



RESIDENTIAL INSPECTION REPORT

10335 Dyer Glen
Houston TX 77070

Janice Clow
MARCH 19, 2021



Inspector
Ryan Powell
TREC #21952
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PROPERTY INSPECTION REPORT

Prepared For: Janice Clow

(Name of Client)

Concerning: 10335 Dyer Glen, Houston TX 77070

(Address or Other Identification of Inspected Property)

By: Ryan Powell - TREC #21952

(Name and License Number of Inspector)

03/19/2021 9:00 am

(Date)

PURPOSE, LIMITATIONS AND INSPECTOR / CLIENT RESPONSIBILITIES

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions. If any item or comment is unclear, you should ask the inspector to clarify the findings. It is important that you carefully read ALL of this information.

This inspection is subject to the rules ("Rules") of the Texas Real Estate Commission ("TREC"), which can be found at www.trec.texas.gov.

The TREC Standards of Practice (Sections 535.227-535.233 of the Rules) are the minimum standards for inspections by TREC-licensed inspectors. An inspection addresses only those components and conditions that are present, visible, and accessible at the time of the inspection. While there may be other parts, components or systems present, only those items specifically noted as being inspected were inspected. The inspector is NOT required to turn on decommissioned equipment, systems, utility services or apply an open flame or light a pilot to operate any appliance. The inspector is NOT required to climb over obstacles, move furnishings or stored items. The inspection report may address issues that are code-based or may refer to a particular code; however, this is NOT a code compliance inspection and does NOT verify compliance with manufacturer's installation instructions. The inspection does NOT imply insurability or warrantability of the structure or its components. Although some safety issues may be addressed in this report, this inspection is NOT a safety/code inspection, and the inspector is NOT required to identify all potential hazards.

In this report, the inspector shall indicate, by checking the appropriate boxes on the form, whether each item was inspected, not inspected, not present or deficient and explain the findings in the corresponding section in the body of the report form. The inspector must check the Deficient (D) box if a condition exists that adversely and materially affects the performance of a system or component or constitutes a hazard to life, limb or property as specified by the TREC Standards of Practice. General deficiencies include inoperability, material distress, water penetration, damage, deterioration, missing components, and unsuitable installation. Comments may be provided by the inspector whether or not an item is deemed deficient. The inspector is not required to prioritize or emphasize the importance of one deficiency over another.

Some items reported may be considered life-safety upgrades to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards or Deficiencies below.

THIS PROPERTY INSPECTION IS NOT A TECHNICALLY EXHAUSTIVE INSPECTION OF THE STRUCTURE, SYSTEMS OR COMPONENTS. This inspection may not reveal all deficiencies. A real estate inspection helps to reduce some of the risk involved in purchasing a home, but it cannot eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is recommended that you obtain as much information as is available about this property, including seller's disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for and by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspector's responsibility to confirm that information obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous or future reports.

ITEMS IDENTIFIED IN THE REPORT DO NOT OBLIGATE ANY PARTY TO MAKE REPAIRS OR TAKE OTHER ACTIONS, NOR IS THE PURCHASER REQUIRED TO REQUEST THAT THE SELLER TAKE ANY ACTION. When a deficiency is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods.

Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions. Examples of such hazards include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathrooms, kitchens, and exterior areas;
- malfunctioning arc fault protection (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined.

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered" because they were present prior to the adoption of codes prohibiting such conditions. While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate license holders also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms require a seller to remedy conditions revealed by an inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for the sale or purchase of the home.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

Type of Building: Single Family

Access provided by:: Lockbox

In Attendance: None

Occupancy: Vacant

Weather Conditions: Clear

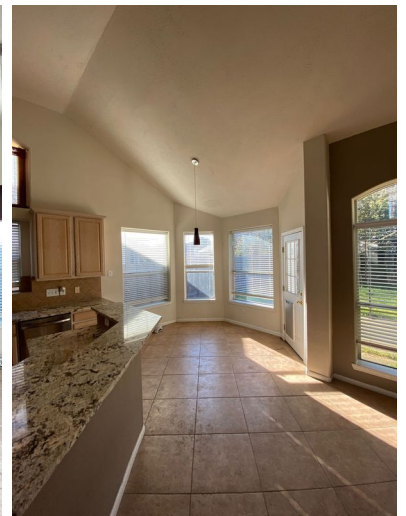
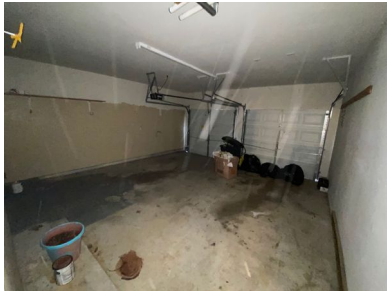
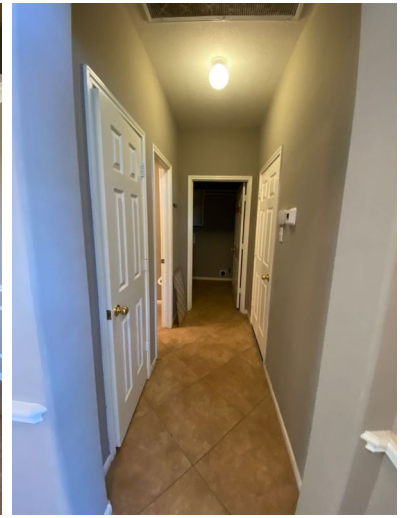
Temperature (approximate): 55 Fahrenheit (F)

Thank you for choosing Bryan & Bryan Inspections

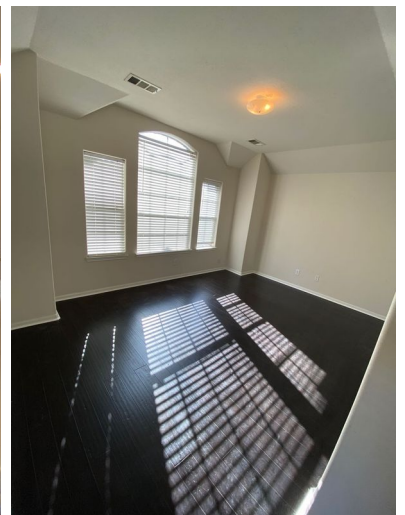
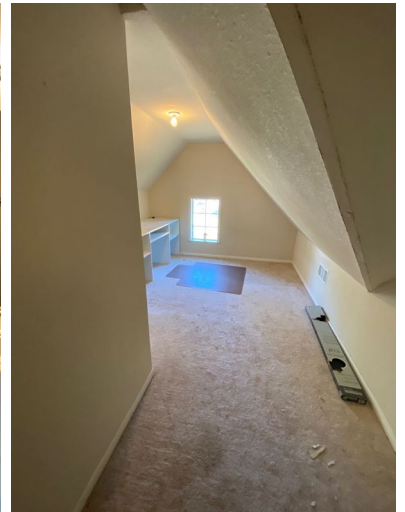
Please review the inspection report and let us know if you have any further questions. The browser-based version uses advanced web features to allow for easier navigation and expanded photographs. The PDF menu on this web-page includes a version titled "Full Report" and is written on the official state promulgated form for your records. A Comment Key is also provided for you in the Attachments section if you'd like definitions for common report phrasing. Please review all documents and attachments that were sent to you by the inspector.

