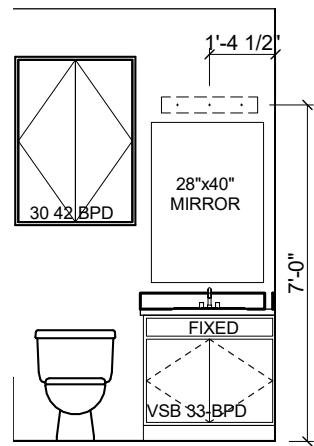
1 KITCHEN - REF WALL
1/4" = 1'-0"



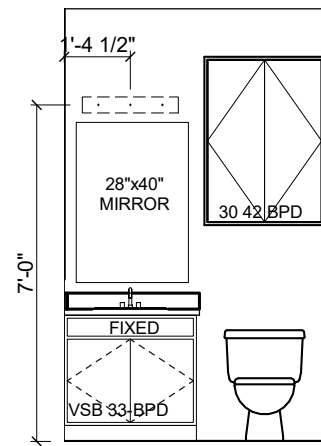
2 KITCHEN - RANGE WALL
1/4" = 1'-0"



3 KITCHEN - SINK/DW
1/4" = 1'-0"



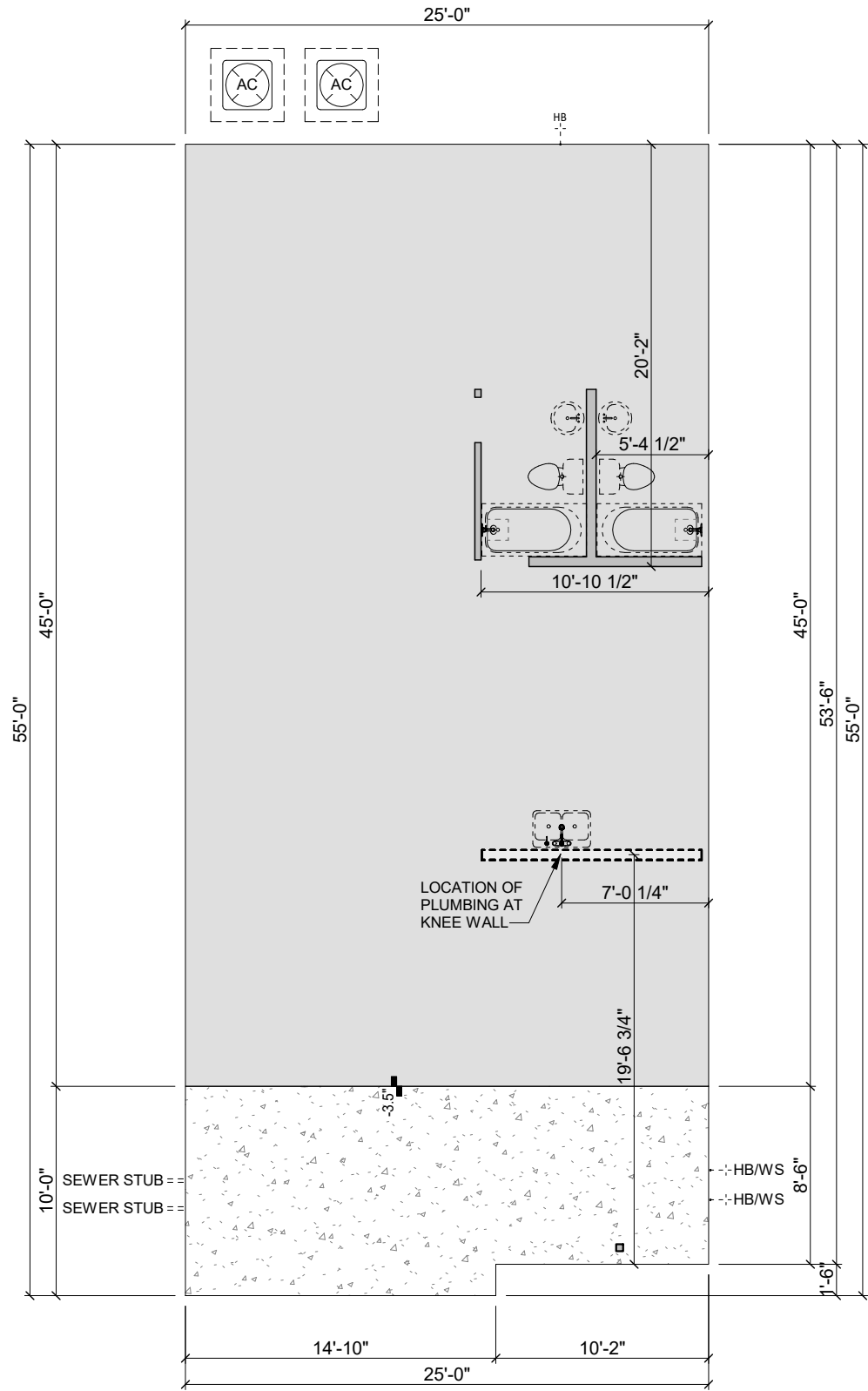
4 MASTER BATH
1/4" = 1'-0"



