

Synergy Home Inspections

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PROPERTY INSPECTION REPORT

Prepared For: **Rudi Herrera**

(Name of Client)

Concerning: **28703 Leon River Ct., Spring, TX 77386**

(Address or Other Identification of Inspected Property)

By: **Synergy Home Inspections - 9041**

08/25/2017

(Name and License Number of Inspector)

(Date)

(Name, License Number Sponsoring Inspector)

PURPOSE, LIMITATIONS AND INSPECTOR / CLIENT RESPONSIBILITIES

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions. If any item or comment is unclear, you should ask the inspector to clarify the findings. It is important that you carefully read ALL of this information.

This inspection is subject to the rules ("Rules") of the Texas Real Estate Commission ("TREC"), which can be found at www.trec.texas.gov.

The TREC Standards of Practice (Sections 535.227-535.233 of the Rules) are the minimum standards for inspections by TREC-licensed inspectors. An inspection addresses only those components and conditions that are present, visible, and accessible at the time of the inspection. While there may be other parts, components or systems present, only those items specifically noted as being inspected were inspected. The inspector is NOT required to turn on decommissioned equipment, systems, utility services or apply an open flame or light a pilot to operate any appliance. The inspector is NOT required to climb over obstacles, move furnishings or stored items. The inspection report may address issues that are code-based or may refer to a particular code; however, this is NOT a code compliance inspection and does NOT verify compliance with manufacturer's installation instructions. The inspection does NOT imply insurability or warrantability of the structure or its components. Although some safety issues may be addressed in this report, this inspection is NOT a safety/code inspection, and the inspector is NOT required to identify all potential hazards.

In this report, the inspector shall indicate, by checking the appropriate boxes on the form, whether each item was inspected, not inspected, not present or deficient and explain the findings in the corresponding section in the body of the report form. The inspector must check the Deficient (D) box if a condition exists that adversely and materially affects the performance of a system or component or constitutes a hazard to life, limb or property as specified by the TREC Standards of Practice. General deficiencies include inoperability, material distress, water penetration, damage, deterioration, missing components, and unsuitable installation. Comments may be provided by the inspector whether or not an item is deemed deficient. The inspector is not required to prioritize or emphasize the importance of one deficiency over another.

Some items reported may be considered life-safety upgrades to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards or Deficiencies below.

THIS PROPERTY INSPECTION IS NOT A TECHNICALLY EXHAUSTIVE INSPECTION OF THE STRUCTURE, SYSTEMS OR COMPONENTS. The inspection may not reveal all deficiencies. A real estate inspection helps to reduce some of the risk involved in purchasing a home, but it cannot eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is recommended that you obtain as much information as is available about this property, including any seller's disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for or by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should also attempt to determine whether repairs, renovations, remodeling, additions, or other such activities have taken place at this property. It is not the inspector's responsibility to confirm that information obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous or future reports.

ITEMS IDENTIFIED IN THE REPORT DO NOT OBLIGATE ANY PARTY TO MAKE REPAIRS OR TAKE OTHER ACTIONS, NOR IS THE PURCHASER REQUIRED TO REQUEST THAT THE SELLER TAKE ANY ACTION. When a deficiency is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods. Evaluations by

qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions. Examples of such hazards include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathrooms, kitchens, and exterior areas;
- malfunctioning arc fault protection (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined.

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered" because they were present prior to the adoption of codes prohibiting such conditions. While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate licensees also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms require a seller to remedy conditions revealed by an inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for the sale or purchase of the home.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

Mold/mildew investigations are not included with this report as it is beyond the scope of this inspection at the present time. Any reference of water intrusion is recommended that a professional investigation be obtained.

The pictures that accompany this property inspection report do not represent all of the deficiencies in the home. The pictures are a courtesy to the purchaser of the report to give a visual example of some of the deficiencies that have been observed by this firm. The buyer should not assume that all of the deficiencies have been documented by photo.

For purposes of this report, all directions (left, right, rear, etc.) are taken from the viewpoint of an observer standing in front of the building or object and facing it.