I. STRUCTURAL SYSTEMS

General Photos of Interior:

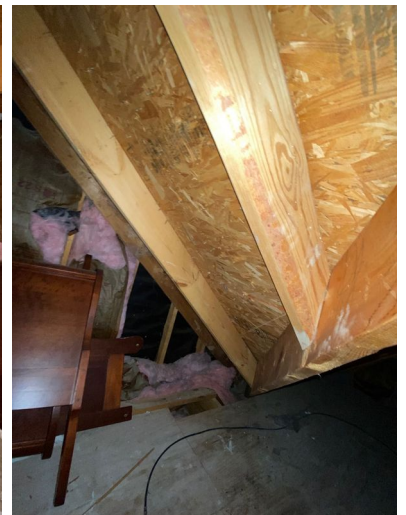
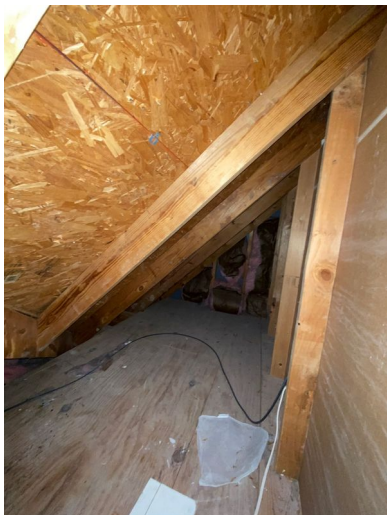
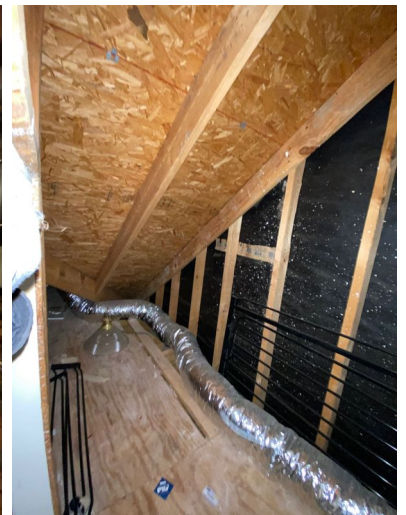
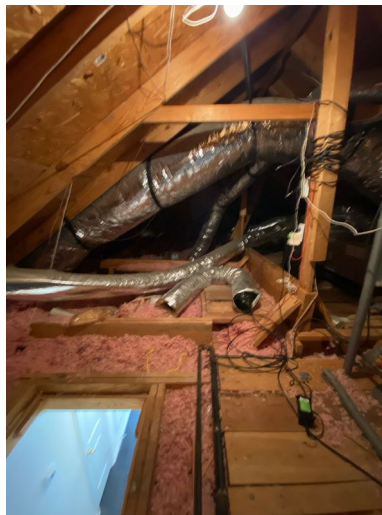


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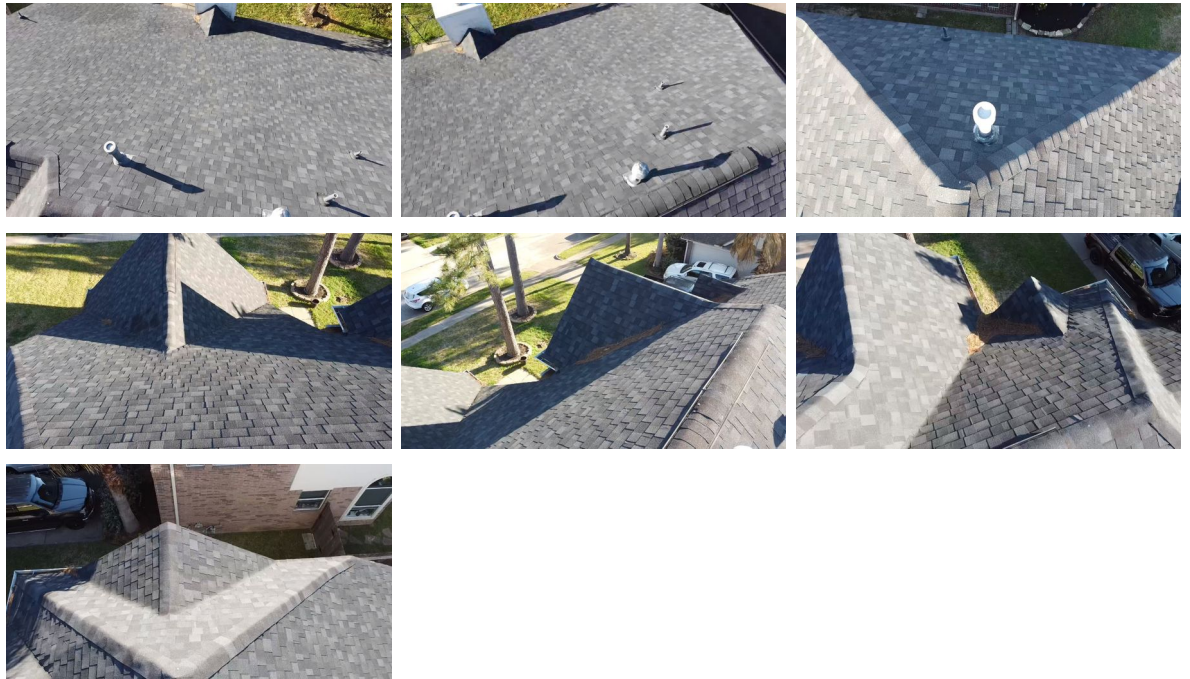
General Photos of Structure:





General Photos of Roof Covering:

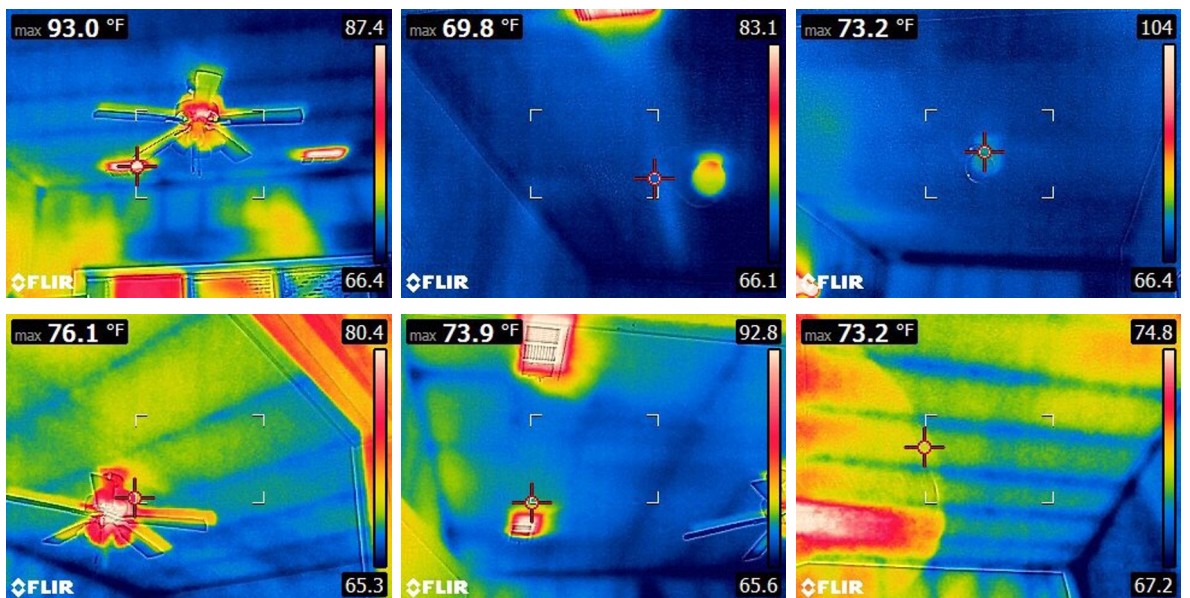
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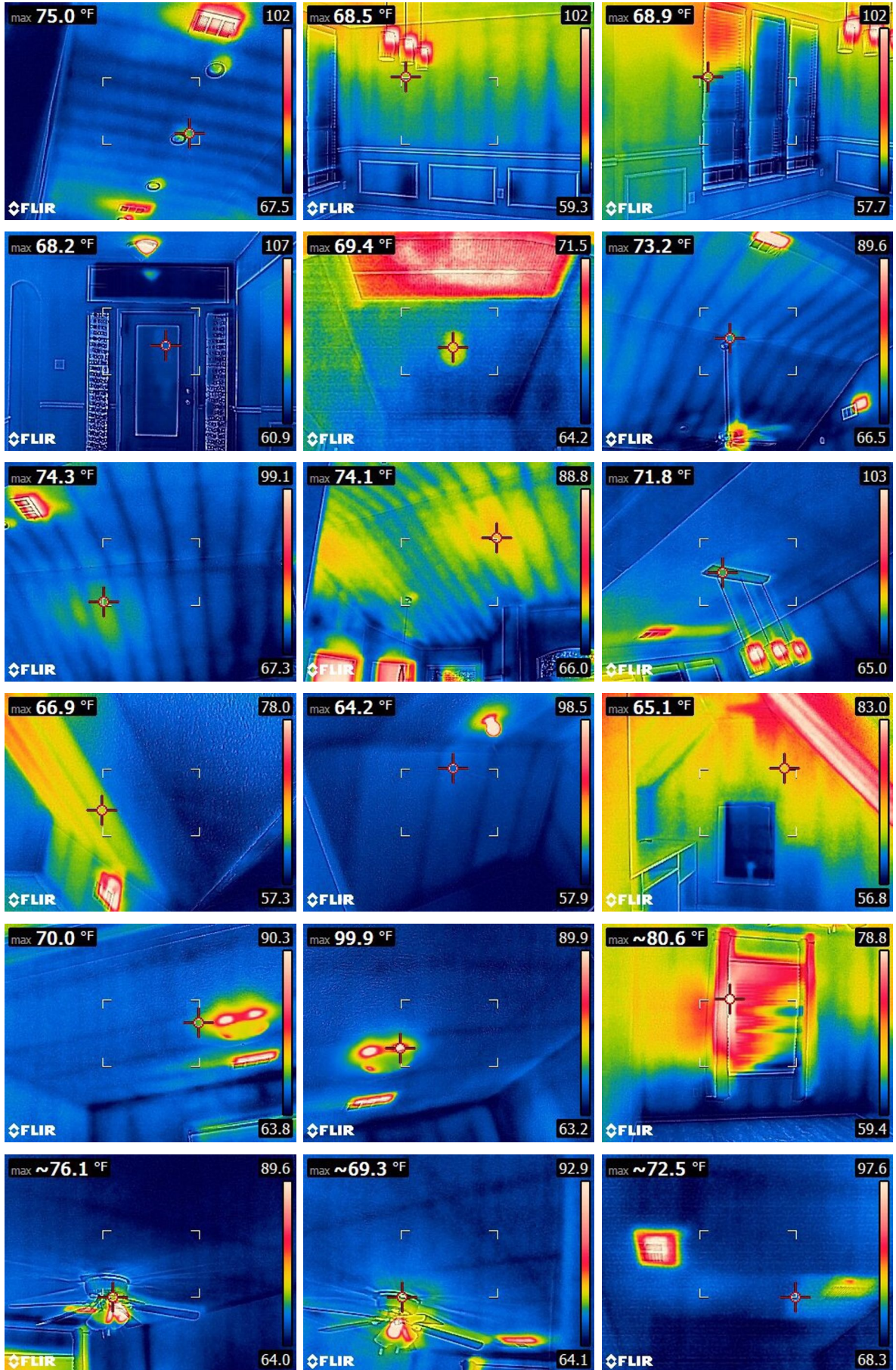
General Photos of Fireplaces:



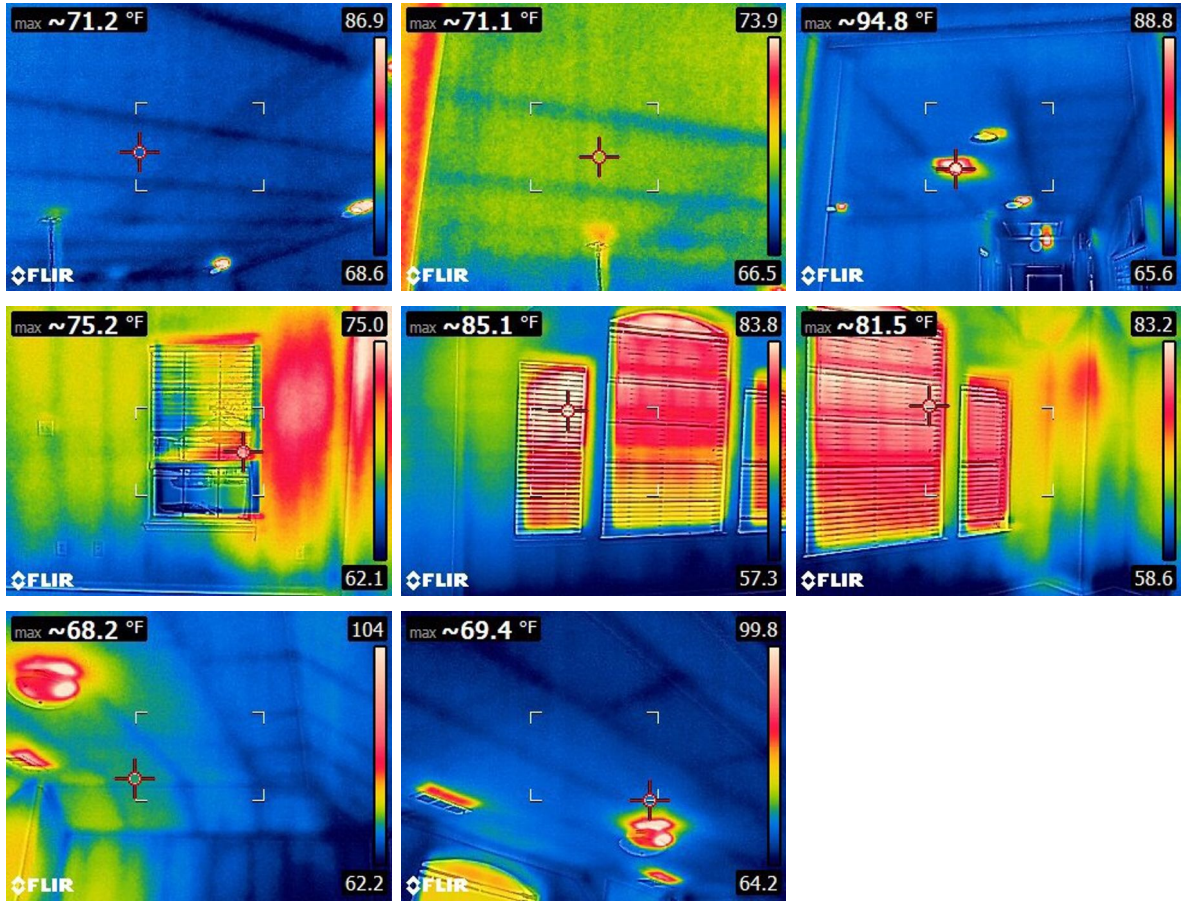
Infrared Photos of Interior:



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A. Foundations

Type of Foundation(s): Slab on Grade

Comments:

Foundation Inspected with Digital Level:

This foundation was measured with the use of an electronic digital measurement tool. Multiple elevation points were registered on the foundation throughout the property to determine if there were elevation variations that indicated excessive movement of the foundation. At the time of this inspection the measured areas did not indicate any variations that, in this inspector's OPINION, indicated any need for invasive repairs to the foundation.