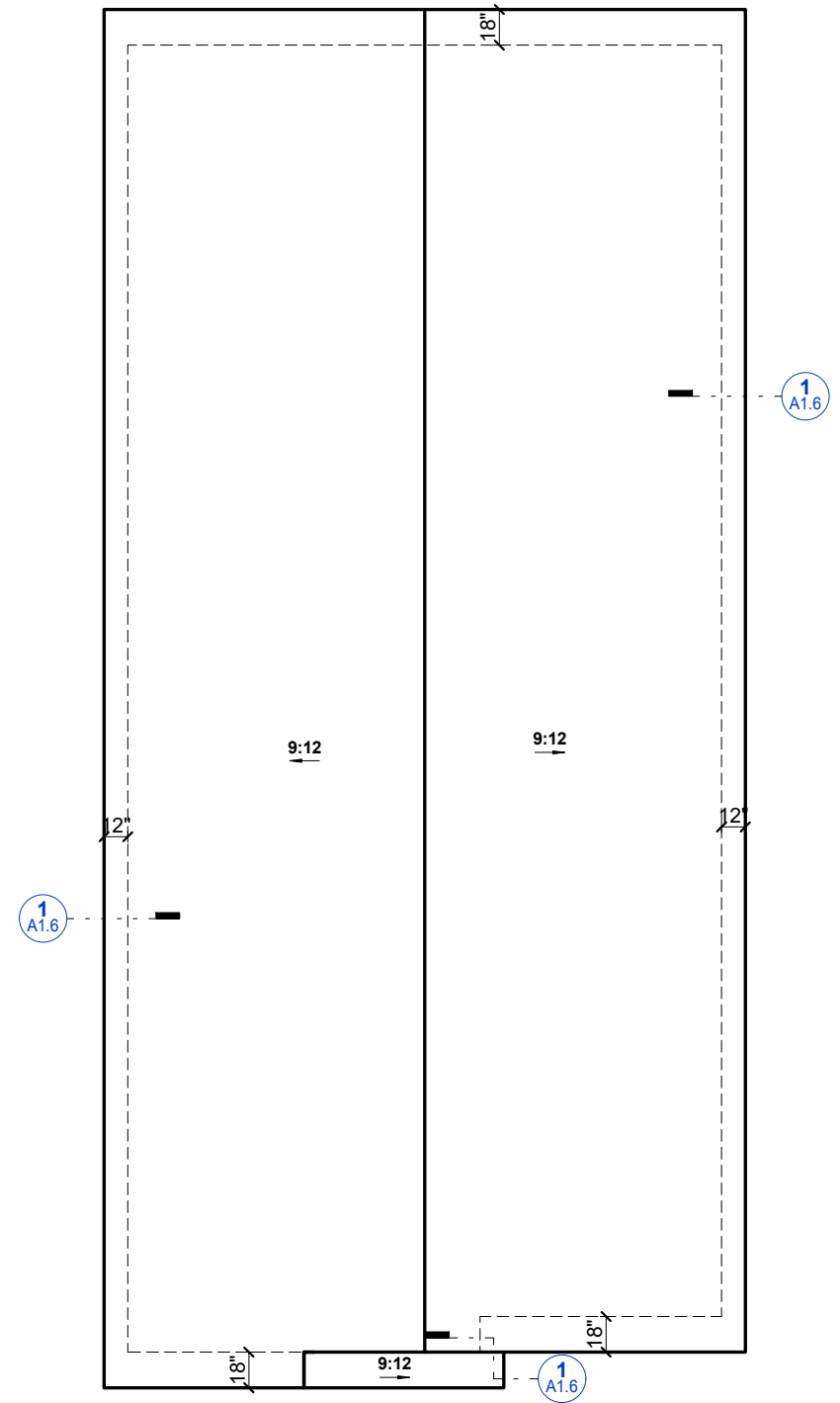
5 BATH 2
1/4" = 1'-0"

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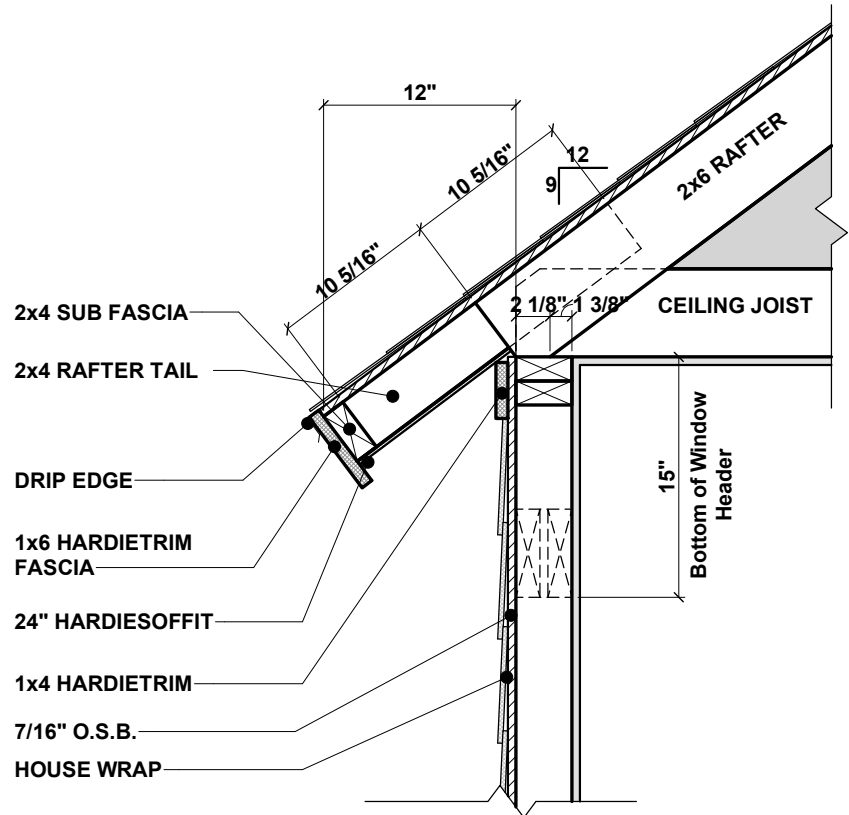
1 SLAB PLAN
1/8" = 1'-0"