I=Inspected	NI=Not Inspected	NP=Not Present	D=Deficient
I	NI	NP	D

I. STRUCTURAL SYSTEMS

A. Foundations

Type of Foundation(s): Post Tension Slab

Comments:

Note: *The foundation performance opinion stated below neither in anyway addresses future foundation movement or settlement, nor does it certify the floors to be level. Weather conditions, drainage, leakage, and other adverse factors are able to affect structures, and differential movements are likely to occur due to the expansive nature of the soils in the Houston and surrounding areas. The inspector's opinion is based on visual observations of accessible and unobstructed areas of the structure at the time of the inspection. In most cases, floor coverings and/or stored articles prevent recognition of signs of settlement - cracking in all but the most severe cases. It is important to note that specialized testing done of any sub-slab plumbing systems was not performed during this limited visual inspection, as these are specialized processes. Future performance of the structure cannot be predicted or warranted. Should you have present or future concerns regarding the foundation's condition, you are strongly advised to consult with a licensed Professional Engineer for further evaluation.*

SUGGESTED FOUNDATION MAINTENANCE & CARE - *Due to the expansive nature of the soil in the Houston area, a frequent foundation-watering program is recommended. Consistent watering at the entire perimeter of the slab can help prevent further and/or future settlement and damage. Drainage must be directed away from all sides of the foundation with grade slopes.*

Inspector's opinion on foundation performance: There was no movement of concern at the time of the inspection.

B. Grading and Drainage

Comments:

Note: *During heavy rains, the accumulation of water on this lot may be unavoidable. An evaluation of the soil stability is beyond the scope of this inspection. The client is advised to keep soil levels 4"-8" from the top of the slab and graded away to promote positive drainage and prevent water from ponding around the foundation. High soil levels are a conducive condition to wood-destroying insects. The installation of gutters and other mechanisms of collecting rain water from the roof runoff and discharging it away from the home should be considered on all homes as it is required by current codes.*

C. Roof Covering Materials

Types of Roof Covering: Composite Shingles

Viewed From: Viewed From Ground Level With Binoculars

Comments:

Notice: *Life expectancy of the roofing material is not covered by this property inspection report. If any concerns exist about the roof covering life expectancy or potential for future problems, a roofing specialist should be consulted. The Inspector cannot offer an opinion or warranty as to whether the roof has leaked in the past, leaks now, or may be subject to future leaks, either expressed or implied. The inspection of this roof may show it to be functioning as intended or in need of minor repairs. This inspection does not determine the insurability of the roof. You are strongly encouraged to have your Insurance Company physically inspect the roof, prior to closing, to fully evaluate the insurability of the roof.*

Unable to view the entire roof due to the height and a viewable location from the ground. Other structures prevented visual access to the roof, therefore this inspection is limited.

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Issues:

- **Observed shingles that have little sealant bond strength and can easily be lifted by hand.**
- **Shingles lifted in on roof. Due to possible wind lift. All shingles should lay flat. Inspector found that the shingle nails were not properly driven flush with under shingle causing current condition. Recommend having nails driven flush with under shingle and if necessary use T114 or some other roof mastic to insure shingles lay flat. Recommend repairs by a licensed roofing company.**
- **J-Flashing is installed where the vertical side wall and roof meet together. The International Residential Code for One and Two family dwellings in section R905.2.8.4 states flashing against a vertical sidewall shall be by the "step-flashing" method and shingle manufacturers specify the flashing should be "step flashing" also. Although the City of Houston has removed this section from the City of Houston adopted code, the client is advised that "J-Flashing" offers no protection for wind uplift of the shingles and this flashing is more prone to water intrusion. If replacing the roof, it is recommended to have your roofing contractor use "step flashing".**



D. Roof Structures and Attics

Viewed From: Attic

Approximate Average Depth of Insulation: Approx. 9-10 Inches

Comments:

Note: Due to the attic configuration and safety concerns, the entire attic space was not closely observed. Remote and otherwise inaccessible areas were not fully inspected.