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1: Slab: Shear Cracks

Maintenance Item/Note

Multiple Locations

Note: Shear cracking ("corner pops") observed at foundation corners is not normally associated with structural movement or deficiencies.

Recommendation: Contact a handyman or DIY project



For Example:

B. Grading and Drainage

Comments:

1: Grading & Drainage: Standing Water

Recommendation

Standing water was observed which could indicate poor drainage and/or grading. Monitoring and/or having landscaping contractor remedy drainage/grading is recommended. Grading & Drainage:

Recommendation: Contact a qualified landscaping contractor

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Rear

2: Gutters & Downspouts: Clogged

— Recommendation

Multiple Locations

Clear gutters of debris to improve drainage. Badly clogged gutters can cause water to back up under the roof covering and cause damage.

Recommendation: Contact a qualified landscaping contractor

3: Gutters & Downspouts: Missing Downspout

— Recommendation

Evaluate and remedy as needed.

Recommendation: Recommended DIY Project



Right Side

C. Roof Covering Materials

Types of Roof Covering: Composition Shingles

Viewed From: Drone

Roof fastening not verified:

The roof fastening method was not verified as determining this may cause damage to the roofing material.

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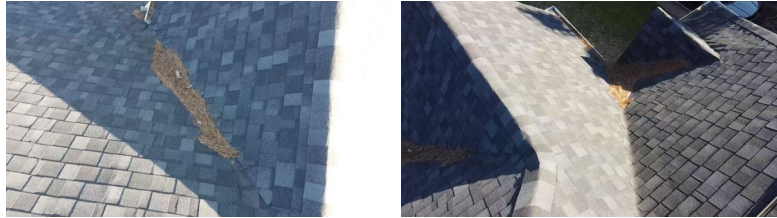
1: Debris on roof

🔴 Recommendation

Multiple Locations

Debris was present on roof surface. The condition of the roof covering underneath could not be determined. Removal of debris and evaluation of the roofing materials underneath is recommended.

Recommendation: Contact a qualified professional.



2: Flashing: Unpainted Materials

🔴 Recommendation

Multiple Locations

Roof materials were not painted (flashings, roof jacks). This can help extend the life of the flashing material, but also helps maintain a consistent look with other roofing materials. Remedy as needed.

Recommendation: Contact a qualified roofing professional.



For Example:

D. Roof Structure and Attic

Viewed From: Decked areas of attic

Approximate Average Depth of Insulation: More than 14 Inches

Comments:

Attic Access Method: Pull down ladder(s), Access Hatch

Type of Attic/Roof Ventillation: Ridge and soffit vent

Type of Insulation Material: Blown Fiberglass

Only accessible areas were entered:

Note: Only accessible areas of the attic are inspected. The inspector does not crawl/walk over areas that may be unsafe or not easily accessible.

1: Pulldown stairs/ladder: Not insulated or weatherstripped

🔴 Recommendation

The ladder door was not insulated or weatherstripped. This can lead to increased energy loss. Remedy as needed.

Recommendation: Contact a qualified professional.

2: Venting: Damaged Soffit Vent Screens

🔴 Recommendation

One or more soffit vent screens were damaged at the time of inspection. Evaluation and remediation by a qualified professional is recommended.

Recommendation: Contact a qualified roofing professional.

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Left Side

E. Walls (Interior and Exterior)

Comments:

1: Exterior Masonry: Seal Expansion Joints

🚫 Recommendation

Multiple Locations

Sealant in the expansion joints is missing or has deteriorated. Remedy as needed.

Recommendation: Contact a qualified masonry professional.



For Example:

2: Exterior- Fascia/Soffit/Eaves: Damaged Boards

🚫 Recommendation

One or more boards on the fascia, soffit, and/or eaves were damaged. Evaluation and remediation by a qualified professional is recommended.

Recommendation: Contact a qualified professional.

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Front



Rear

3: Exterior- Caulking: Deteriorated/Missing

➡ Recommendation

Caulking around siding or trim was deteriorated or missing.

Recommendation: Contact a qualified professional.



Right Side



Front

4: Exterior- Caulking: Deteriorated/Missing Around Window Frames

➡ Recommendation

Multiple Locations

Caulking around window frames was missing or deteriorated. Caulking around window frames is an important barrier to moisture and air intrusion. Most exterior sealants have a lifespan of 5 to 8 years and should be regularly maintained with that lifespan in mind. Evaluate and remedy as needed.

Recommendation: Contact a qualified professional.

5: Exterior: Trim missing, loose, or damaged

➡ Recommendation

Sections of exterior trim were either missing, loose, or damaged. Remedy as needed.

Recommendation: Contact a qualified professional.

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6: Exterior: High Soil

🔴 Recommendation

A high soil level was observed. The foundation should have at least 4 inches of exposure. Remedy as needed.

Recommendation: Contact a qualified landscaping contractor



Front

7: Interior: Hairline Cracks on Drywall

🔧 Maintenance Item/Note

Multiple Locations

Hairline cracks were observed on the interior drywall. Hairline cracks may be related to the following:

- normal structural movement
- thermal expansion

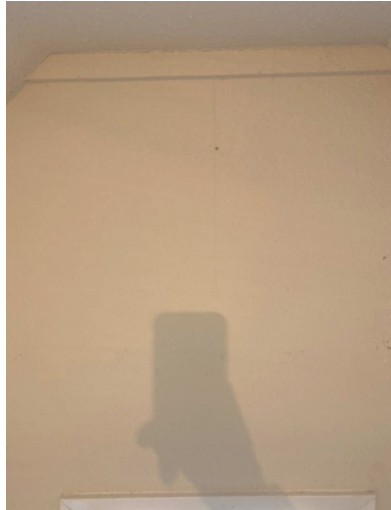
Monitor and/or remedy as needed.

Recommendation: Recommend monitoring.

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2nd Floor



2nd Floor

8: Wood Destroying Insect Activity

➔ Recommendation

There was evidence of wood destroying insects (WDI) in one or more areas. The extent of damage inside walls (if any) is not visible. Further evaluation by a pest control company is recommended.

Note: If you have contracted Bryan & Bryan to perform a termite inspection, refer to the WDI Inspection Report for further information.

Recommendation: Contact a qualified pest control specialist.



Dining Room Rear door

F. Ceilings and Floors

Comments:

1: Note: Patched Ceilings

🔧 Maintenance Item/Note

Patched ceiling areas were observed at the time of inspection. Obtaining all previous work documentation is recommended.

Recommendation: Contact a qualified professional.

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Laundry Area



Primary Bathroom

2: Ceiling: Texture Cracks

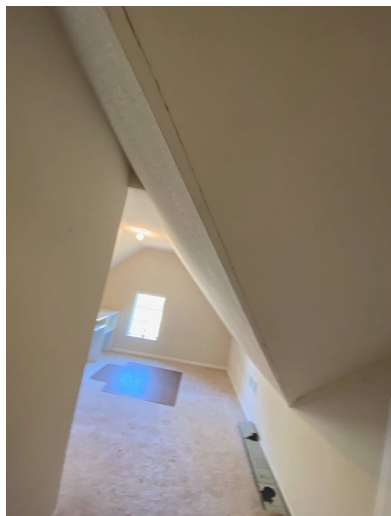
 Maintenance Item/Note

Texturing cracks were observed in vaulted ceiling joints and appear cosmetic in nature. These are not typically caused by structural defects.