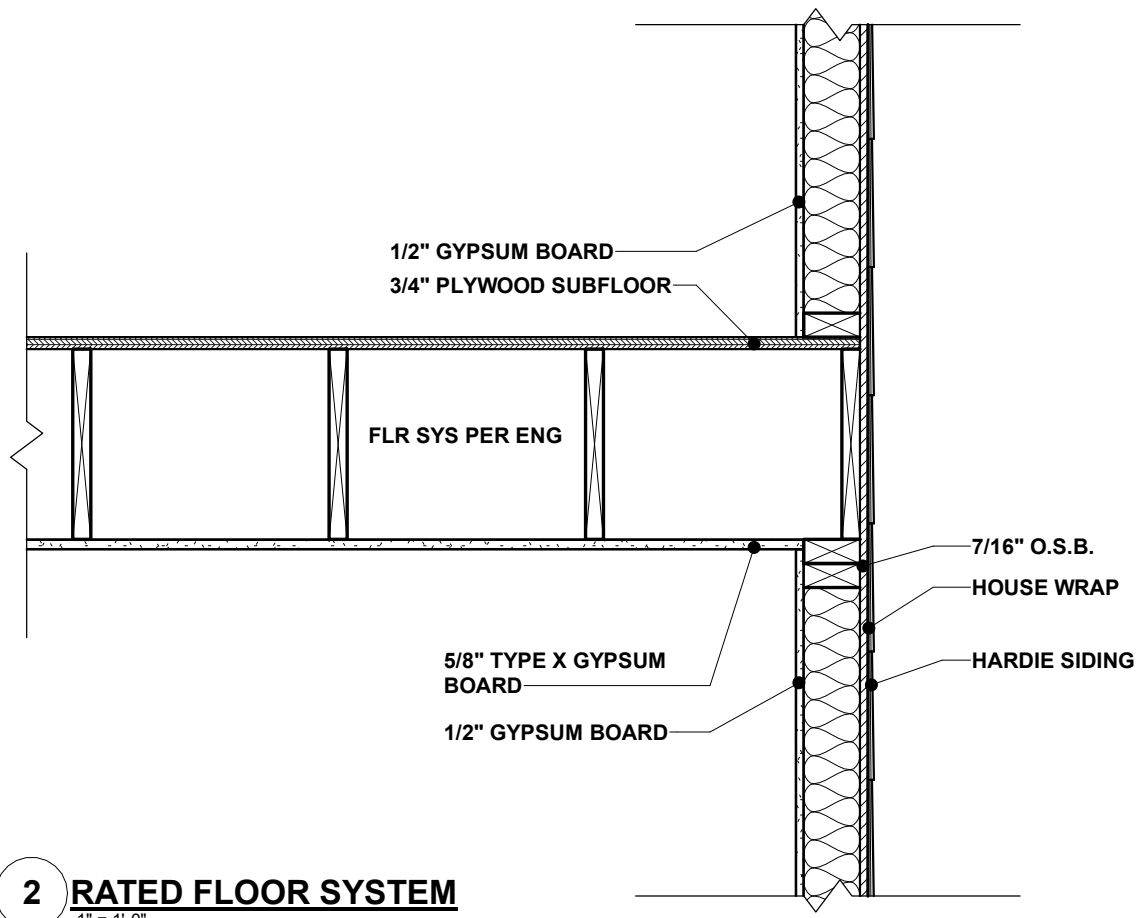
2 ROOF PLAN
1/8" = 1'-0"



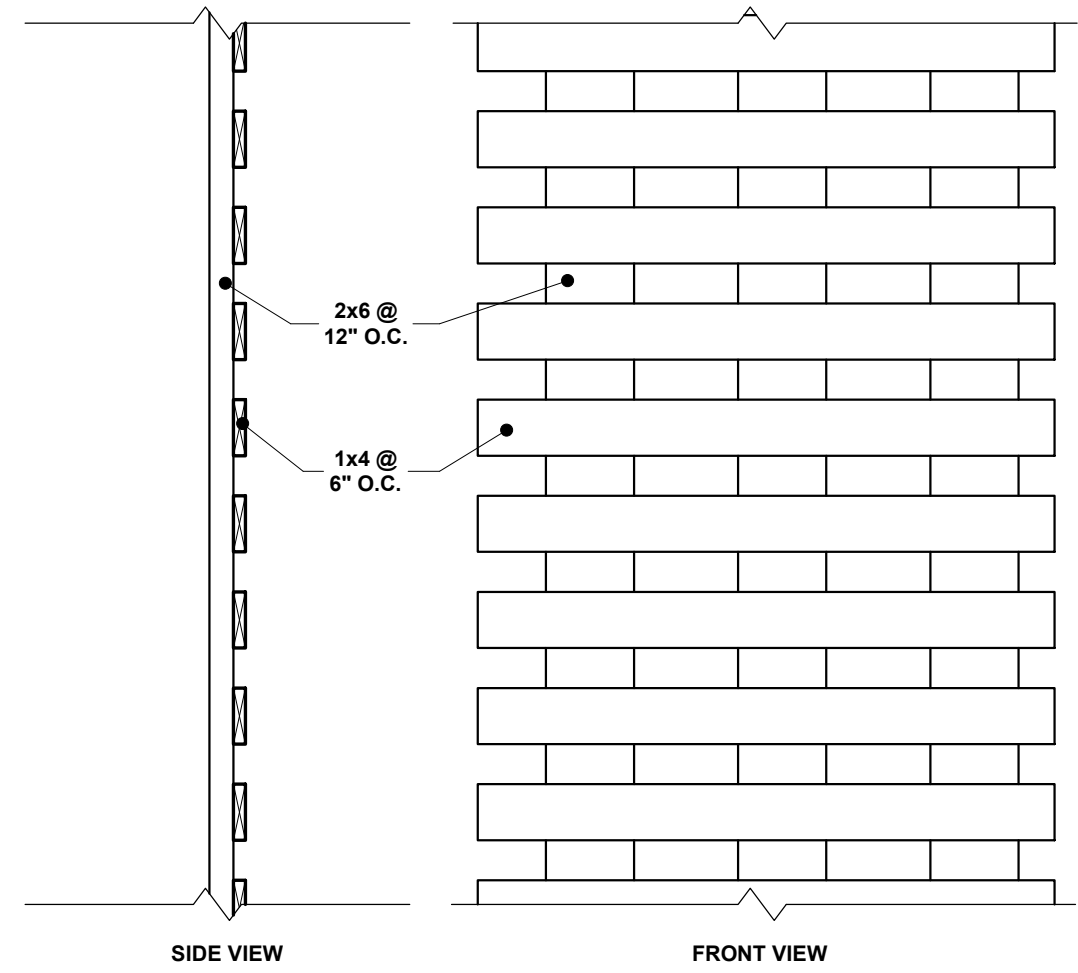
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1 9-12 CORNICE - RAKED
1" = 1'-0"