Issues:

- **Recommend installing 12 inches of attic insulation to make the home more efficient. 12 inches of insulation equals an R-30 value, which is the recommend R-value for this part of Texas.**
- **The attic access door is missing insulation. Attic access doors/latches are not insulated nor are they air tight. This lack of insulation and air sealing allows heat to escape up into the attic in the winter and brings hot air into the home in the summer.**

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E. Walls (Interior and Exterior)

Comments:

Inspection of interior and exterior walls focuses on structural performance and water penetration issues. The condition of surface finishes and cosmetic blemishes are not noted, except where they may contribute to or be symptomatic of other problems. Areas enclosed within finished walls and concealed flashing details (e.g., doors, windows, brick ledges, etc.) are not accessible and beyond scope of the inspection. Home furnishings, artwork, personal items, heavy foliage, etc. can obscure damage, water stains, prior repairs etc., and preclude assessment of these conditions.

Mold/mildew investigations are not included with this report as it is beyond the scope of this inspection at the present time. Any reference of water intrusion is recommended that a professional investigation be obtained.

Note: Structure occupied. Complete interior walls not visible during inspection due to furnishings.

Issues:

- **Firewall between the attached garage and living area has been damaged with the PEX plumbing system installation. The firewall should not be broken and is considered a safety concern in this Inspectors' opinion. The following 2009 International Residential Building Code is provided for your reference: R302.6 Dwelling/garage fire separation. The garage shall be separated as required by Table R302.6. Openings in garage walls shall comply with Section R302.5.**



F. Ceilings and Floors

Comments:

Inspection of ceilings and floors focuses on structural performance and water penetration issues. The condition of surface finishes and cosmetic blemishes are not noted, except where they may contribute to or be symptomatic of other problems. Areas concealed within finished spaces are not accessible and beyond scope of the inspection. Home furnishings, artwork, personal items, etc. can obscure damage, water stains, prior repairs etc., and prevent assessment of these conditions.

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Note: Structure occupied. Complete flooring not visible during inspection due to furnishings.

Living Room

Issues:

- **There is evidence of moisture penetration from an undetermined source to the ceiling.**



- G. Doors (Interior and Exterior)**
Comments:

Issues:

- **Unable to verify if door between house and garage is not proper fire rated door. Door between garage and house requires a fire rating of 20 minutes and or 1 3/8 solid core door. Door also required to be self closing door.**

- H. Windows**
Comments:

Note: Unable to operate all of the windows, due to heavy storage and/or furniture.

- I. Stairways (Interior and Exterior)**
Comments:

- J. Fireplaces and Chimneys**
Comments:

Notice: The chimney review is limited to the visible/accessible components only. Examination of concealed/inaccessible portion of the chimney is beyond the scope of this inspection. This includes determining the presence of a flue lining, or if lining is present. The inspector is not required to inspect mantles and fireplace surrounds, ignite or extinguish fires, or determine draft characteristic.

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K. Porches, Balconies, Decks, and Carports
Comments:

L. Other
Comments:

jhghghj

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II. ELECTRICAL SYSTEMS

A. Service Entrance and Panels

Comments:

Types: Circuit Breakers

Inspection of the electrical service system is limited to visible and accessible components of the entrance cable, meter box, service panel and the visible portions of the wiring. A large portion of the electrical system is hidden behind walls and ceilings and not all the conditions relating to these inaccessible areas can be known. Where possible, the cover of the service panel is removed to investigate the conditions in it. While some deficiencies in an electrical system are readily discernible, not all conditions that can lead to the interruption of electrical service, or that may be hazardous, can be identified through a visual inspection. Auxiliary electrical systems such as generators and transfer switches are not inspected. No assessment as to the adequacy of the service capacity relative to current or future consumption is performed. Length of embedded or buried equipment grounding electrodes cannot be determined by visual observation. No resistance measurement of equipment grounding electrodes is performed. Lightning arrestor systems and solar panels are not inspected. No assertion as to the insurability of the property is made.

Issues:

- Numerous branch circuit cables are improperly entering the main service entrance panel through a single large knock out located at the bottom of the panel box. Under current and past electrical standards branch circuit cables shall be individually secured to the panel box, cabinet, cut out box, or meter socket enclosure with appropriate clamps at the knock out interface. The panel, as installed, does not comply with current and past fire regulations.



- There is no antioxidant paste on the aluminum feeder wires where they connect to the main breaker.