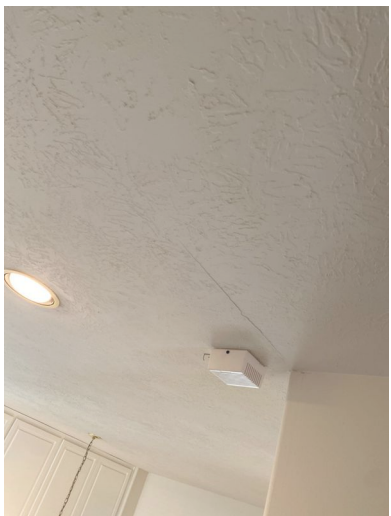
Recommendation: Contact a handyman or DIY project



2nd Floor



2nd Floor



2nd Floor

3: Ceiling: Evidence of Previous Moisture Contact

 Recommendation

Wall structure showed signs of previous water intrusion. Tested negative for moisture at the time of the inspection. Evaluate and remedy as needed.

Recommendation: Contact a qualified professional.

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Primary Closet

G. Doors (Interior and Exterior)

Comments:

1: Door Hardware: Missing Doorstops

 [Maintenance Item/Note](#)

Throughout

One or more missing doorstops were observed. Replace any missing doorstops to prevent damage to the drywall.

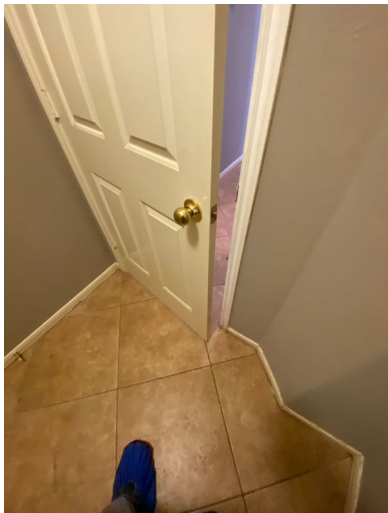
Recommendation: Recommended DIY Project

2: Door Hardware: Doesn't Latch

 [Recommendation](#)

Door did not latch properly. Handyman repair of latch and/or strike plate is recommended.

Recommendation: Contact a qualified handyman.



Laundry Area

3: Garage Door into Living Space: Self-Closing Mechanism not Present/Operable

 [Recommendation](#)

Entry door between the garage and living space should have a functioning self-closing mechanism.

Recommendation: Contact a qualified professional.

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H. Windows

Comments:

1: Missing/Damaged Screen(s)

➔ Recommendation

One or more windows are missing a screen or had a damaged screen. Replacement of screens is recommended.

Recommendation: Contact a qualified window repair/installation contractor.



2: Plastic trim is damaged/missing

➔ Recommendation

Multiple Locations

Plastic trim around windows is either damaged or missing. Remedy as needed.

Recommendation: Contact a qualified window repair/installation contractor.



Right Side

3: Window will not stay open

➔ Recommendation

The window will not stay open. Evaluation and remediation by a window professional is recommended.

Recommendation: Contact a qualified window repair/installation contractor.

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Breakfast Area

- I. Stairways (Interior and Exterior)**
Comments:

- J. Fireplaces and Chimneys**
Comments:

1: Damper: No clip

🚫 Recommendation

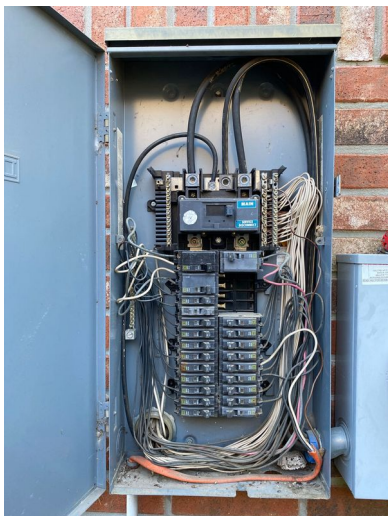
No apparent safety clip on the damper. Typically when gas logs are present, a safety clip must be installed on the damper to keep it from closing fully. Remedy as needed.

Recommendation: Contact a qualified professional.

- K. Porches, Balconies, Decks, and Carports**
Comments:

II. ELECTRICAL SYSTEMS

General Photos of Distribution Panels:



General Infrared Photos of Distribution Panel(s):

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General Photos of Grounding System(s):



A. Service Entrance and Panels

Comments:

Main disconnect/service box type and location: Breakers -exterior wall

Service entrance cable location: Underground (cable material type not visible), Aluminum

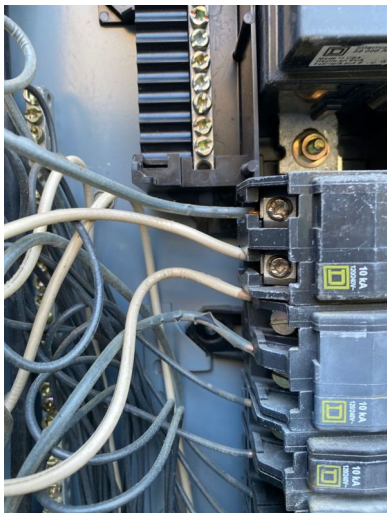
Service size: 125 Amps

1: White Wires Not Marked

⚠ Recommendation

White wires connected to breakers are not marked with black or red electrical tape to indicate that they are "hot". Remedy as needed.

Recommendation: Contact a qualified electrical contractor.



2: Circuits Not Labeled

🔴 Recommendation

Circuits in the distribution panel were not properly labeled. Remedy as needed.

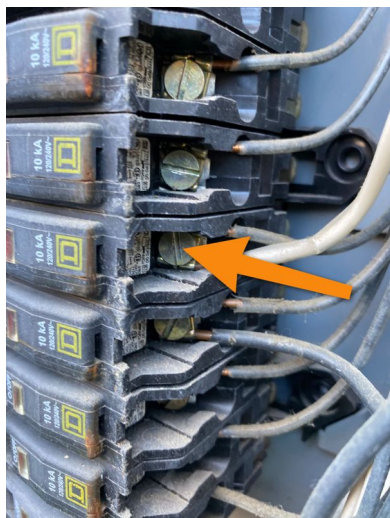
Recommendation: Contact a qualified electrical contractor.

3: Double Lugged Breaker

⚠ Safety Hazard

Two or more wires are attached to a single breaker. Most terminals are not designed for two wires, and is a poor installation practice. Further evaluation by a licensed electrician is recommended.

Recommendation: Contact a qualified electrical contractor.



4: No Antioxidant Paste

🔴 Recommendation

Antioxidant paste was not present at service conductor connection to main (aluminum) lugs in the distribution panel. Paste is recommended to prevent oxidation. Remedy as needed.

Recommendation: Contact a qualified professional.



5: Gap in Conduit

🔴 Recommendation

There was a gap in the service wires conduit under the service meter. Evaluation and/or remediation by

a licensed electrician is recommended.

Recommendation: Contact your local utility company



B. Branch Circuits, Connected Devices, and Fixtures

Type of Wiring: Copper

Comments:

1: Multiple Electrical Fixture Issues

🔴 Recommendation

Damaged Outlets -

Due to multiple issues observed with electrical fixtures in the home, evaluation by a licensed electrician is recommended.

Recommendation: Contact a qualified electrical contractor.

2: Light: Inoperable

🔴 Recommendation

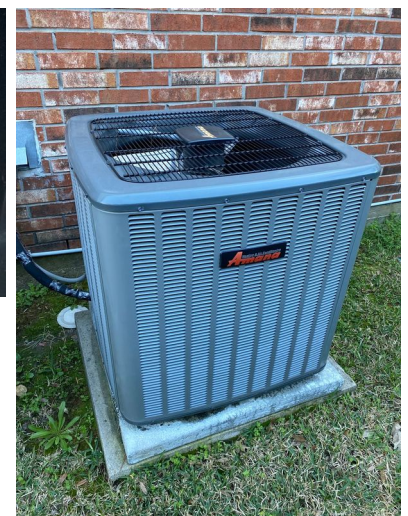
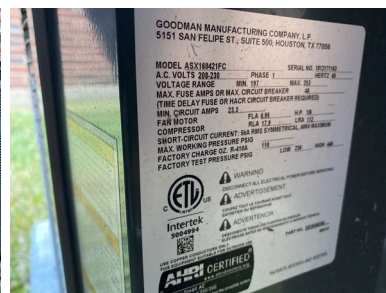
Multiple Locations

One or more light fixtures were not operating at time of inspection. Cause was not determined. Remedy as needed.

Recommendation: Contact a qualified electrical contractor.

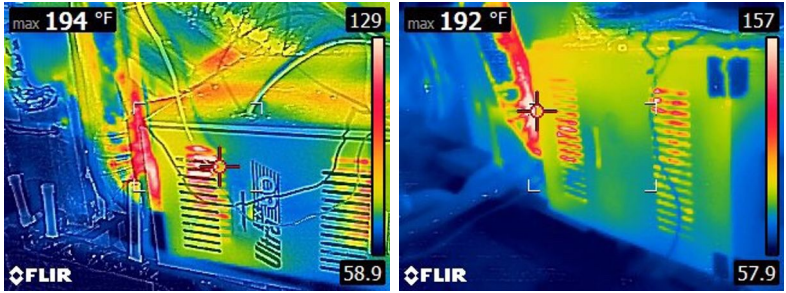
III. HEATING, VENTILATION & AIR CONDITIONING SYSTEMS

General Photos of HVAC Equipment:





General Infrared Photos of HVAC Equipment:



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A. Heating Equipment

Type of System: Furnace

Energy Source: Gas

Comments:

Heating System was Functioning:

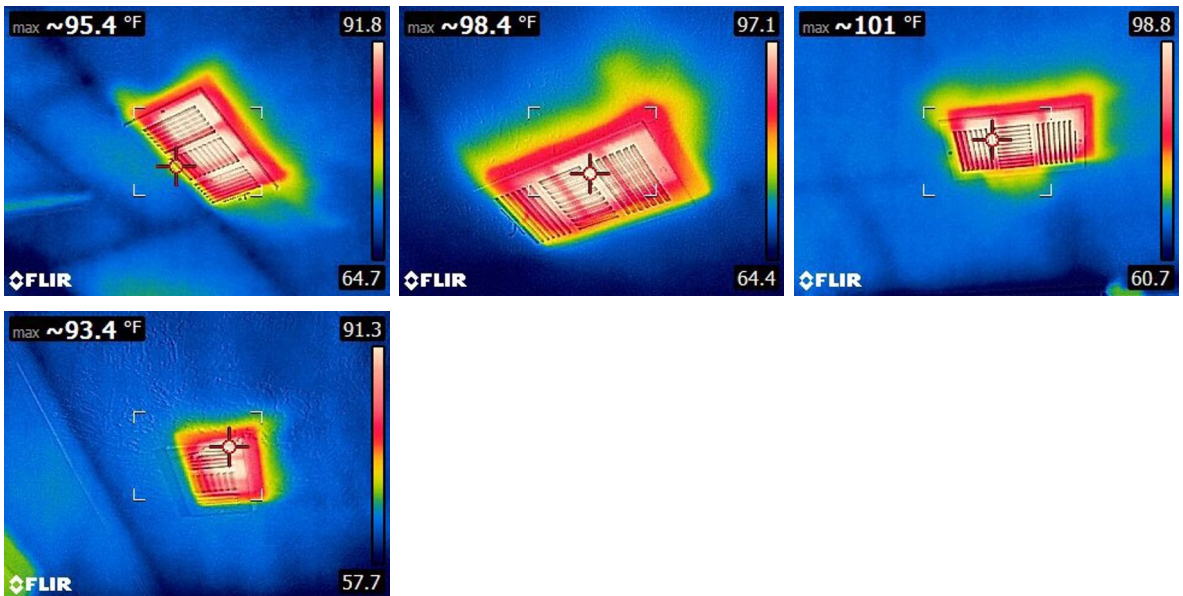
The Heating System was functioning at the time of inspection. Refer to the Inspection Report for any further recommendations.

1: Functionality: Inadequate heat

➔ Recommendation

The temperature rise was lower than expected during normal operation. Evaluation and remediation by a licensed HVAC contractor is recommended.

Recommendation: Contact a qualified HVAC professional.



2: Functionality: Needs Servicing/Cleaning due to Age

➔ Recommendation

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Furnace should be cleaned and serviced due to age. It is recommended that a qualified HVAC contractor clean, service, and certify furnace.

Recommendation: Contact a qualified HVAC professional.

3: Cabinet: Not Sealed

🔴 Recommendation

Air handler cabinet sealant was missing, loose, and/or deteriorated. Remedy as needed.

Recommendation: Contact a qualified professional.

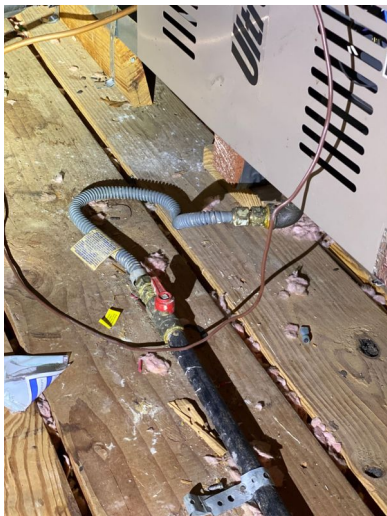


4: Gas piping: Missing Sediment Trap (Drip Leg)

🔴 Recommendation

Sediment traps are installed to help prevent sediment in the gas piping from getting into the gas valve or burner area of an appliance and causing problems. Remedy as needed.

Recommendation: Contact a qualified professional.



B. Cooling Equipment

Type of System: Central Air Conditioner

Comments:

Temperature difference (delta) - First Floor: No Difference

Temperature difference (delta) - Second Floor: No Difference

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A/C Not Operated: Cold Weather:

Low outdoor temperatures limited inspection of the HVAC unit(s) to a visual evaluation of the system components. Operating the system during low temperatures may cause damage to the condensing unit compressor(s). When the outside temperature is above 60-degrees, the inspector can be contacted for a re-inspection of the system(s). A trip fee may apply.

No access to internal coils:

There was no removable panel cover to provide viewing access to the internal evaporator coils.

1: Condensate system: Rusted Emergency pan

🚫 Recommendation

The emergency overflow pan is rusted. Further evaluation by an HVAC professional is recommended.

Recommendation: Contact a qualified HVAC professional.



C. Duct System, Chases, and Vents

Comments:

1: Filter: Requires Replacement

🚫 Recommendation

Multiple Locations

The furnace filter may have been beyond its expected lifespan. Replacement is recommended.

Recommendation: Recommended DIY Project



1st Floor

2: Ducts: Ducts resting on each other.

🚫 Recommendation

Multiple Locations

Ducts were resting on each other. This can result in condensation forming between the two sections of ductwork. Remedy as needed.

Recommendation: Contact a qualified professional.



3: Visible substance observed on Supply Register

🚫 Recommendation

Multiple Locations

A dark substance was observed on an air supply register in the home. Servicing and cleaning of the system by a qualified HVAC contractor is recommended, as this can be a result of excessive water vapor/humidity in the conditioned air.

Unless otherwise contracted, the Inspector does not test these areas to determine the presence of microbial growth.

Recommendation: Contact a qualified HVAC professional.



Primary Bedroom

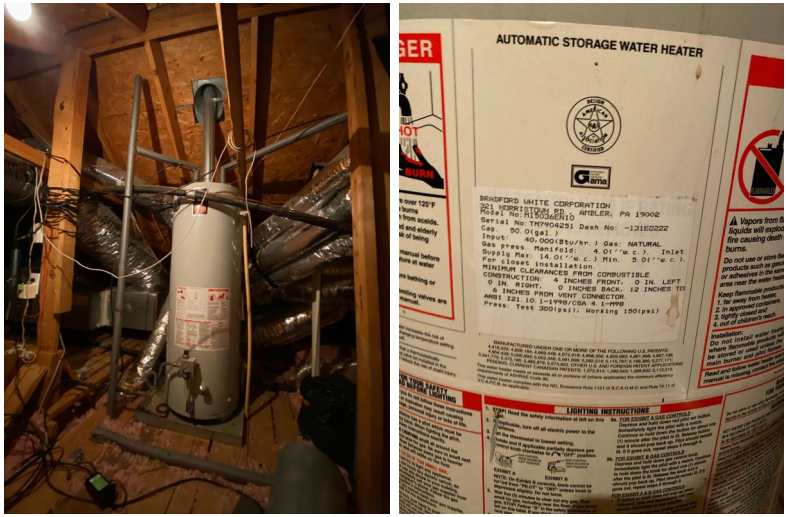


Living Room

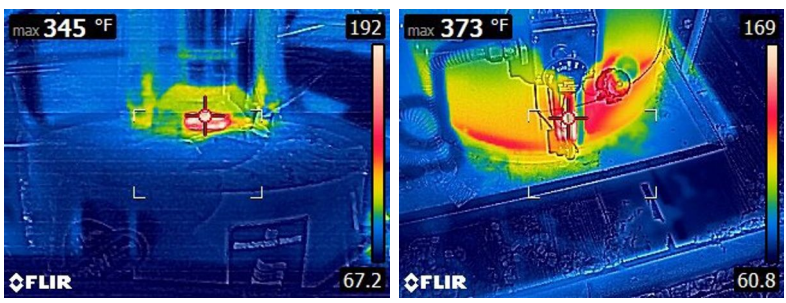
IV. PLUMBING SYSTEMS

General Photos of Water Heating Equipment:

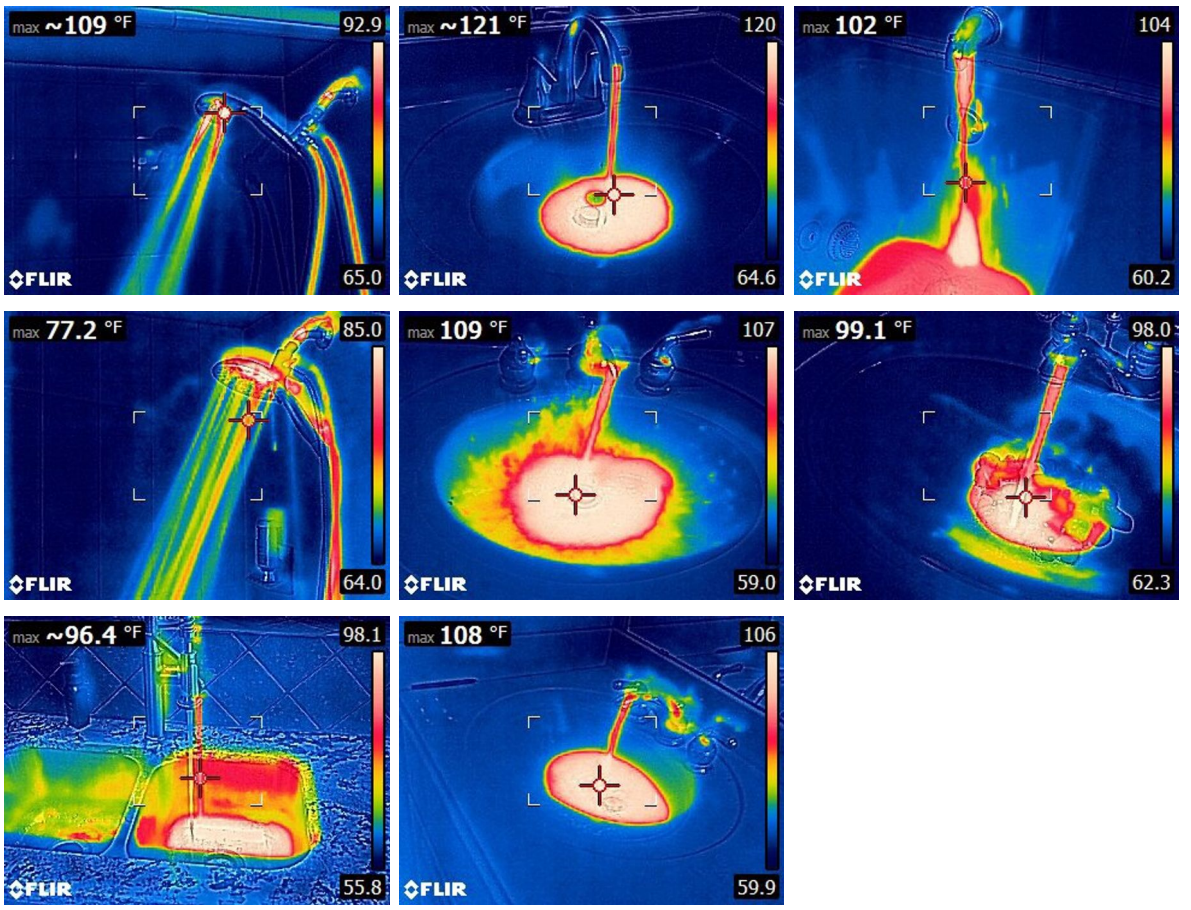
I	NI	NP	D
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General Infrared Photos of Water Heating Equipment:



General Photos of Plumbing Fixtures:

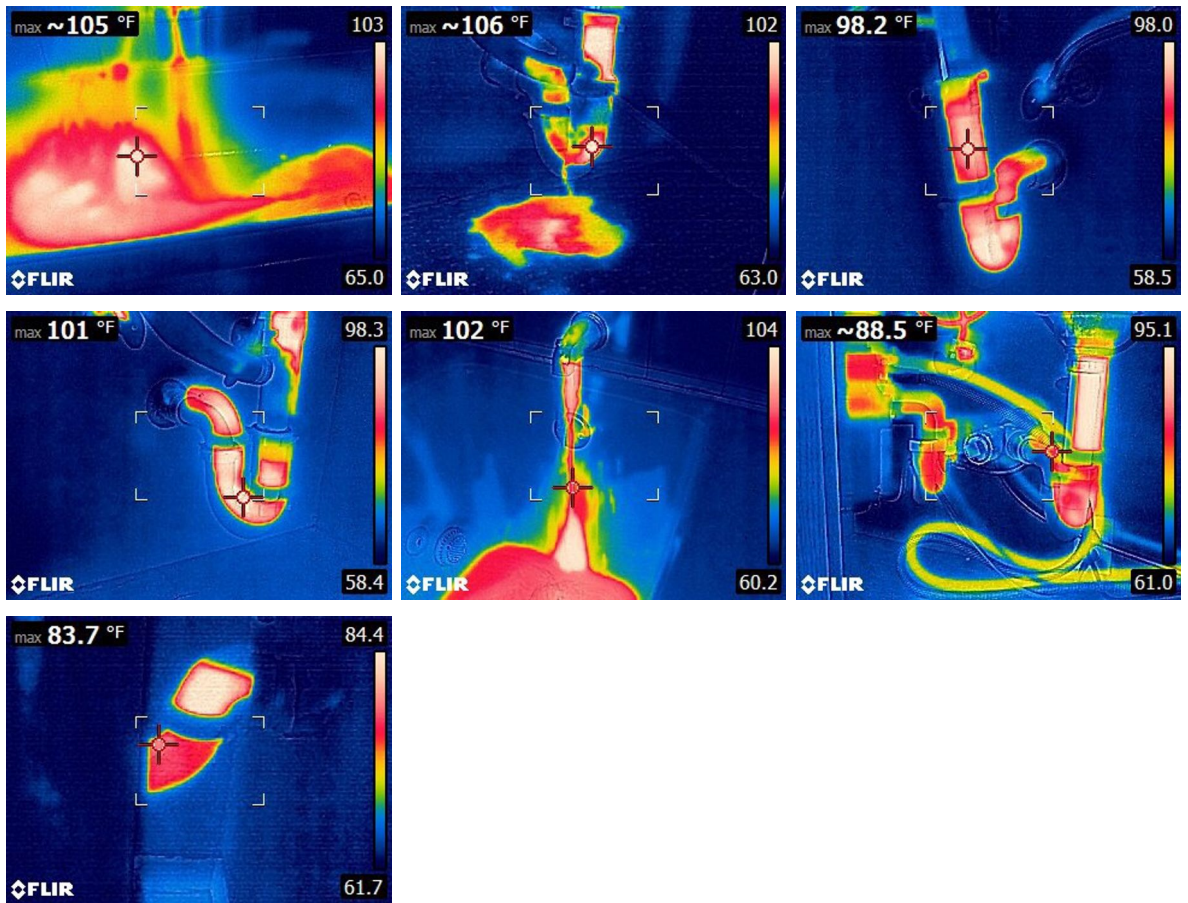


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General Photos of Gas Meter(s):



General Photos of Drain Lines:



A. Plumbing Supply, Distribution Systems, and Fixtures

Location of water meter: Front yard near street

Location of main water supply valve: Garage

Static water pressure reading: 65 psi

Comments:

1: Fixtures: Aerators or Screens Damaged

🔴 Recommendation

Remedy as needed.

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Recommendation: Contact a qualified plumbing contractor.



Primary Bathroom

2: Toilet: Not securely Mounted to Floor

🔴 Recommendation

Evaluate and remedy as needed.

Recommendation: Contact a qualified professional.



2nd Floor Hall Bathroom

3: Toilet: Caulk needed at base

🔧 Maintenance Item/Note

The toilet base was not caulked at the floor. Remedy as needed.

Recommendation: Contact a handyman or DIY project

B. Drains, Wastes, & Vents

Comments:

1: Note: Evidence of Previous Leak

🔧 Maintenance Item/Note

Note: Evidence of a previous leak was noted under the sink. No leaking occurred at time of inspection and the area remained dry.

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Recommendation: Recommend monitoring.

2: Drain piping: Slow Drains

🚫 Recommendation

Poor/slow drainage was observed at time of inspection. Evaluation and/or remediation by a licensed plumber is recommended.

Recommendation: Contact a qualified plumbing contractor.



Kitchen



2nd Floor Hall Bathroom

3: Drain piping: Leaks

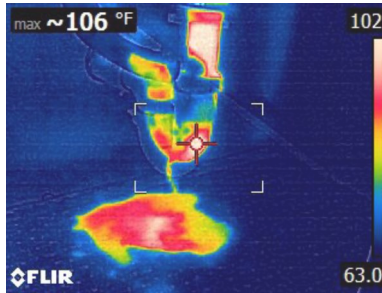
🚫 Recommendation

Leaking was observed at time of inspection. Evaluation and/or remediation by a licensed plumber is recommended.

Recommendation: Contact a qualified plumbing contractor.



2nd Floor Hall Bathroom



C. Water Heating Equipment

Energy Source: Gas
Capacity: 40 Gallons
Comments:
Location: Attic

1: Annual Maintenance Flush Recommended

🚫 Recommendation

Water heaters should typically be flushed annually to prevent sediment buildup and maintain efficiency. It is recommended that you refer to the manufacturer's manual for maintenance schedules specific to this device and make any service appointments as needed.

Recommendation: Contact a qualified plumbing contractor.

2: Gas Water Heater: Missing Sediment Trap (Drip Leg)

🚫 Recommendation

Sediment traps are installed to help prevent sediment in the gas piping from getting into the gas valve or burner area of an appliance and causing problems. Remedy as needed.

Recommendation: Contact a qualified professional.



3: Gas Water Heater: Irregular Flame

🚫 Recommendation

Water heater flame was irregular. Evaluation and/or remediation by a licensed plumber is recommended.

Recommendation: Contact a qualified plumbing contractor.

4: Tank: Popping sound from tank

🚫 Recommendation

An audible popping noise was noted during water heating operation. This can indicate either excessive sediment build-up or a deteriorated sacrificial anode rod inside the tank. Evaluation and/or remediation by a licensed plumber is recommended.

Recommendation: Contact a qualified plumbing contractor.

5: Tank: Sulphur odor in water

🚫 Recommendation

There was a sulphur odor in the hot water. This condition could be a result of water that has sat in the tank for an extended amount of time, a failed sacrificial anode, or other possible causes. Evaluation and/or remediation by a licensed plumber is recommended.

Recommendation: Contact a qualified professional.

6: TPR Valve Note: Replacement may be needed

🚫 Recommendation

The manufacturer recommends replacement of the pressure relief valve every three years to ensure proper emergency function. The inspector does not test TPR valves due to safety hazard or possible damage to unit.

Recommendation: Contact a qualified professional.

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7: Water heater: nearing or at end of serviceable life

🚫 Recommendation

The water heater appears to be nearing or at the end of its serviceable lifespan. Typical life expectancy of water heaters is 12 to 15 years. Full evaluation and repair or replacement is recommended by a qualified plumber

Recommendation: Contact a qualified professional.

D. Hydro-Massage Therapy Equipment

Comments:

No pump access:

No motor access:

Limited visibility:

Limited access to the area under the tub limited visibility of all under-tub components.

1: Whirlpool Dirty

🚫 Recommendation

The whirlpool appeared to be blowing dirty water. This may indicate the system has not been cleaned on a regular basis. To prevent debris in the lines the unit should be cleaned per the manufacturers specifications.

Recommendation: Contact a qualified professional.

V. APPLIANCES

General Photos of Dishwasher:



General Photos of Food Waste Disposer:

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General Photos of Range Hood/Exhaust Systems:



General Photos of Ranges, Cooktops, and Ovens:



General Photos of Garage Door Operator(s):

I	NI	NP	D
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A. Dishwashers
Comments:

B. Food Waste Disposers
Comments:

C. Range Hood and Exhaust Systems
Comments:
Exhaust Hood Type: Re-circulate

D. Ranges, Cooktops, and Ovens
Comments:
Range/Oven Energy Source: Gas, Gas range

E. Microwave Ovens
Comments:

F. Mechanical Exhaust Vents and Bathroom Heaters
Comments:

1: Vents Into Soffit

🚫 Recommendation

The exhaust fan(s) vented to the eave soffits in the attic. Newer building standards recommend exhaust fans discharge through the roof.

Recommendation: Contact a qualified professional.



G. Garage Door Operators
Comments:

H. Dryer Exhaust Systems
Comments:

1: Cleaning Vent Recommended

🔴 Recommendation

Cleaning of the dryer exhaust vent is recommended as normal maintenance and to prevent excessive lint build-up in the line.

Recommendation: Contact a qualified professional.