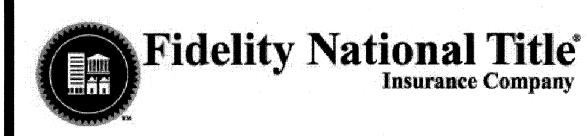
18918 Squirrel Oaks Drive

Being Lot 4, in Block 2, Glen Oaks, Section One (1), a subdivision of 23.29 acres of land in the Cyrus T. Ward Survey, A-612, Montgomery County, Texas, according to the map or plat thereof recorded in Cabinet V, Sheets 76 and 77, of the Map Records of Montgomery County, Texas.



LEGEND O 1/2" ROD FOUND ⊗ 1/2" ROD SET ☑ "X" FOUND/SET

++ 60d NAIL FOUND FENCE POST FOR CORNER

CM CONTROLLING MONUMENT

AC AIR CONDITIONER

PE POOL EQUIPMENT

TE TRANSFORMER PAD **■** BRICK COLUMN

• POWER POLE

UNDERGROUND ELECTRIC OVERHEAD ELECTRIC

---OHP----OVERHEAD ELECTRIC **POWER**

---OES----OVERHEAD ELECTRIC **SERVICE**

> CHAIN LINK

П WOOD FENCE 0.5' **WIDE TYPICAL** —— U——

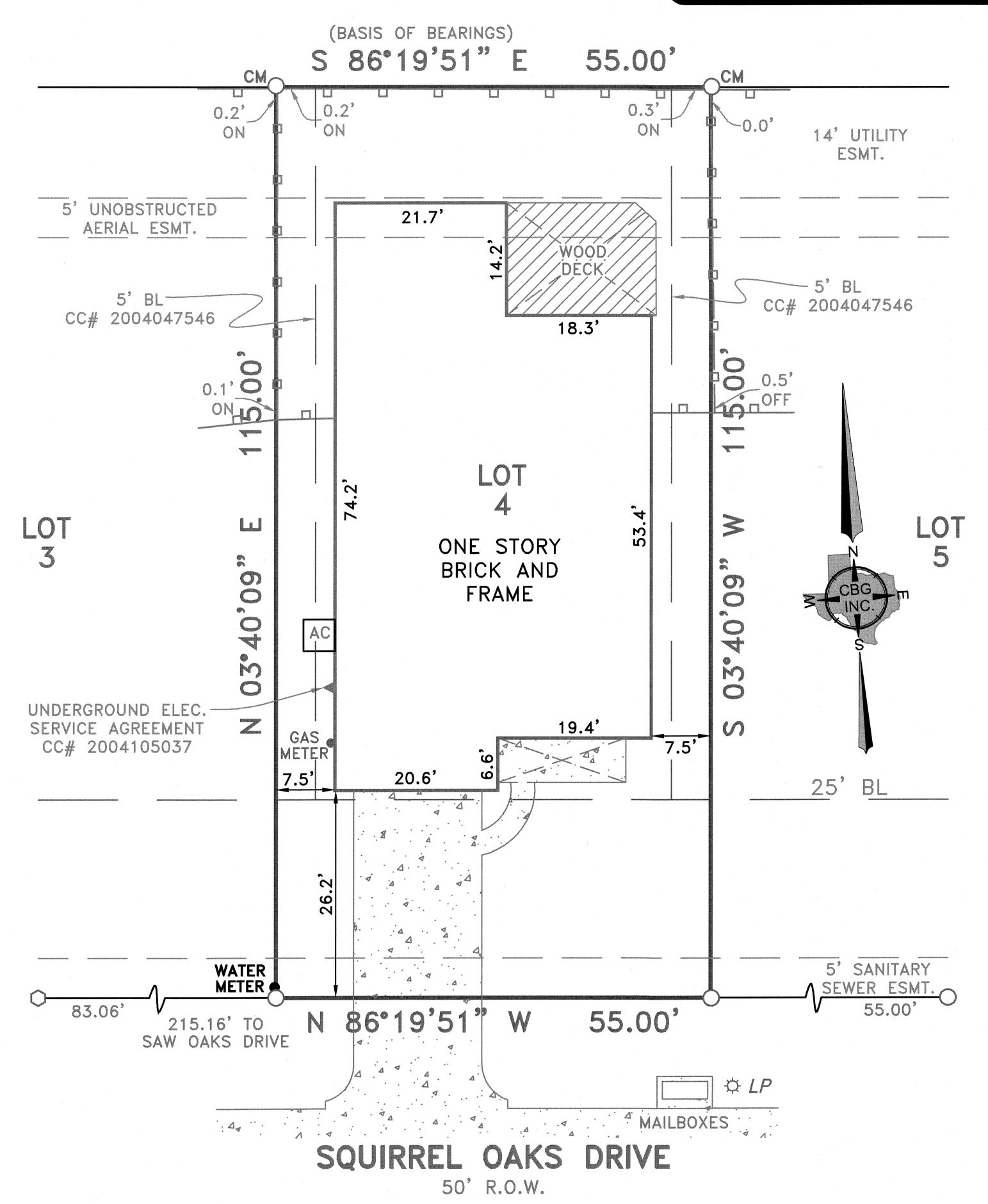
> IRON FENCE _____ DOUBLE SIDED WOOD FENCE

EDGE OF ASPHALT

EDGE OF GRAVEL CONCRETE 222 **COVERED AREA**

GRAND OAKS/ GLEN OAKS HOME OWNERS ASSOCIATION, INC. FILM CODE NO. 119-11-2237





EXCEPTIONS:

NOTE: PROPERTY SUBJECT TO TERMS, CONDITIONS, AND EASEMENTS CONTAINED IN INSTRUMENT RECORDED IN CAB. V, SHEETS 76 AND 77, CC#'S 2004047546, 2009055293, 2010012633 2015021990, 2015021991

NOTES:

NOTE: BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.

FLOOD NOTE: According to the F.I.R.M. No. 48339C0475 G, this property does lie in Zone X and does not lie within the 100 year flood zone.

This survey is made in conjunction with the information provided by Fidelity National Title Insurance Company. Use of this survey by any other parties and/or for other purposes shall be at user's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. This is to certify that I have on this date made a careful and accurate survey on the ground of the subject property. The plat hereon is a correct and accurate representation of the property lines and dimensions are as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, there are no visible and apparent encroachments or protrusions on the ground.

Drawn	By:	OR
Scale:_	1"	= 20'
Date:	09/02/15	

Borrower: BELL, III

GF No.: FTH-12-FAH15005372AP

12025 Shiloh Road, Ste. 2/5Q Dallas, TX 75228 P 214.349.9485 F 214.349.2216 Firm No. 101688 www.cbgdfw.com



Accepted by:

Purchaser Date:

Purchaser

Job No. 1513890