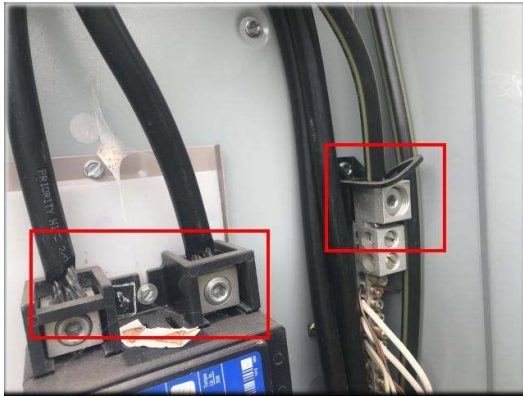
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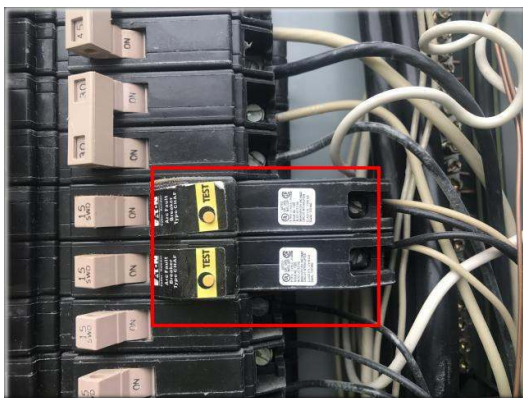
I	NI	NP	D
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- **More than one Neutral and or Grounding conductor (wires) improperly clumped together under one terminal connection. Terminals in general are listed to accept no more than one wire per termination.**

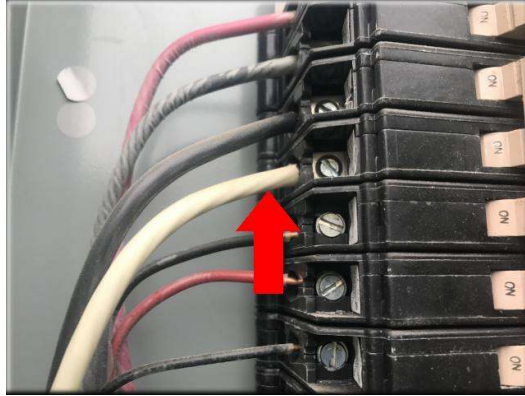


- **Observed branch feeder AFCI's and not the combination type.**



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- **Observed improper use of normal wire conductor colors. Observed black wire used for other than ungrounded / hot conductors, white wire used for other than grounded / neutral, and/or bare green wire use for other than grounding conductors.**



B. Branch Circuits, Connected Devices, and Fixtures

Type of Wiring: Copper

Comments:

Inspection of the electrical distribution system is limited to the visible and accessible components of the distribution wiring, outlets, switches and connected devices. The absence of GFCI and AFI protection devices in required locations is reported. A large portion of the electrical system is hidden behind walls and ceilings and not all the conditions relating to these inaccessible areas can be known. While some deficiencies in an electrical system are readily discernible, not all conditions that can lead to the interruption of electrical service, or that may be hazardous, can be identified though a visual inspection. Low voltage and ancillary electrical systems such as low voltage lighting systems, landscape lighting, generators, communication, entertainment systems, etc. are not inspected. No load analysis or capacity / demand calculations of branch circuits are performed.

Not all outlets were checked or inspected due to furnishings in an occupied residence.

Issues:

- **Water heater has a cord and plug connection. Cord and plug connection not permitted. NEC422-16(a)**
- **Smoke detectors appear to be old. Smoke detectors have a limited life expectancy. Check units for expiration or manufacture date and replace any unit that is expired or is 10 or more years old or past it's expiration date. Old detectors were not activated / tested because they are not reliable and should be replaced.**
- **Fixture not secured inside the utility closet.**

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I	NI	NP	D
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III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

A. Heating Equipment

Type of Systems: Central Forced Air

Energy Sources: Electric

Comments:

The objective of our limited visual heating and cooling (HVAC) inspection is to determine if the HVAC and related equipment may benefit from a more thorough inspection by a qualified HVAC contractor. The scope of our inspection includes but is not limited to a visual inspection of the HVAC electrical system, visual inspection of the fan, the compressor, the coils (if accessible without opening a protective cabinet or shroud), the burners of a gas fired appliance, the flues and chimneys, the filter, and the thermostat. We do not dismantle components such as heat exchangers or coils. We do not test for refrigerant leaks or adequate pressure in the refrigerant lines. We do not test or operate electronic filters, humidifiers, or programmable thermostats. If the client has concerns it is highly recommended that a qualified contractor further evaluate the HVAC system prior to closing.