2 RATED FLOOR SYSTEM
1" = 1'-0"



3 LATTICE DETAIL
1" = 1'-0"



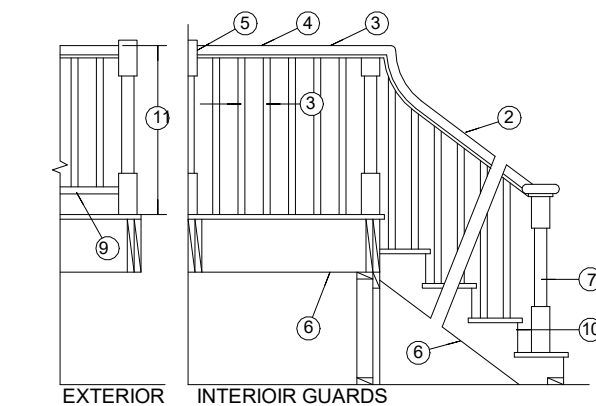
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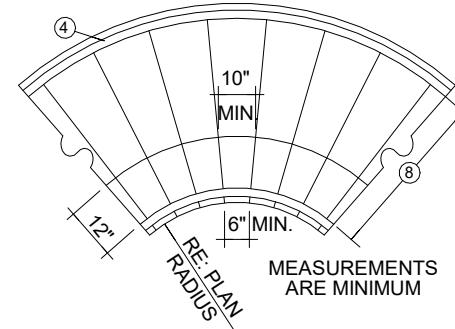
STAIRS & HANDRAIL

DESIGN LOAD TABLE R301.5 AND FOOTNOTE D, 2012 IRC. HANDRAIL & GUARDRAILS SHALL BE DESIGNED FOR A MINIMUM 200 LB LIVE LOAD AND A SINGLE CONCENTRATED LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP.

STAIR GUARDRAIL MINIMUMS



CURVED STAIR MINIMUMS



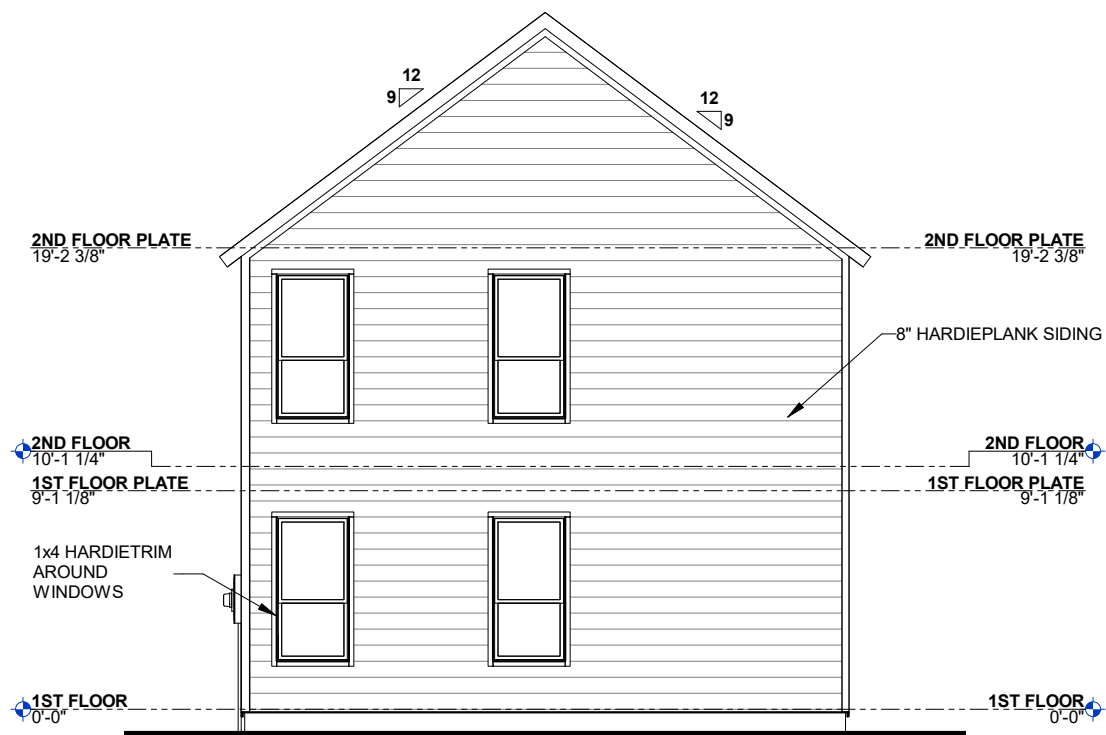
LANDING FOR STAIRS

IRC R311.5.4
 A FLOOR OR LANDING IS NOT REQUIRED AT THE TOP OF AN INTERIOR FLIGHT OF STAIRS, INCLUDING STAIRS IN AN ENCLOSED GARAGE, PROVIDED THAT A DOOR DOES NOT SWING OVER THE STAIRS.

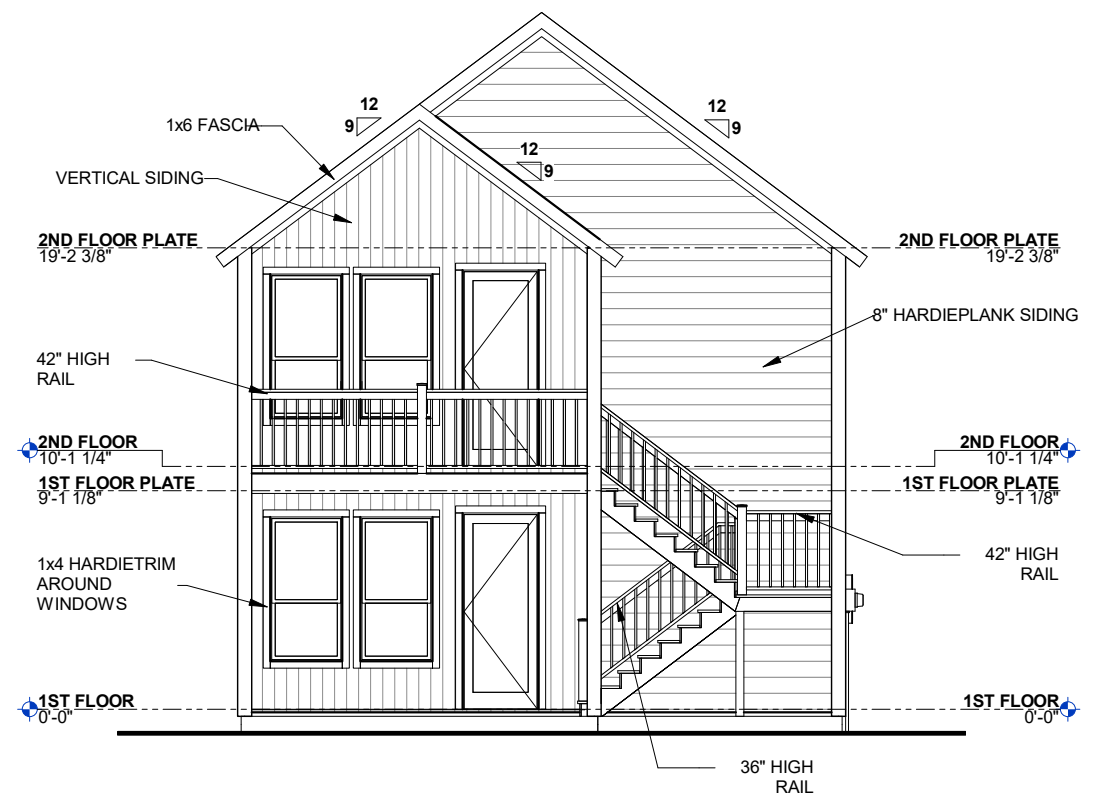
2012 I.R.C. HANDRAIL & GUARDRAIL REQUIREMENTS

1. STAIRWAYS (RAILS & STAIR RISE/RUN) SHALL COMPLY IRC 2012, SECTIONS R311, R312, R314, R315, R316 & TBL R301.5.
2. HANDRAILS TO BE 34"-38" ABOVE NOSE OF TREAD (IRC 2012, SECT. R311.7.8.1).
3. GUARDRAILS AT 36"-42" ABOVE FINISHED FLOOR (IRC 2012, SECT. R312.1), MAXIMUM SPACE BETWEEN BALLUSTERS THAT DO NOT ALLOW PASSAGE OF A 4" SPHERE. (IRC 2012, SECT. R312.2).
4. HAND GRIPPING PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1 1/4", NOR MORE THAN 2 5/8" IN CROSS SECTION OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRASPING SURFACE (IRC 2012, SECT. R311.7.8.3).
5. (ONE) HANDRAIL SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS AND SHALL EXTEND NOT LESS THAN 6" BEYOND THE TOP AND BOTTOM RISERS AND SHALL TERMINATE INTO A NEWEL POST OR SAFETY TERMINAL (IRC SECT. 311.7.8.2). HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2" BETWEEN WALL AND RAIL. HANDRAILS SHALL NOT PROJECT MORE THAN 4 1/2" ON EITHER SIDE OF THE STAIRWAY (IRC 2012, SECT. R311.7.1).
6. IF THE UNDERSIDE OF A STAIRWELL IS CLOSED OFF, PROVIDE 5/8" TYPE "X" FIRE RATED GYP. BOARD TO THE UNDERSIDE OF THE STAIR.
7. NEWEL POST (THAT RAILING TERMINATES INTO) SHALL BE LOCATED NO HIGHER THAN THE FIRST TREAD.
8. MINIMUM CLEAR WIDTH BETWEEN (AND BELOW) HANDRAILS SHALL BE 27" (DOUBLE), AND 3.1 1/2" (SINGLE RAIL). SEE IRC 2012, SECT. R311.7.1.
9. EXTERIOR GUARDS TO HAVE RAILING NO LOWER THAN 42" FROM FINISHED FLOOR, WITH NO LESS THAN 36" DISTANCE FROM TOP OF GUARD TO BOTTOM OF LOWEST RUNNER.
10. MAXIMUM RISER HEIGHT IS 7 3/4" (SECT. R311.7.5.1), MINIMUM TREAD WIDTH IS 10" (IRC 2012, SECT. R312.7.5.2)
11. MINIMUM HEADROOM IN ALL PARTS OF THE STAIR SHALL NOT BE LESS THAN 6'-8" (FINISHED HEIGHT), MEASURED VERTICALLY FROM SLOPED PLANE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM (IRC 2012, SECT. R311.7.2).

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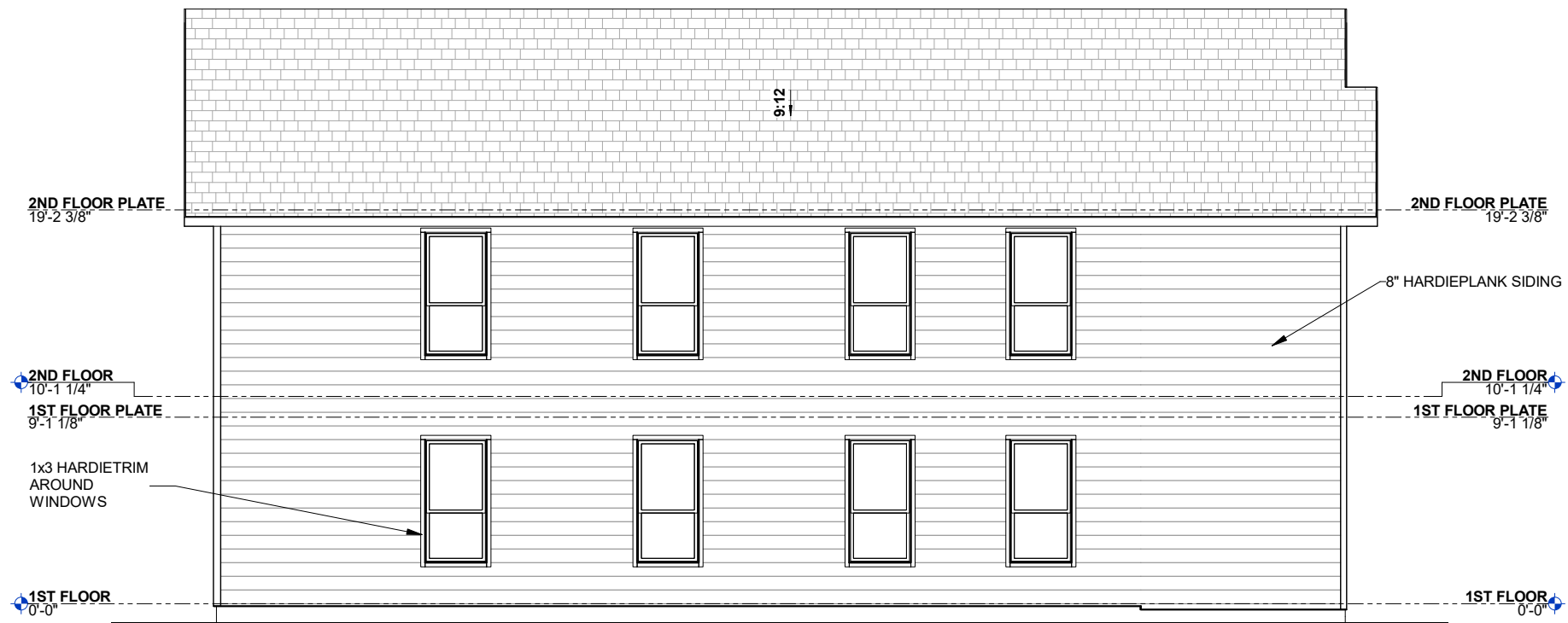
2 REAR ELEVATION
1/8" = 1'-0"



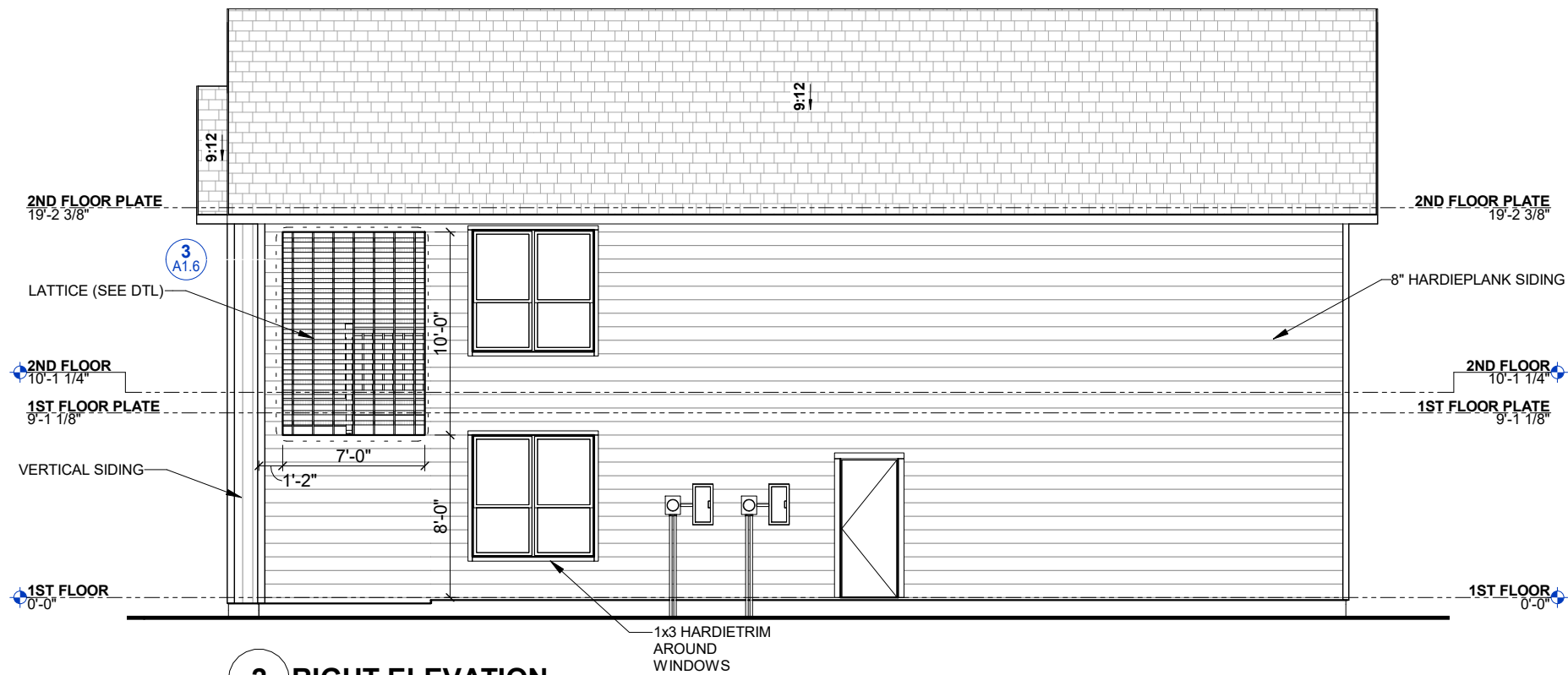
1 FRONT ELEVATION
1/8" = 1'-0"



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1 LEFT ELEVATION
1/8" = 1'-0"



2 RIGHT ELEVATION
1/8" = 1'-0"

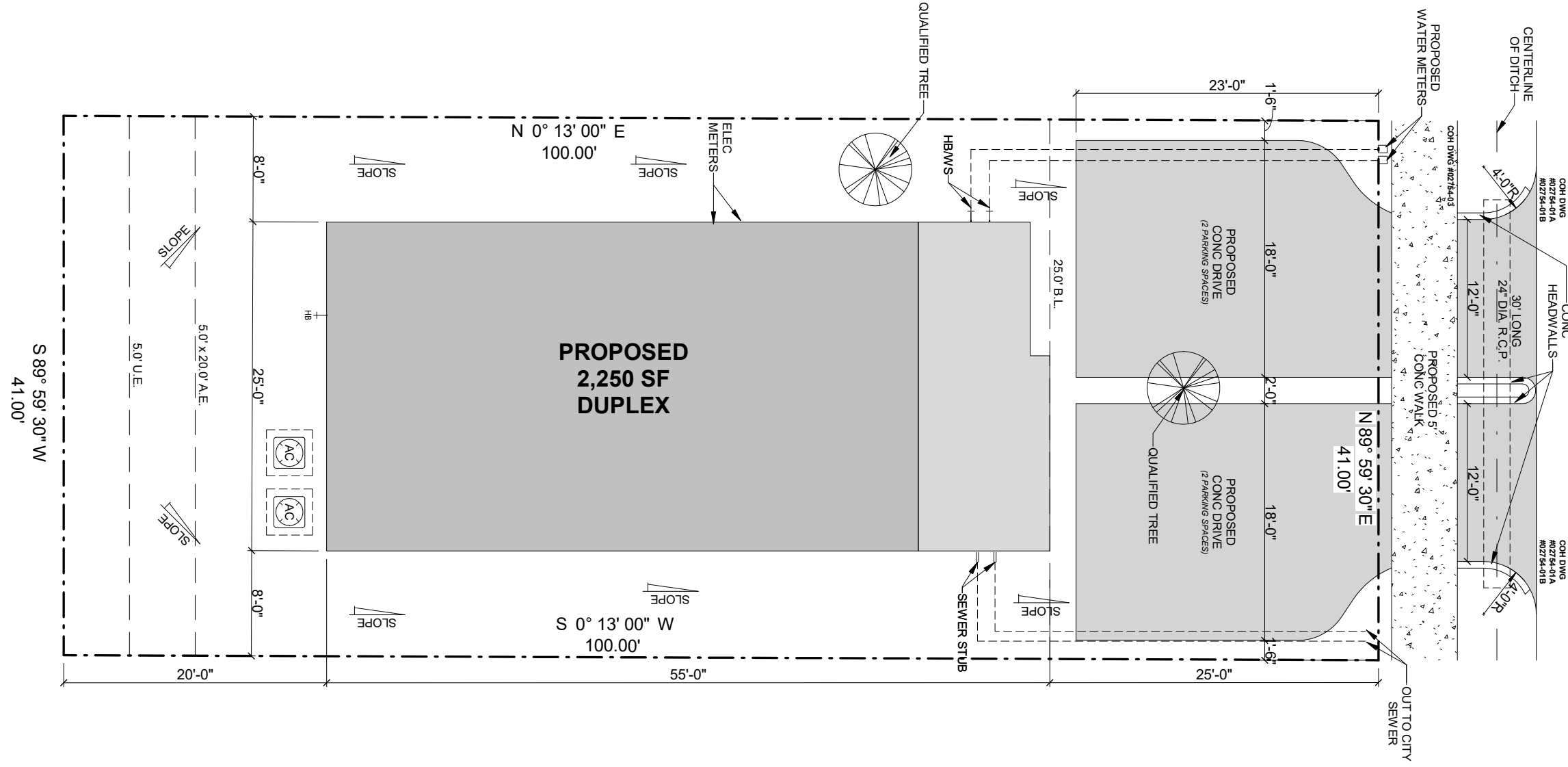
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1 SECTION A-A
3/16" = 1'-0"



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1" = 10'-0"
SITE PLAN 1

STERLING STREET (60' R.O.W.)

4406 STERLING STREET, HOUSTON, TX 77051 **EAST 1/2 OF LOT 139, BLOCK 11 RUBURFIELD SUBDIVISION**

A-SITE

HOUSTON VINTAGE HOMES
 Job #20151
 4406 STERLING ST, HOUSTON, TX 77051

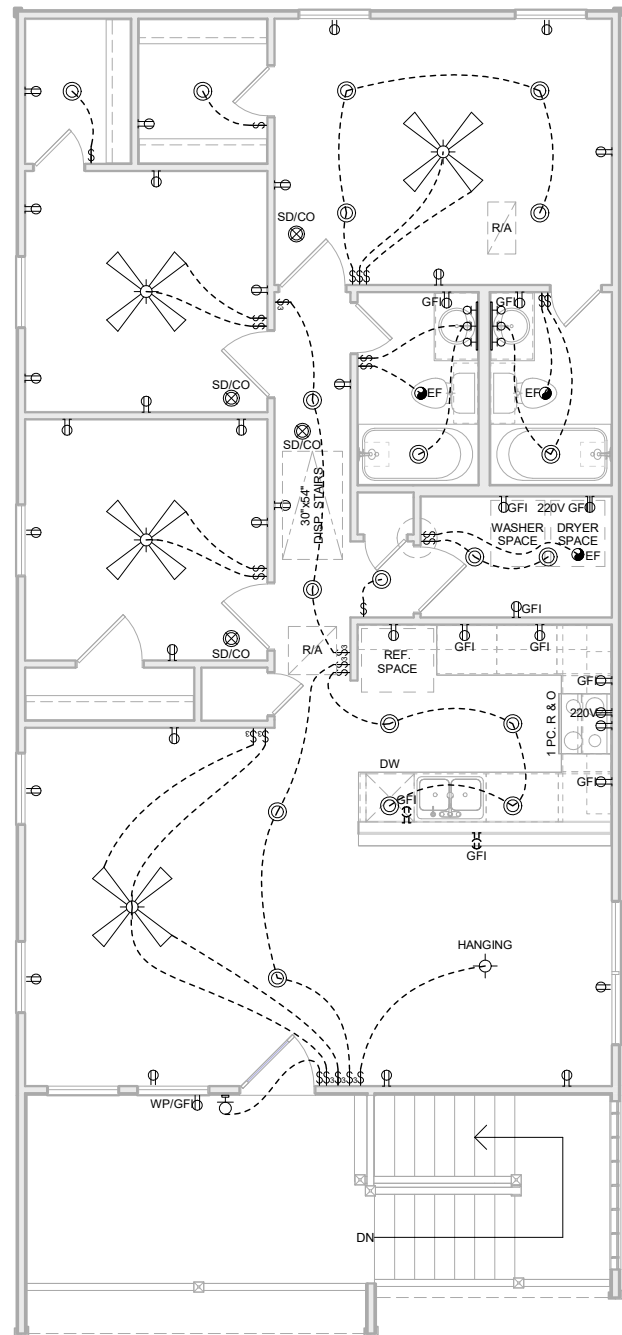


FINAL PLANS

DUPLEX

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ELECTRICAL LEGEND		
⌚	SINGLE POLE SWITCH	STRUCTURED WIRE PANEL
⌚	3-WAY SWITCH	CHIMES
⌚	4-WAY SWITCH	DOOR BELL CHIME
⌚	DIMMER SWITCH	GARAGE DOOR OPENER
⌚	MOTION SENSOR SWITCH	GARBAGE DISPOSAL
⌚	220 VOLT OUTLET	WEATHERPROOF OUTLET
⌚	DUPLEX OUTLET	SOFFIT/EAVE OUTLET
⌚	GROUND FAULT OUTLET	CEILING OUTLET
⌚	UNDER-COUNTER DUPLEX OUTLET	FLOOR OUTLET
⌚	CARBON MONOXIDE & SMOKE DETECTOR	NETWORK OUTLET
⌚	WALL MOUNTED SD/CO	TELEPHONE OUTLET
⌚	WALL MOUNT LIGHT	TELEVISION OUTLET
⌚	FLOOD LIGHT	BATH FAN
⌚	VANITY STRIP LIGHT - 2 BULB	BATH HEATER
⌚	VANITY STRIP LIGHT - 3 BULB	BATH FAN & LIGHT COMBO
⌚	VANITY STRIP LIGHT - 4 BULB	BATH FAN & HEATER COMBO
⌚	SURFACE MOUNT LIGHT	BATH FAN HEATER & LIGHT COMBO
⌚	HANGING LIGHT	UNDER CABINET LIGHT
⌚	PULL CHAIN LIGHT	RECESSED CAN LIGHT
⌚	HANGING PENDANT LIGHT	RECESSED EYEBALL LIGHT
⌚	KEYLESS LIGHT	MINI RECESSED LIGHT
⌚	ROUGH-IN CEILING FAN	PUCK LIGHT
⌚	CEILING FAN w/ LIGHT	



2 2ND FLOOR ELECTRICAL PLAN
1/8" = 1'-0"

ELECTRICAL PLAN NOTES

PROVIDE 110V ELECTRICAL BOX, INSTALLED HORIZONTAL 12" FROM CEILING BEHIND CHIME BOX.

OUTLETS IN FOLLOWING ROOMS TO BE INSTALLED SIDEWAYS. MEASUREMENTS ARE TO THE BOTTOM OF THE OUTLETS.

BATHS

- 39" FROM FLOOR, 33" HIGH VANITIES
- 42" FROM FLOOR, 36" HIGH VANITIES

KITCHEN

- 38" FROM FLOOR, 36" HIGH BASE CABINETS

UTILITY

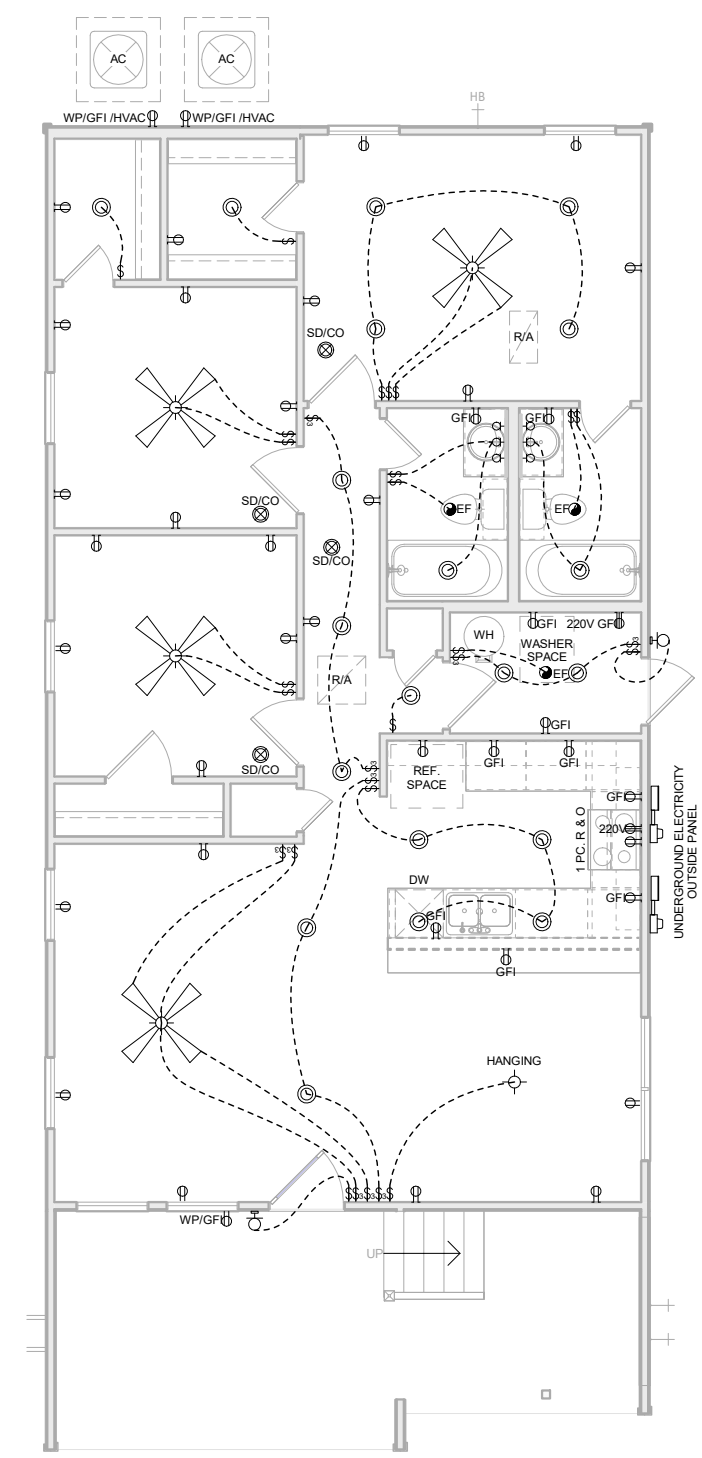
- 42" FROM FLOOR

GFCI AND ARC FAULT

- OUTLETS WITHIN 6' OF ANY SINK OR EDGE OF SHOWER/TUB MUST BE GFCI
- ALL DISHWASHERS SHALL HAVE GFCI PROTECTION
- ALL GFCI AND ARC FAULT OUTLETS MUST BE READILY ACCESSIBLE
- ALL NON-220v OUTLETS IN A UTILITY ROOM SHALL BE GFCI
- ALL 120v SINGLE PHASE, 15 AND 20 AMP CIRCUITS MUST BE ARC-FAULT EXCEPT OUTLETS IN BATHS, ATTICS, GARAGES, & EXTERIOR
- ALL SMOKE/CARBON MONOXIDE DETECTORS ARE TO BE HARDWIRED IN SERIES WITH BATTERY BACKUP

LOW VOLTAGE

- ALL CAT5e OUTLETS TO BE TRIMMED WITH RJ-45 KEYSTONES
- ALL RG6 TO BE TRIMMED IN DESIGNATED AREAS
- (2) CAT5e RUNS FROM THE INTERIOR PANEL TO EXTERIOR OF HOME
- (2) RG6 RUNS FROM THE INTERIOR PANEL TO THE EXTERIOR OF HOME
- BOTH SETS OF RUNS NEED TO BE SERVICED LOOPED IN AN EXTERIOR BOX
- INTERIOR PANEL BOX TO HAVE (1) 110v OUTLET
- INTERIOR PANEL BOX TO HAVE 1 1/2" CONDUIT STUBBED TO 2' INTO ATTIC & CAPPED



1 1ST FLOOR ELECTRICAL PLAN
1/8" = 1'-0"

