

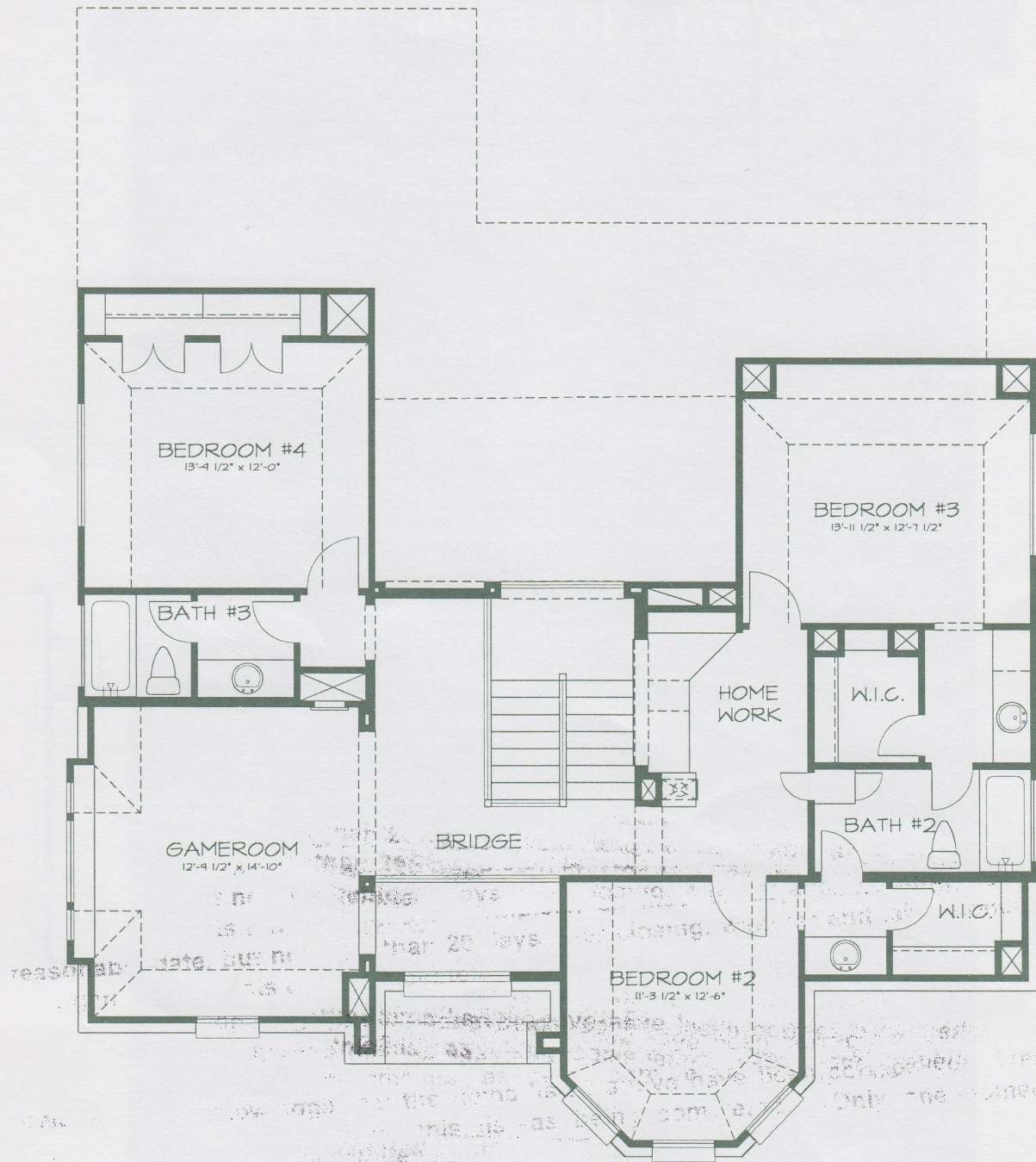
This drawing is only a representation.  
Consult construction documents for accurate details.  
Room sizes and square footage are only approximate.

Trendmaker Homes

LIVING AREA APPROX. 3398 SQ. FT.

05-21-98



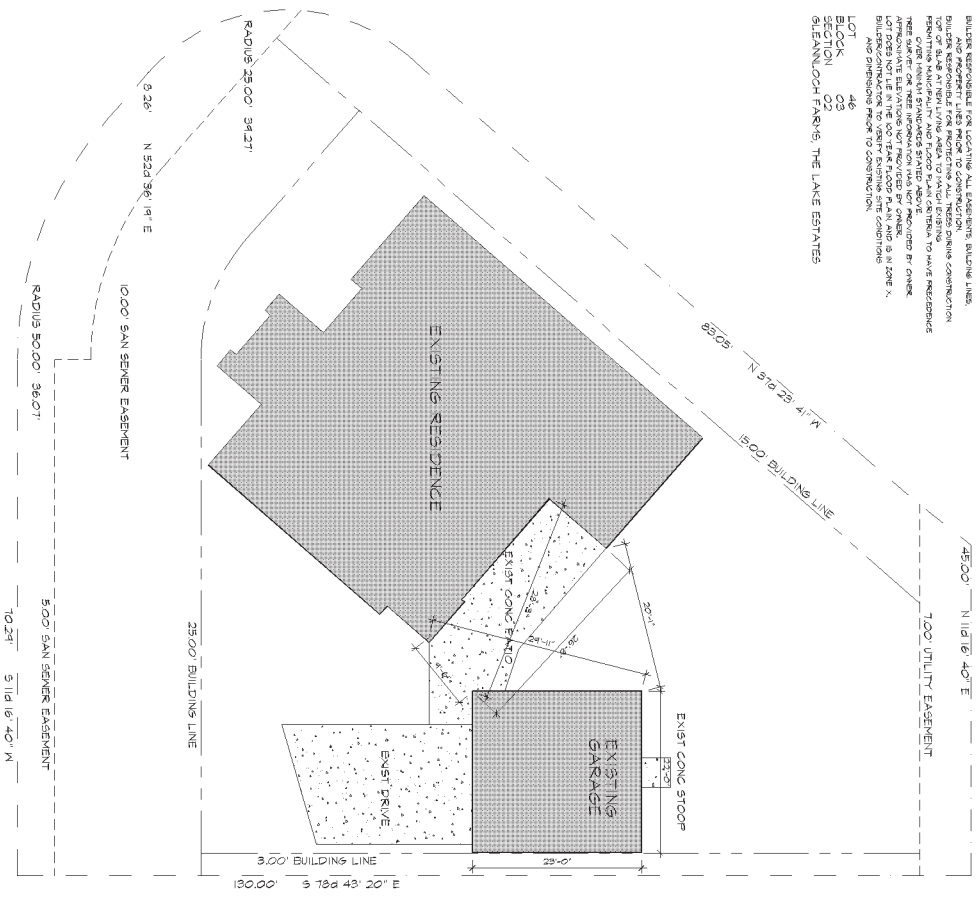




**SITE PLAN NOTES**

BUILDER RESPONSIBLE FOR LOCATING ALL EXISTING BUILDING LINES, BUILDERS RESPONSIBLE FOR LOCATING ALL EXISTING CONSTRUCTION LINES AND EXISTING UTILITY LINES. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND STRUCTURES SHOWN ABOVE. APPROPRIATE ELEVATIONS FOR EXISTING UTILITIES SHALL BE OBTAINED FROM THE UTILITY COMPANIES AND SHOWN ON THE SITE PLAN. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND STRUCTURES SHOWN ABOVE.

LOT 46  
BLOCK 03  
SECTION 03  
DISTRICT 03  
THE LAKE ESTATES

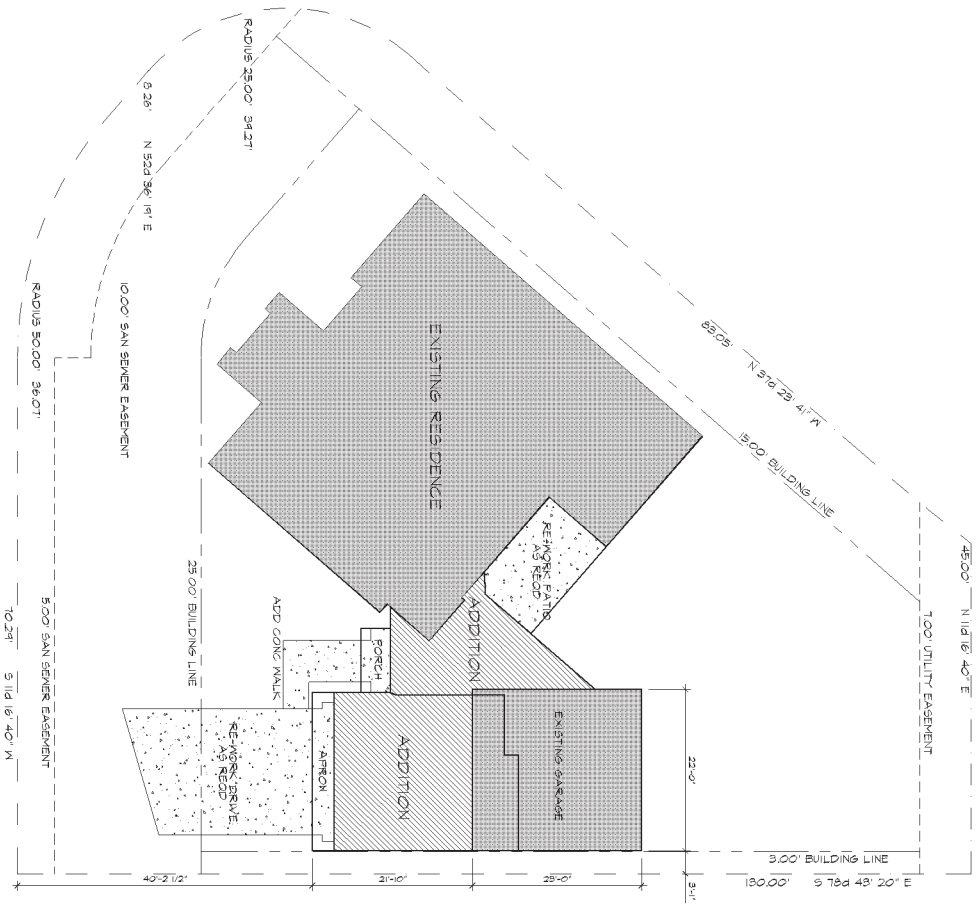


**EXISTING SITE PLAN**

1/8" = 1'-0"

**REMODELED SITE PLAN**

1/8" = 1'-0"



- GENERAL PLAN NOTES**
1. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING BUILDING LINES, BUILDERS RESPONSIBLE FOR LOCATING ALL EXISTING CONSTRUCTION LINES AND EXISTING UTILITY LINES. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND STRUCTURES SHOWN ABOVE. APPROPRIATE ELEVATIONS FOR EXISTING UTILITIES SHALL BE OBTAINED FROM THE UTILITY COMPANIES AND SHOWN ON THE SITE PLAN. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND STRUCTURES SHOWN ABOVE.
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**FLOOR PLAN NOTES**

1. TOP OF SLAB IN OPEN LIVING AREA TO MATCH EXISTING
2. ALL ROOMS TO MATCH EXISTING CEILING HEIGHT
3. CONTRACTOR TO VERIFY EXISTING CONDITIONS AND STRUCTURAL INTEGRITY OF EXISTING RESIDENCE PRIOR TO CONSTRUCTION
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**SQUARE FOOTAGE**

ADDED LIVING AREA	628 SF
COVERED PORCH	38 SF
COVERED PATIO	84 SF
GARAGE APRON	65 SF
GARAGE	512 SF
ADDED AREA	184 SF
EXISTING GARAGE	508 SF

**Kent & Kent**  
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Architects

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PLAN NO. 6235  
DATE: 05/14/07  
1/8" = 1'-0"

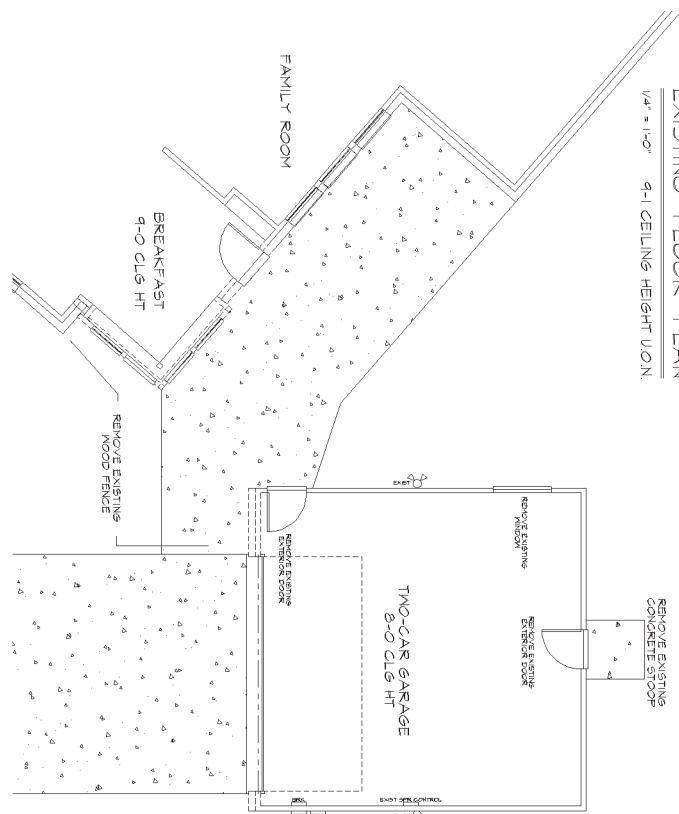
RESIDENCE FOR: STEVEN AND DEBRA ALLISON  
PROJECT LOCATION: 1303 LAMBOURNE - SPRING, TEXAS  
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**A | B | D**

**N.C.B.D.C.**

Professional Engineer Seal

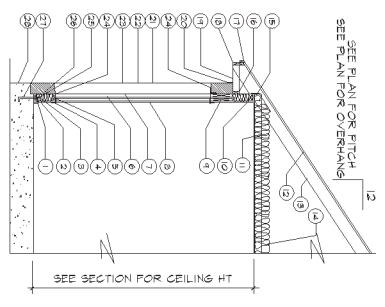
EXISTING FLOOR PLAN  
1/4" = 1'-0" 9'-1" CEILING HEIGHT U.O.N.



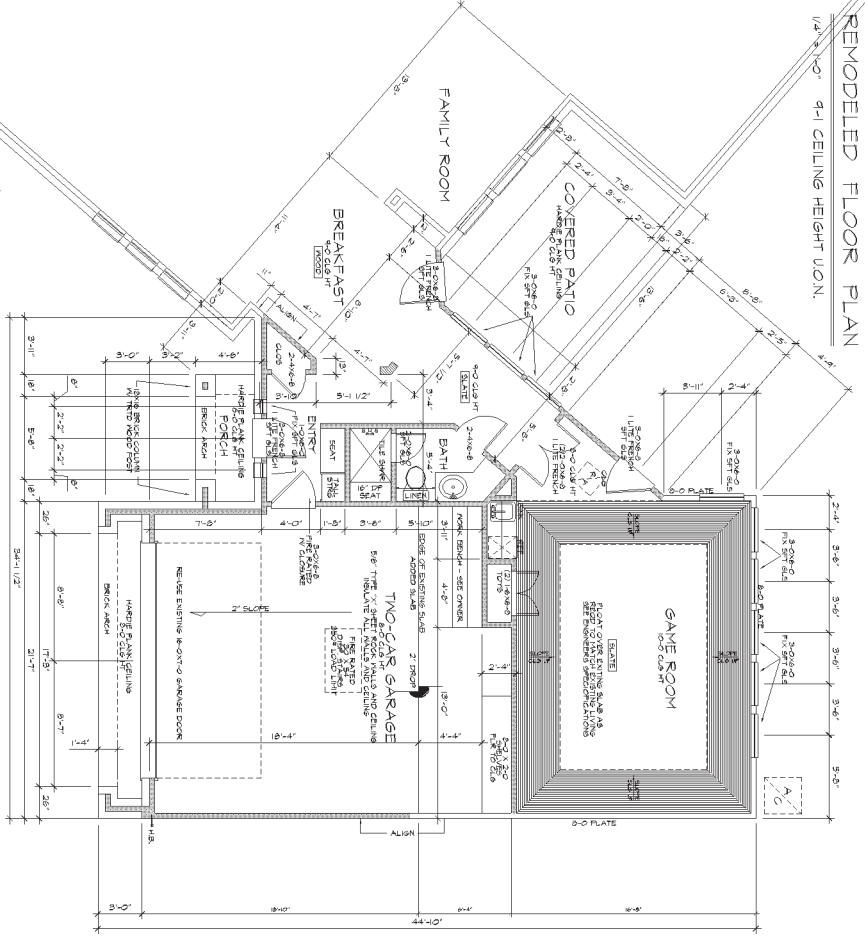
FRAMING LEGEND

1. INTERIOR EXISTING/NEW
2. 1/2" STRUCTURE OR SLAB ONE HOUR FIRE RATED STRUCTURE
3. SEE PLAN FOR LOCATION REQUIRED TO BE REMOVED
4. AND ABOVE EXISTING/NEW FLOOR FINISHES
5. 2" STOPS AT 8'-0" MAX (SEE PLAN FOR STOP NOTION OPTION)
6. 2" STOPS AT 8'-0" MAX (SEE PLAN FOR STOP NOTION OPTION)
7. 1" TRIM, HORIZONTAL BRACKET & WINDOW WEAVER MASTIC AT ALL OPENINGS
8. WINDOW OPENING SEE PLAN FOR SIZE
9. 2" STOP AT 8'-0" MAX (SEE PLAN FOR STOP NOTION OPTION)
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BRICK WALL SECTION  
SCALE 3/8" = 1'-0"



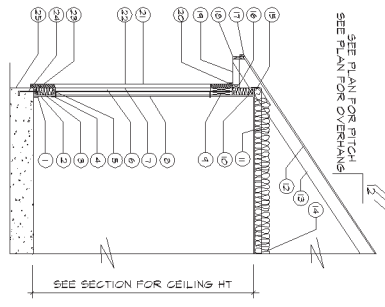
REMODELED FLOOR PLAN  
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SIDING WALL SECTION  
SCALE 3/8" = 1'-0"



MATERIAL LEGEND

- EXISTING WALL(S) TO REMAIN
- EXISTING WALL(S) TO BE REMOVED
- NEW CONSTRUCTION - 2x4 STUDS
- NEW WALLS TO LINE UP WITH EXISTING WHERE POSSIBLE - ADD DIMENSIONS ACCORDINGLY

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