Because of the extreme outdoor temperatures, unit(s) was turned on to ensure operation, but was not heated to typical room temperatures.

B. Cooling Equipment

Type of Systems: Central Forced Air Split System

Comments:

Notice: Temperature differential readings are a fundamental standard for testing the proper operation of the cooling system. The normal acceptable range is considered approximately between 15 to 23 degrees F. total difference between the return air and supply air. Unusual conditions such as excessive humidity, low outdoor temperatures, and restricted airflow may indicate abnormal operation even through the equipment is functioning basically as designed and occasionally may indicate normal operation in spite of an equipment malfunction.

Issues:

- **Bottom of casing has rust pitting, consistent with limited serviceable life.**



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I	NI	NP	D
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C. Duct Systems, Chases, and Vents

Comments:

Mold/mildew investigations are not included with this report as it is beyond the scope of this inspection at the present time.

Issues:

- **Areas where the a/c ducts are touching. These areas are likely to produce condensation and cause an inefficient system.**



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IV. PLUMBING SYSTEM

A. Plumbing Supply, Distribution Systems and Fixtures

Location of water meter: Front of home
Location of main water supply valve: Unable to locate
Static water pressure reading: 60

Comments:

Types: PEX (WHERE VISIBLE AND/OR ACCESSIBLE)

B. Drains, Wastes, and Vents

Comments:

While some water was run down the drains, this cannot simulate the waste flows characteristic of full occupancy. Therefore hidden or inaccessible leaks could be present during the inspection and not be visible to the inspector at the time of the inspection. There may be partial blockage of the sanitary drain lines buried in the yard, from broken pipes or tree roots. Examination of such partial blockage is beyond the scope of this inspection. If drain stoppages occur, you should consult a licensed plumber immediately. Portions of the plumbing system concealed by finishes and/or storage (below sinks, etc.), below the structure, and beneath the yard were not inspected. Floor drains are not inspected.

Issues:

- All exterior PVC roof plumbing should be painted to prevent damage from the sun.**



C. Water Heating Equipment

Energy Sources: Plug In
Capacity: 50 Gallon

Comments:

Issues:

- The water heater is located indoors without a drain pan or drain pan discharge line. If the tank were to rupture it would damage walls and possibly the flooring.**

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I NI NP D



- **The 90 degree elbow is missing / damaged on the water heater drain line termination.**



D. Hydro-Massage Therapy Equipment
Comments:

E. Other
Comments:

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V. APPLIANCES

- A. Dishwashers**
Comments:
- B. Food Waste Disposers**
Comments:
- C. Range Hood and Exhaust Systems**
Comments:
- D. Ranges, Cooktops, and Ovens**
Comments:
- E. Microwave Ovens**
Comments:
- F. Mechanical Exhaust Vents and Bathroom Heaters**
Comments:

Upstairs Hallway Bathroom

Issues:
 - **Inoperable.**
- G. Garage Door Operators**
Comments:

Issues:
 - **Garage door lock should be made inoperable to prevent damage if opened with the remote control for the opener while the door is locked.**

 - **Unable to determine if the door opener is equipped with a safety reverse device since unreasonable resistance was required to stop the door in motion. This is a safety concern that should be reviewed by a qualified specialist prior to closing for repairs/replacement as needed to ensure safety.**
- H. Dryer Exhaust Systems**
Comments:
Observed a vertical dryer vent; the dryer vent should be inspected and cleaned periodically to prevent lint build up which can be a potential fire hazard.
- I. Other**
Comments:

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VI. OPTIONAL SYSTEMS

- A. Landscape Irrigation (Sprinkler) Systems**
Comments:

- B. Swimming Pools, Spas, Hot Tubs, and Equipment**
Type of Construction:
Comments:

- C. Outbuildings**
Comments:

- D. Private Water Wells (A coliform analysis is recommended.)**
Type of Pump:
Type of Storage Equipment:
Comments:

- E. Private Sewage Disposal (Septic) Systems**
Type of System:
Location of Drain Field:
Comments:

- F. Other**
Comments: