



American Property Inspections of Texas



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PROPERTY INSPECTION REPORT

Prepared For: Blake & Lindsay Heller

Concerning: 9114 Kirkstone Spring, TX. 77379

Inspected By: Rod Scarborough TREC License # 7189 September 28, 2020

PURPOSE, LIMITATIONS AND INSPECTOR / CLIENT RESPONSIBILITIES

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions. If any item or comment is unclear, you should ask the inspector to clarify the findings. It is important that you carefully read ALL of this information.

This inspection is subject to the rules ("Rules") of the Texas Real Estate Commission ("TREC"), which can be found at www.trec.texas.gov.

The TREC Standards of Practice (Sections 535.227-535.233 of the Rules) are the minimum standards for inspections by TREC licensed inspectors. An inspection addresses only those components and conditions that are present, visible, and accessible at the time of the inspection. While there may be other parts, components or systems present, only those items specifically noted as being inspected were inspected. The inspector is NOT required to turn on decommissioned equipment, systems, utility services or apply an open flame or light a pilot to operate any appliance. The inspector is NOT required to climb over obstacles, move furnishings or stored items. The inspection report may address issues that are code-based or may refer to a particular code; however, this is NOT a code compliance inspection and does NOT verify compliance with manufacturer's installation instructions. The inspection does NOT imply insurability or warrant ability of the structure or its components. Although some safety issues may be addressed in this report, this inspection is NOT a safety/code inspection, and the inspector is NOT required to identify all potential hazards.

In this report, the inspector shall indicate, by checking the appropriate boxes on the form, whether each item was inspected, not inspected, not present or deficient and explain the findings in the corresponding section in the body of the report form. The inspector must check the Deficient (D) box if a condition exists that adversely and materially affects the performance of a system or component or constitutes a hazard to life, limb or property as specified by the TREC Standards of Practice. General deficiencies include inoperability, material distress, water penetration, damage, deterioration, missing components, and unsuitable installation. Comments may be provided by the inspector whether or not an item is deemed deficient. The inspector is not required to prioritize or emphasize the importance of one deficiency over another.

Some items reported may be considered life-safety upgrades to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards or Deficiencies below.

THIS PROPERTY INSPECTION IS NOT A TECHNICALLY EXHAUSTIVE INSPECTION OF THE STRUCTURE, SYSTEMS OR COMPONENTS. The inspection may not reveal all deficiencies. A real estate inspection helps to reduce some of the risk involved in purchasing a home, but it cannot eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is recommended that you obtain as much information as is available about this property, including any seller's disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for or by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspector's responsibility to confirm that information obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous or future reports.

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ITEMS IDENTIFIED IN THE REPORT DO NOT OBLIGATE ANY PARTY TO MAKE REPAIRS OR TAKE OTHER ACTIONS, NOR IS THE PURCHASER REQUIRED TO REQUEST THAT THE SELLER TAKE ANY ACTION. When a deficiency is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods.

Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions.

Examples of such hazards include:

- Malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices for electrical outlets in garages, bathrooms, kitchens, and exterior areas;
- Malfunctioning arc fault protection (AFCI) devices;
- Ordinary glass in locations where modern construction techniques call for safety glass;
- Malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- Malfunctioning carbon monoxide alarms;
- Excessive spacing between balusters on stairways and porches;
- Improperly installed appliances;
- Improperly installed or defective safety devices; and
- Lack of electrical bonding and grounding; and
- Lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined.

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered" because they were present prior to the adoption of codes prohibiting such conditions. While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate licensees also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms require a seller to remedy conditions revealed by an inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for the sale or purchase of the home.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION

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AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

Additional Property Information Provided By HCAD/HAR/Inspector

Inspection Type: Single Family Residence Year built: 1999 Stories: 2 Beds: 4 Full Baths: 2 Half Baths: 1

Approx: 3010 SF Per HCAD & Per HAR Arrival Time: 8:00 Departure Time: 12:15

Present at Inspection: Buyers & Buyers Agent (near the end) Termite Inspector AC Contractor

Building Status: Vacant New Construction Furnished Partially Furnished

Weather Conditions: Overcast Approx. Outside Temperature: 70 Degrees

Utilities On: Yes No Gas No Water No Power

For the purpose of this report and all references to direction within the report (front, back, left & right sides) are based on looking at the structure from the front side.

All opinions, observations or findings (whether listed as "I, NI, NP or D") in this report are based solely on the time and date of the actual inspection. This report has been paid for and prepared for by the client/clients named above and is not valid without a signed service agreement provided for review before, during or at the time of the inspection and is non transferable to any other person/persons except for the TREC Licensed Real Estate Professional representing the client/clients named above without the written consent of the inspector performing the inspection.

A real estate inspection is a limited visual inspection and basic operation of the systems and components of a structure using normal controls and does not require the use of specialized tools or procedures. The purpose of the inspection is to provide the client with information regarding the general condition of the structure at the time of inspection. The inspector may provide a higher level of inspection performance than required by the standards of practice and may inspect parts, components, and systems in addition to those described by the standards of practice. This inspection is not an engineering report, and should not be considered one. If any cause for concern is noted on the report, or if you would like further evaluation, you should consider an evaluation by a licensed engineer.

How to read and interpret this report: It is recommended that any deficiencies marked with a if any, are further evaluated, repaired, replaced or corrected by a qualified contractor/licensed professional in that field prior to closing. These items marked with a may be in need of repair, replacement or correction, may be a priority or safety item, may possibly indicate non-compliance with current building standards that may need to be monitored on a continual basis. It is the opinion of the inspector that all items marked with a should be addressed to client's satisfaction prior to closing. It is also recommended that any items of concern/additional information provided by the inspector marked with a if any, should be corrected or monitored on a continual basis.

Pictures may be inserted below an item marked with a or to give a visual description of an item found as having a deficiency in need of repair, replacement or correction, may be a priority/safety item, may possibly indicate non-compliance with current building standards that may need to be monitored on a continual basis or may be an item in the inspectors opinion should be brought to the attention of the potential buyer.

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All recommendations/opinions, if any, given by the inspector are strictly the opinion of the inspector & should be further evaluated by a qualified contractor/licensed professional in that given field if the buyer has additional concerns/questions.

Some of the deficiencies/conditions that may be addressed marked with a or items of concern/additional information provided by the inspector marked with a in this report may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered" because they were present prior to the adoption of codes prohibiting such conditions. An exhaustive list of these deficiencies/conditions may not be listed within the report. The buyer named above should consult with the inspector if any of these deficiencies/conditions are an item of concern.

Mold/Mildew & WDI inspections are not included in this report. It is beyond the scope of this inspection.

Comments underlined in bold lettering within the report are generally FYI (for your information) and may not require any action.

Inspector's Voluntary Notice

I hereby certify that I have no interest in this property or its improvements and that neither the retention of the Inspector to perform this inspection nor the compensation thereof is contingent on the cost or extent of any reported condition, association or relationship with any party. This inspection is limited and may not comply with future revisions of the Standards of Practice as so designated by the State. At each time of sale the property is recommended to be inspected as additional disclosures and repairs may become evident to any newer standards developed. It is recommended that all properties be re-inspected every two (2) years in order to keep up with any new standards developed or added and safety concerns.



Front of home

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I	N	N	D	Inspection Item
I	P			

I. STRUCTURAL SYSTEMS

A. Foundations

Type of Foundation(s): Post Tension Slab On Grade

Comments:

The performance of the foundation described within this report does not in anyway address future settlement or movement. Due to the expansive nature of the soil in the Houston area it is recommended that the foundation be monitored on a regular basis and the moisture content of the soil surrounding the foundation be kept at a consistant level.

The inspection of the foundation is limited to the visual observation of the accessible exterior and interior structural components at the time of the inspection. The inspector does not perform engineering studies or measurments. There are many factors which could limit the accuracy of the assessment of foundation performance. These include but may not be limited to: landscaping, patios, painting, repairs, areas behind walls, furnishing, decking, etc.

Foundation movement usually tends to produce a few large cracks, usually at least 1/16th inch wide, rather than a lot of small cracks. Cracks in brick veneer due to foundation movement will normally extend from the top of the wall to the bottom of the wall.

Cracking usually will be tapered if caused by foundation movement. By tapered I mean that the crack will be wider at the top or the bottom. If a crack is due to foundation movement, it will almost never be the same width at the top and bottom; such a crack is more likely to be due to thermal stresses than to foundation mevement.

Considered as a whole, the pattern (meaning the location and taper) of the cracking should be consistent with a possible known mode of foundation distortion. For instance if a brick veneer wall shows cracks that were close to each other and one was wide at the top while the other was narrow at the top, it would usually be unreasonable to consider both cracks to be due to foundation movement since they are not both consistent with a known mode of foundation distortion.

Foundation movement usually results in cracks in drywall and brick veneer at weak points such as at the corners of windows and doors.

Cracks that show up after a long period of dry weather and tend to close when the weather turns wetter are usually due to foundation movement. Foundation movement can distort door openings causing doors and windows to stick and bind. Wallpaper may

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exhibit rucking at the inside corners of walls and at the intersection of walls and ceilings.

In some situations, finish floors can become perceptibly out-of-level. Unfortunately, floors are constructed out-of-level in some cases and foundations that undergo a normal range of movement can also become more or less out-of-level over time. Relating floor levelness to foundation movement is always based to a great degree on the judgment of the inspector, that judgment is always subjective and interpretative.

Brick courses, countertops and window stools can become noticeably out-of-level due to foundation distortion. These items are normally constructed to a tighter level tolerance than are floors

Foundation problems may result without proper maintenance on the homeowner's part. Maintenance may be accomplished by doing three things.

1. Provide good drainage away from the foundation.
2. Water the soils surrounding the foundation on an as needed basis.
3. Be aware of the potential for adverse affects caused by trees and shrubbery.

Soil conditions in the area are known to be unstable. A program of conscientious watering of the soil in close proximity to the foundation to maintain consistent moisture content may help stabilize foundation movement caused by soil expansion and contraction. Should there be future issues concerning foundation condition, it is the opinion of the inspector that you consult with your builder or a licensed professional structural engineer.

Recommendations/opinions are based on observations made without the use of sophisticated testing procedures. Therefore, the recommendation/opinion expressed is one of an apparent condition and not based on absolute fact.

The inspector shall: Render a written opinion as to the performance of the foundation and Report: The type of foundations; The vantage point from which the crawl space was inspected (if present). Generally report present and visible indications used to render the opinion of adverse performance, such as: Binding, out-of-square, non-latching doors, framing or frieze board separations, sloping floors, window, wall, floor or ceiling cracks or separations, rotating, buckling, cracking, or deflecting masonry cladding. Report as Deficient: Deteriorated materials, deficiencies in foundation components such as: beams, joists, bridging, blocking, piers, posts, pilings, columns, sills or subfloor. Deficiencies in retaining walls related to foundation performance, exposed or damaged reinforcement, crawl space ventilation that is not performing and crawl space drainage that is not

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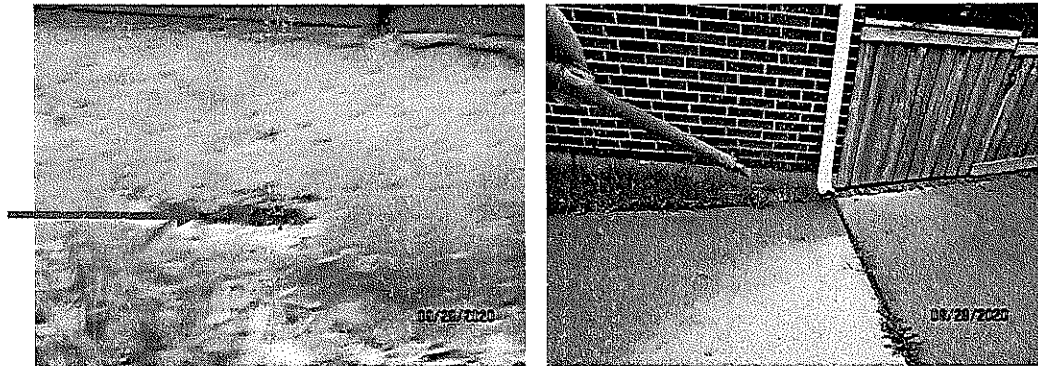
performing.

It is recommended that any deficiencies/items of concern marked with a if any, are further evaluated/repared/corrected by a contractor prior to closing.

It is the opinion of the inspector that the foundation appears to be without the obvious need of immediate remedial leveling & is providing adequate support for the structure at the time of the inspection. The inspector did not observe any apparent evidence that would indicate the presence of significant deficiencies or adverse performance to the foundation however there were deficiencies as described below. This opinion is based solely on the areas of the foundation, attic, exterior and interior of the structure that were accessible at the time of the inspection. No warranty against future settlement can be made.

A level was placed at various locations throughout the interior of the structure and the amount of deflection was minimal.

Exposed rebar was observed on the right side of the structure. Recommend sealing and monitored on a continual basis.



Trees are too close to the structure in some areas. Research has shown that large trees/shrubs that are growing close to the structure that is sitting on expansive soil may cause severe differential settlement.

B. Grading and Drainage

Comments:

Proper grading and drainage is important to maintaining proper foundation performance, preventing water penetration, avoiding wood rot and preventing conditions which are conducive to wood destroying insects. It is recommended that grade

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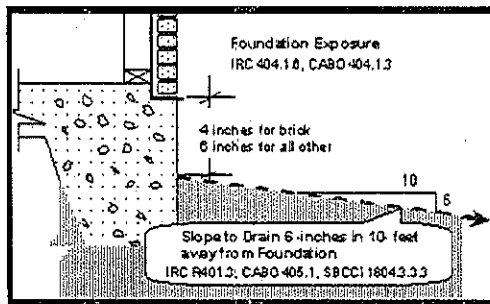
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be at a minimum of 4" from brick exteriors and 6" from wood/siding and grade sloped away from structure 6" in 10' to promote proper drainage.

Surface drainage shall be diverted to a storm sewer conveyance or other approved point of collection that does not create a hazard. Lots shall be graded to drain surface water away from foundation walls. The grade shall fall a minimum of 6 inches within the first 10'.

Exception: Where lot lines, walls, slopes or other physical barriers prohibit 6 inches of fall within 10 feet, drains or swales shall be constructed to ensure drainage away from the structure. Impervious surfaces within 10 feet of the building foundation shall be sloped a minimum of 2 percent away from the building.

All drainage and runoff shall be directed to the street. No ponding of surface water should be allowed near the structure during or after completion of rainfall/watering the yard.



The inspection of the grading/drainage is done by visual observation of the site around the structure, including surface grade, retaining walls, rain gutters, etc. Visible conditions or symptoms that may indicate a situation which may adversely affect the foundation or indicate water penetration are reported. No soil, topographical or flood plain studies are performed.

Underground yard drainage systems are not checked/inspected. The inspector does not verify that yard drains operate properly and that there are no collapsed or clogged areas. The inspector (or anyone else) is unable to induce a sufficient quantity of water to determine if the system will operate properly when needed. Observe performance during heavy rains and ensure system is maintained/cleaned.

The inspector shall report as Deficient: Drainage around the foundation that is not performing, deficiencies in grade levels around the foundation and deficiencies in installed gutter and downspout systems.

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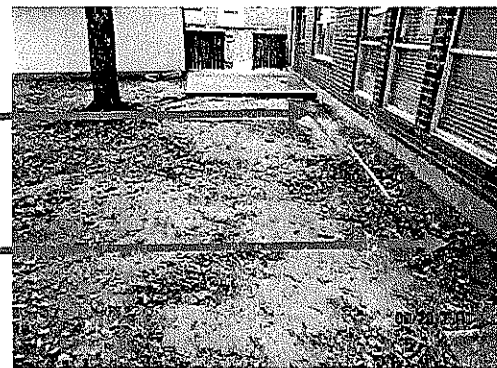
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Some remediation done through landscaping and gutter cleaning with addition of leaf filter

It is recommended that any deficiencies/items of concern marked with a ☒ if any, are further evaluated/repared/corrected by a contractor prior to closing.

☒ Grading and drainage around the structure does not appear to be functioning as intended in all areas. Signs of erosion/damage & flat/improperly sloped areas were observed on the front, back & left sides of the structure. These conditions may be conducive to ponding which may have an adverse effect on the foundation/structure. It is recommended that the drainage improvements be made in these areas or that sub-surface drainage be installed to allow the water to flow freely away from the structure & to the street as required. After the drainage improvements have been made it is recommended that the drainage around the structure should be monitored during/after heavy rains & if ponding water is observed then additional drainage improvements should be performed.



☒ The grading under the AC condenser pad is being washed away, recommend backfilling to prevent further washout & sinking of the AC pad.

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Damaged gutter down spout was observed on the right side of the structure. Recommend repair/replacing.



Partial gutters were observed. It is recommended that full gutters be installed to control the water runoff at the roof line.

C. Roof Covering Materials

Type(s) of Roof Covering: Composition

Viewed From: Viewed from the ground with binoculars from multiple points around the perimeter of the structure however this was a limited inspection due to some areas of the roof were not visible due to vegetation blocking the view. Roof was not walked due to the access required the use of specialized equipment & due to the overall roof height with wet conditions. If the buyer has any concerns about the condition of the roof covering/materials it is recommended that a qualified roofer do an overall evaluation of the roof prior to closing.

Roof is original, but was said to have 3-5 years by Eldridge roofing

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Comments:

Roof inspections are limited to the visual observation of accessible surfaces. The roof is only inspected from the roof level if it can be performed safely as determined by the inspector and without damaging the roof components. Certain types of damage/poor workmanship (improper fastening, manufacturer defects) may not be apparent at the time of the inspection therefore the inspector cannot guarantee that the roof will be free from leaks/defects, nor can the inspector determine the life expectancy of the roof. If the roof was not walked due to the reason/reasons as stated above the inspector recommends that the roof be further evaluated/inspected by a qualified roofer prior to closing. The inspector cannot be held liable for any damage/leaks or repairs to the roof after the original date of the inspection.

This report is based on the general condition of the roof at the time of the inspection. Keep in mind roof materials have a limited life and need regular maintenance/repairs. It is opinion of the inspector that the roof and rain gutters should be kept clear of all debris and monitored on a continual basis to prevent possible future water penetration.

The inspector shall: Inspect the roof covering materials from the surface of the roof; Report the type of roof coverings, vantage point from where the roof was inspected, evidence of water penetration, evidence of previous repairs to the roof covering material, flashing details, skylights and other roof penetrations and report as deficient deficiencies in: Fasteners, adhesion, roof covering materials, flashing details, skylights and other roof penetrations.

It is recommended that any deficiencies/items of concern marked with a if any, are further evaluated/repaired/corrected by a qualified roofer prior to closing.

The homeowner and/or seller's disclosure should be consulted regarding the exact age of the roof covering. It is important to inspect the roof at least twice a year (spring & fall) and after heavy storms.

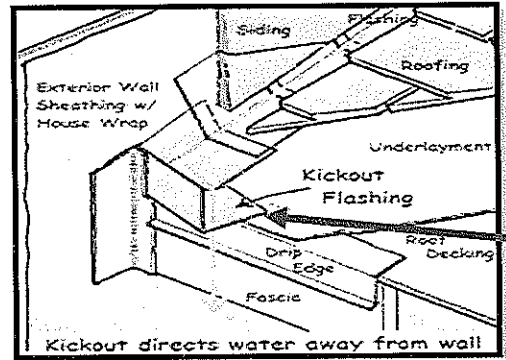
Roof covering/materials appeared to be functioning as intended & showed signs of aging however there were deficiencies as described below. It is recommended that the roof be further evaluated by a qualified roofer prior to closing & budgeting for replacement in the future be considered. It is also recommended that the roof be monitored during times of rain to determine if any leaks are present.

Kick out flashing is not installed at the roof/wall line in the recommended areas. Due to the volume of water that can pour down a sloped roof one of the most critical flashing details occurs where a roof intersects a sidewall.

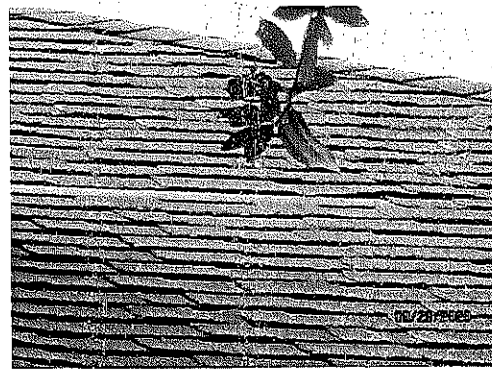
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What appeared to be damaged/missing shingles were observed on the front, left & back sides of the roof. Recommend repair/replacement.



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Shingle granule loss exposing asphalt was observed in some areas. Recommend replacement.

Nail backing out of roof decking pushing the flashing upward was observed on the front side of the roof. Recommend driving back in & sealing.

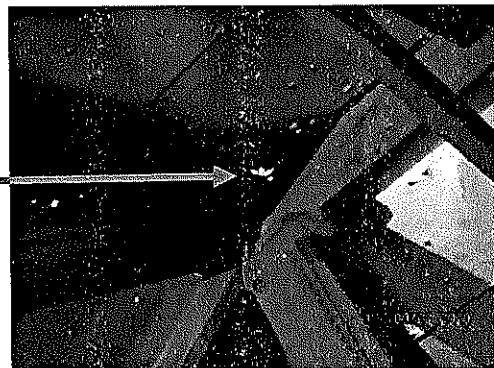
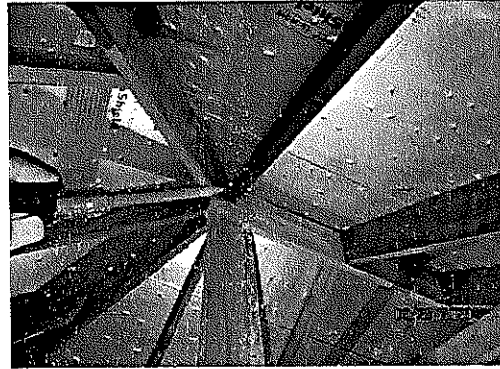
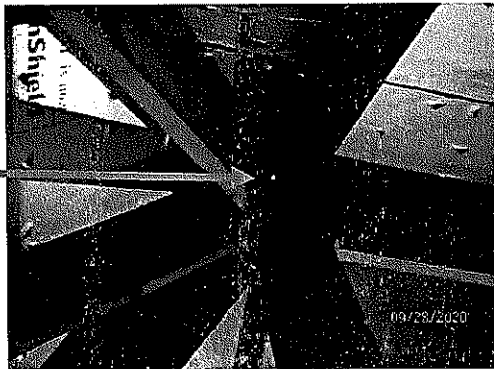


Small holes in the roof decking & shingles were observed from the interior of the attic space at both ends of the main ridge beam. Recommend further evaluation/repair.

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D. Roof Structures and Attics

Attic viewed from: Entered attic space

Attic access location: Hallway

Attic structure consisted of: Rafters, Collar Ties, Joists, Bracing & Purlins

Rafter Size/Spacing: 2" x 6" & 2" x 8" w/ varied spacing

Attic ventilation consisted of: Ridge Vents & Soffit Vents

Insulation type: Blown & Blanket

Approx. Average Thickness of Vertical Insulation: Approx. 6" where accessible.

Approx. Depth of Insulation: Approx. 8-"10" where accessible.

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Comments:

The inspection of the roof structure and attic is performed via visual observation of the areas and components which are safely accessible at the time of the inspection.

Attic space in a Houston area home is one of the most important areas for insulation. Attic floor insulation should be at least R-19, however for increased efficiency R-30 is preferred. The following illustrates typical R-values per inch for commonly used insulations.

<u>Insulation Type:</u>	<u>R-Value per inch:</u>
<u>Fiberglass Blanket or Batt</u>	<u>2.9 to 3.8 (Use 3.2)</u>
<u>Expanded Polystyrene Board</u>	<u>3.6 to 4 (Use 3.8)</u>
<u>High Performance Fiberglass Blanket</u>	<u>3.7 to 4.3 (Use 3.8)</u>
<u>Loose-fill Cellulose</u>	<u>3.4 to 3.7 (Use 3.5)</u>
<u>Loose-fill Fiberglass</u>	<u>2.3 to 2.7 (Use 2.5)</u>
<u>Loose-fill Rock Wool</u>	<u>2.7 to 3.0 (Use 2.8)</u>

The inspector shall: Report the vantage point from which the attic space was inspected, approximate average depth of attic insulation, evidence of water penetration, report as Deficient: Attic space ventilation that is not performing, deflections or depressions in the roof surface as related to adverse performance of the framing and decking, missing insulation, deficiencies in installed framing members and decking, attic access ladders and access openings and attic ventilators.

It is recommended that any deficiencies/items of concern marked with a if any, are further evaluated/repared/corrected by a qualified tradesman/contractor prior to closing.

Roof structure/attic appeared to be stable and functioning as intended however this was a limited visual inspection & there were deficiencies observed as described below.

The roof decking is constructed from Tech Shield Radiant Barrier. This type of material limits the visual capability to detect possible moisture penetration/roof deck staining due to the aluminum type finish.

This was a limited attic inspection due to limited access & due to some areas were obstructed by duct work, equipment and insulation and were not accessible which limits the overall inspection of the roof and attic structure.

The attic access ladder is damaged/missing hardware. Recommend repair/replacing.

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I	N	N	D	Inspection Item
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An open un-insulated chase was observed in the attic space. Recommend sealing to help reduce energy cost.



The attic access ladder is missing fasteners. Recommend installing fasteners as per manufactures specifications.

Missing/thin insulation was observed on the front right side of the attic space. Recommend adding insulation to help reduce energy cost.

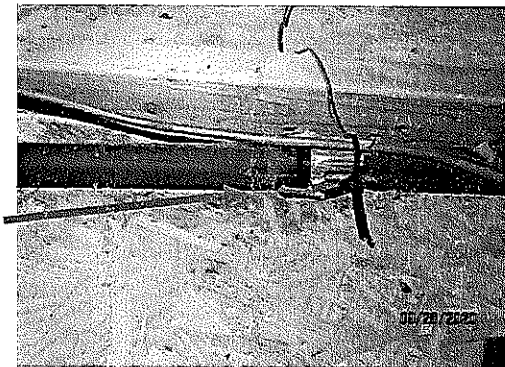
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Existing/previous moisture penetration/staining was observed in the attic decking by the upstairs HVAC equipment. A moisture reading was performed in & moisture was detected at the time of the inspection.

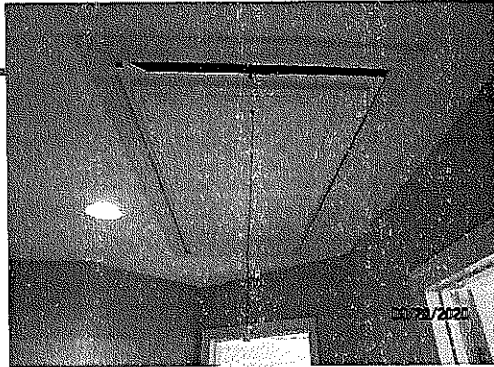


The attic access does not properly seal when closed. Recommend sealing to help reduce energy cost.

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The attic access is missing weather stripping & insulation. Recommend sealing to help reduce energy cost.



Evidence of rodent penetration was observed in some areas of the attic as noted by the fecal matter.

E. Walls (Interior and Exterior)

Comments:

The condition of the framing or other components hidden behind the exterior/interior wall finishes are unknown to the inspector, therefore no opinion is given as to there current condition. The condition of the surface finishes are not noted, unless they may contribute to or be symptomatic of other issues. Home furnishing, landscaping and other personal items, ect. may limit the assessment of existing conditions.

Separation required. The garage shall be separated from the residence and its attic area

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by not less than 1/2-inch (12.7 mm) gypsum board applied to the garage side. Where the separation is a floor-ceiling assembly, the structure supporting the separation shall also be protected by not less than 1/2-inch (12.7 mm) gypsum board or equivalent.

The inspector is not qualified to inspect for wood destroying insects. Evidence of damage to wood material, if any, may not be determined without the removal of the wall coverings. Client should obtain additional information regarding the extent and location of previous infestation, if any & the chemical & company used and any warranty if applicable, etc..

The inspector shall report evidence of water penetration. Report as Deficient the absence of performing emergency escape and rescue openings in all sleeping rooms, deficiencies related to structural performance or water penetration, claddings, water resistant materials and coatings and flashing details and terminations.

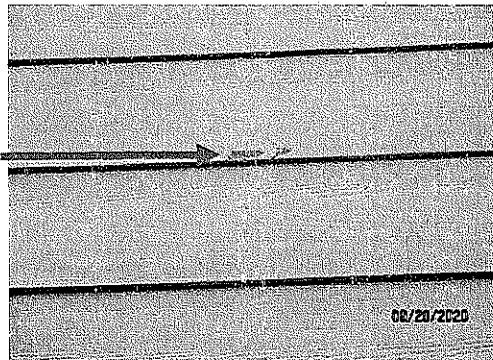
It is recommended that any deficiencies/items of concern marked with a if any, are further evaluated/repared/corrected by a qualified tradesman/contractor prior to closing.

Exterior Walls:

Type: Brick Facade with Cement Board Siding & Cement Board/Wood Trim

Exterior walls are functioning as intended however this was a limited visual, non-destructive exterior wall inspection. There were deficiencies observed as described below.

Minor peeling/missing paint was observed at various areas around the perimeter of the structure. Recommend repainting as required.



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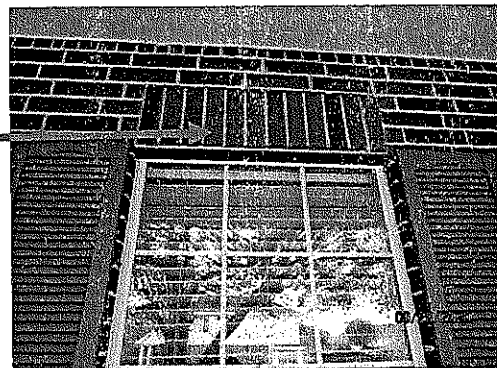
I	N	N	D	Inspection Item
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Broken brick
open hole was
repaired

Missing/damaged brick was observed around the hose bib on the back side of the structure. Recommend repair/sealing.



Weep holes are not installed over the windows/doors & at the front porch area. Weep holes should be kept free of debris and spaced at a max of 33" on center.

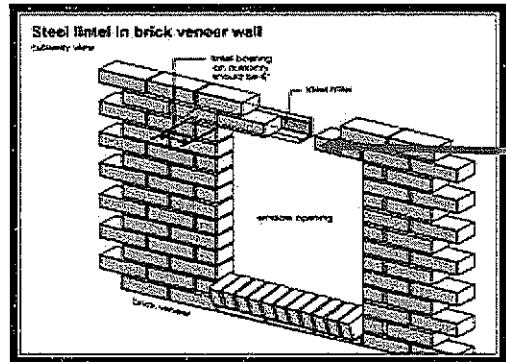


Minor rust was observed on some of the lintels at openings above the doors/windows etc. Recommend removing rust & priming/painting the lintels.

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Minor damage to the siding/trim was observed in some areas around structure.

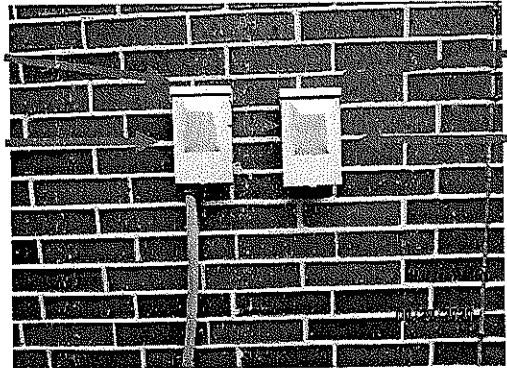
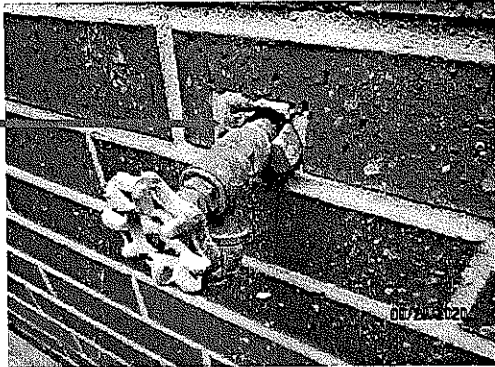


Recommend sealing all exterior penetrations to prevent possible moisture penetration including but may not be limited to: Electrical penetration, exhaust vents, door bell, electrical panel/disconnect/conduit penetrations.

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Minor missing/deterioration caulking/sealant was observed but may not be limited too, siding/trim at various locations around structure. Recommend resealing.

Expansion joints caulking on the right side of the structure is starting to deteriorate. Recommend sealing.

This was repaired

→ The trim board to the left side of the balcony is not properly secured. Recommend securing.



Interior Walls:

The inspector shall report evidence of water penetration. Report as Deficient deficiencies related to structural performance or water penetration and the absence of or deficiencies in fire separation between the garage and the living space and between the garage and its attic.

Interior walls are functioning as intended however this was a limited visual, non-destructive

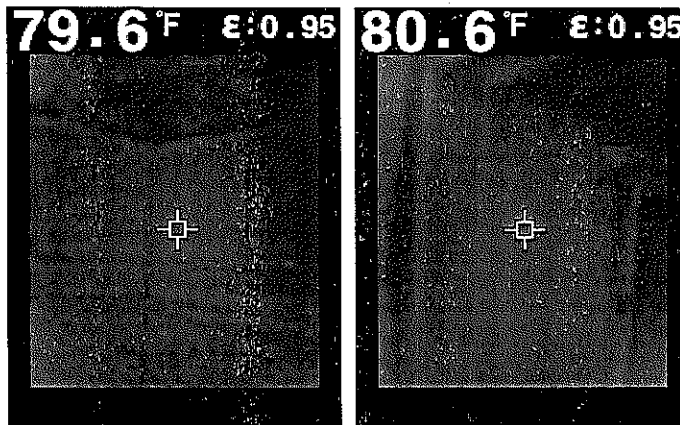
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interior wall inspection & there were deficiencies observed as described below. A moisture reading was performed at various locations & the levels were within the acceptable range except for as noted below.

A thermal imaging camera was used at the exterior walls from within the interior of the structure & no anomalies were observed at the time of the inspection based on the age of the structure.



Existing/previous moisture penetration was observed but may not be limited to the base of the wall by the back door & at the base of the wall outside the upstairs hall bathtub on the interior of the structure. A moisture reading was performed & moisture was detected at the time of the inspection. Recommend further evaluation to determine the source of the moisture & to determine if any hidden structure damage has occurred.

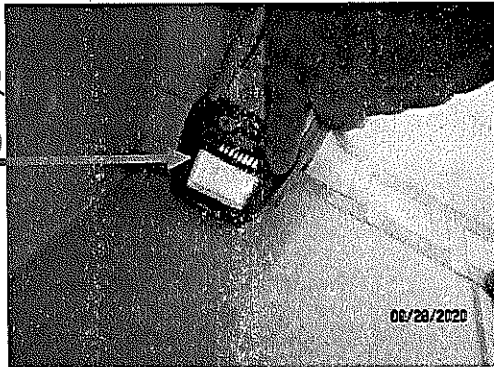


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The half bath was fully repaired all moisture affected trim and sheetrock was removed and replaced



Existing/previous moisture penetration was observed but may not be limited to the base of the wall in the half bath on the interior of the structure. A moisture reading was performed & no moisture was detected at the time of the inspection.



Minor cosmetic cracks were observed in some areas. This is normal wear & tear that is caused by movement that occurs in any structure of its life. These are considered normal wear & tear items & are not considered to be excessive or unreasonable structural deficiencies. This condition can be easily repaired with the applications of sheetrock mud or caulking.

F. Ceilings and Floors

Comments:

The condition of the framing or other components hidden behind the interior ceiling/floor finishes are unknown to the inspector, therefore no opinion is given as to their current condition. The condition of the surface finishes are not noted unless they may contribute to or be symptomatic of other issues. Home furnishing and other personal items, etc. may limit the assessment of existing conditions.

Report Identification: 9114 Kirkstone Spring, TX. 77379

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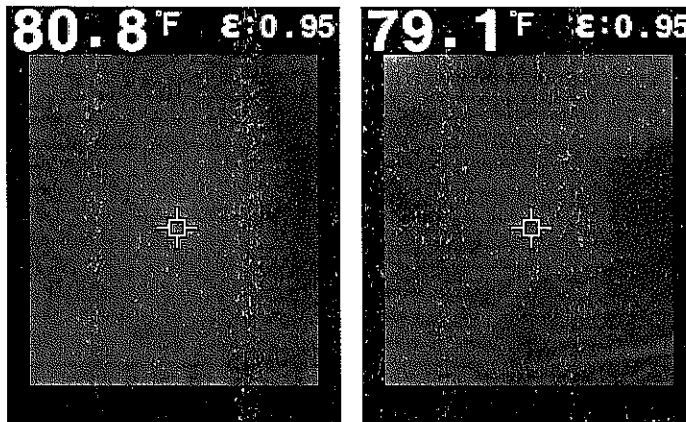
I	N	N	D	Inspection Item
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The inspector shall report evidence of water penetration. Report as Deficient deficiencies related to structural performance or water penetration and the absence of or deficiencies in fire separation between the garage and the living space and between the garage and its attic.

It is recommended that any deficiencies/items of concern marked with a if any, are further evaluated/repared/corrected by a qualified tradesman/contractor prior to closing.

Ceilings are functioning as intended however this was a limited visual, non-destructive inspection.

A thermal imaging camera was used at various areas of the ceiling on the interior of the structure & no anomalies were observed at the time of the inspection based on the age of the structure.



Minor cosmetic cracks were observed in some areas. This is normal wear & tear that is caused by movement that occurs in any structure of its life. These are considered normal wear & tear items & are not considered to be excessive or unreasonable structural deficiencies. This condition can be easily repaired with the applications of sheetrock mud or caulking.

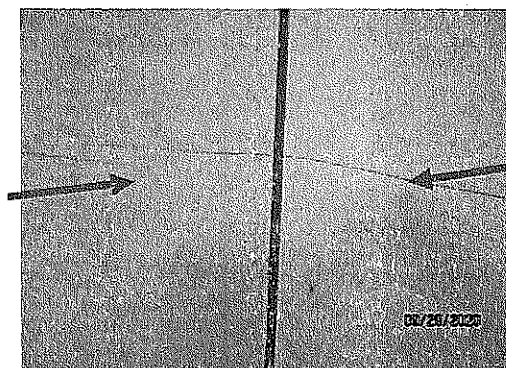
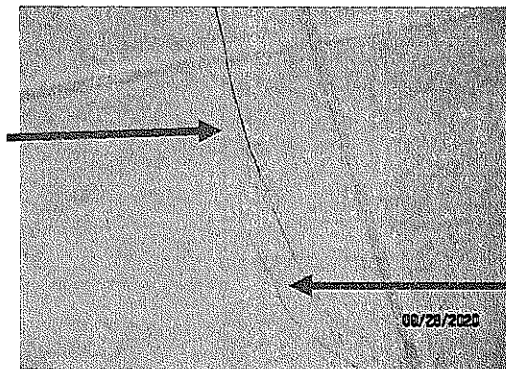
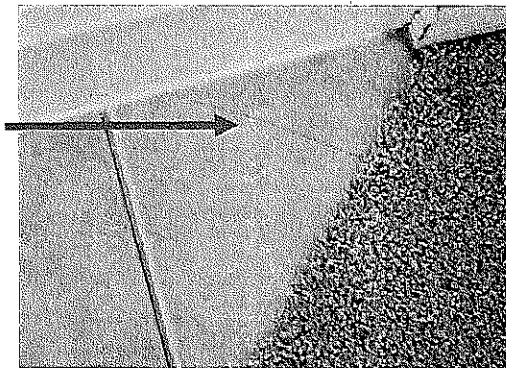
Floors are functioning as intended however there were deficiencies as described below.

Cracked floor tiles were observed but may not be limited to outside the master shower, in the kitchen pantry & in the hall outside the kitchen pantry. Recommend replacing.

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G. Doors (Interior and Exterior)

Comments:

All accessible interior/exterior doors are inspected to determine if they are functioning

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I	P			

properly, including locking hardware and latches.

Exterior Doors:

Exit door required: Not less than one exit door shall be provided from each dwelling unit. The required exit door shall provide for direct access from the habitable portions of the dwelling to the exterior without requiring travel through a garage.

Type of lock or latch: All egress doors shall be readily operable from the side from which egress is to be made without the use of a key or special knowledge or effort.

The inspector shall: Report evidence of water penetration, report as Deficient a solid wood door less than 1-3/8 inches in thickness, a solid or honeycomb core steel door less than 1-3/8 inches thick, or a 20-minute fire-rated door between the residence and an attached garage, deficiencies related to structural performance or water penetration, deficiencies in weather stripping, gaskets or other air barrier materials, claddings, water resistant materials and coatings, flashing details and terminations, the condition and performance of exterior doors, garage doors and hardware.

It is recommended that any deficiencies/items of concern marked with a if any, are further evaluated/repared/corrected by a qualified tradesman/contractor prior to closing.

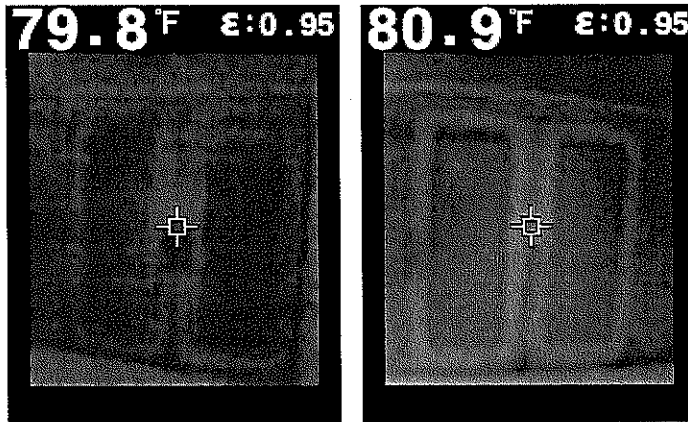
Exterior doors are functioning as intended however there were deficiencies as described below.

A thermal imaging camera was used at the exterior doors from within the interior of the structure & no anomalies were observed at the time of the inspection based on the age of the structure.

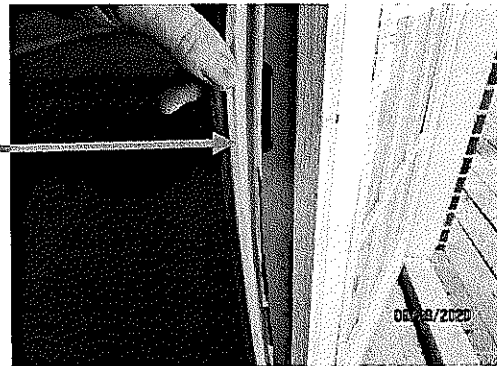
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The weather stripping at the door leading to the balcony from the master bedroom is damaged.



Keyed dead bolts on all egress doors need to be replaced with a dead bolt that can be unlocked without the use of a key or special knowledge or effort.

The back door is missing weather stripping & does not seal when closed. Recommend repair.

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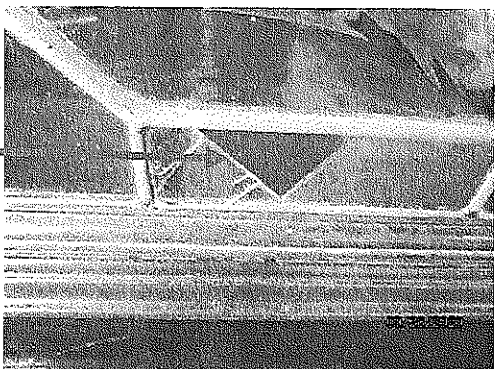
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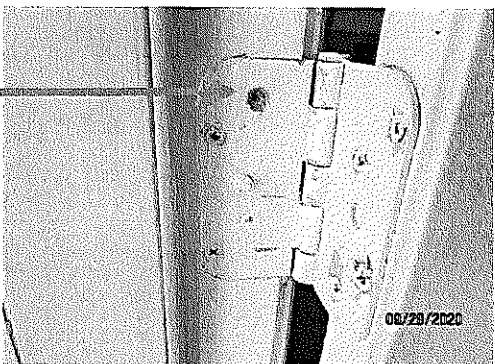


The glazing at the front door is broken. Recommend replacing.

Door was repaired →



The door leading to the balcony is missing a faster at the hinge. Recommend replacing.



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Unable to determine the presence of safety/tempered glass at the front door due to not being able to located the tempered/safety glass etching.

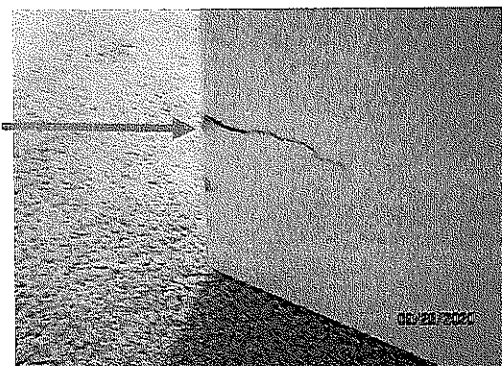
Interior Doors:

Interior doors are functioning as intended however there were deficiencies as described below.

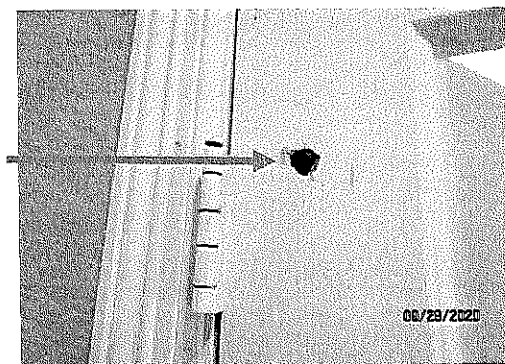
The doors leading to the front right bedroom & master bedroom would not latch when closed. Recommend adjusting.

The door leading to the master bedroom rubs the frame when closing & is difficult to open/close. Recommend adjusting.

The door leading to the back middle bedroom rubs the frame when closing & is cracked at the base of the door. Recommend repair/replacing.



The door leading to the pantry has a hole in the door. Recommend repair/replacing.



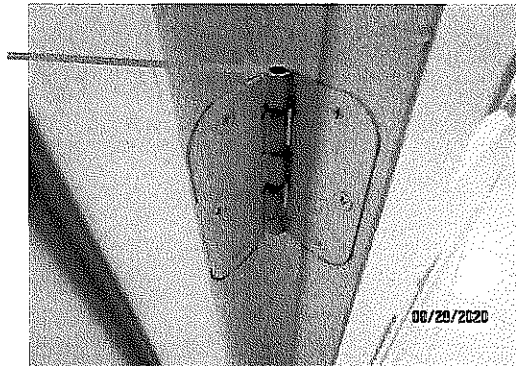
hole in door was repaired

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I	P			

Door leading into the hall bathroom is missing a hinge pin at the middle hinge. Recommend replacing.



repaired

Some of the doors are missing door stops. Recommend replacement.

H. Windows

Comments:

Only the accessible windows will be checked for operation during the inspection if the structure is occupied at the time of the inspection. Failed thermal paned seals in insulated glass windows are not always detectable. In some conditions the inspector may not be able to detect this condition, particularly if the windows are dirty or if it's raining during the inspection. The visible moisture between panes in a failed seal situation may be apparent or not, due to variations in atmospheric conditions. Windows are reported as they are observed at the time of the inspection only.

The inspector shall report evidence of water penetration. Report as Deficient the absence of performing emergency escape and rescue openings in all sleeping rooms, missing or damaged screens, deficiencies related to structural performance or water penetration, deficiencies in weather stripping, gaskets or other air barrier materials, claddings, water resistant materials and coatings, flashing details and terminations and the condition and performance of windows and components. The inspector shall report as Deficient insulated windows that are obviously fogged or display other evidence of broken seals, deficiencies in glazing, weather stripping and glazing compound in windows and doors and the absence of safety glass in hazardous locations.

It is recommended that any deficiencies/items of concern marked with a if any, are

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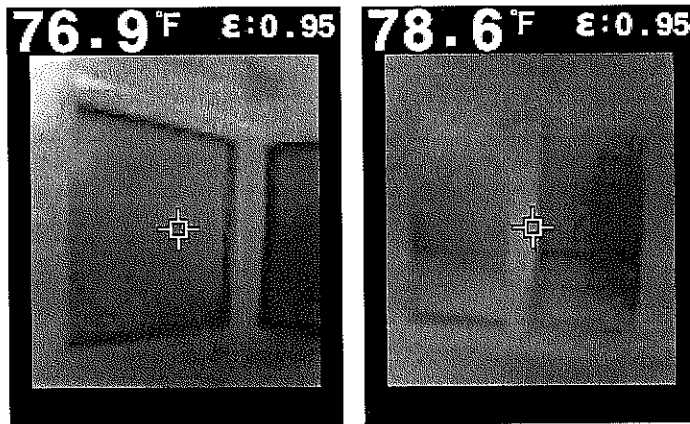
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further evaluated/repaired/corrected by a qualified tradesman/contractor prior to closing.

Type: Double Pane Aluminum

Windows are functioning as intended however there were deficiencies as described below.

A thermal imaging camera was used at the windows from within the interior of the structure & no anomalies were observed at the time of the inspection based on the age of the structure.



Unable to determine the presence of safety/tempered glass at the windows in the main living area due to not being able to located the tempered/safety glass etching. Safety/tempered glass is required by today's standards.



Screens are missing in multiple areas. Recommend replacing.

← majority of screens in garage

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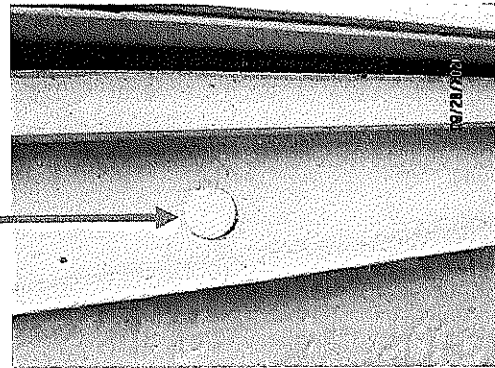
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A total of 6 broken window sash balances were observed at various windows. Recommend repair/replacing.



Holes were drilled & alarm sensors have been installed into some of the window frame sills. Buyer should ensure that all holes remain properly sealed to prevent possible moisture penetration into the wall cavity.



I. Stairways (Interior and Exterior)

Comments:

It is recommended that any deficiencies/items of concern marked with a if any, are further evaluated/repared/corrected by a qualified tradesman/contractor prior to closing.

The inspector shall report as Deficient spacing between intermediate balusters, spindles, or rails for steps, stairways, guards, and railings that permit passage of an object greater than 4 inches in diameter, except that on the open side of the staircase treads, spheres

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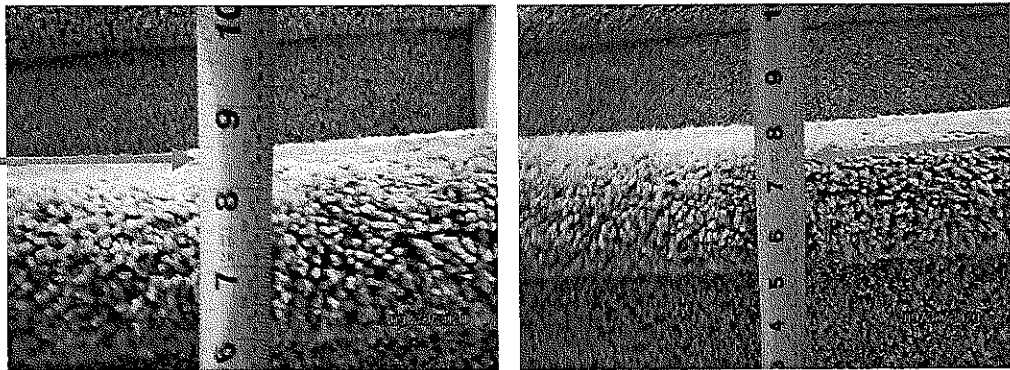
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I	P			

less than 4-3/8 inches in diameter may pass through the guard rail balusters or spindles; and deficiencies in steps, stairways, landings, guardrails, and handrails.

Stairway is functioning as intended however there were deficiencies as described below.

The stair riser heights do not meet current building standards of a maximum of 7 3/4" with a variance of 3/8". The riser heights varied from approx. 7 3/4" - 8 1/2".



J. Fireplaces & Chimneys

Comments:

The inspection of the fireplace and chimney is a visual inspection of the accessible components of the firebox, hearth, damper, doors, attic penetration, chimney crown and cricket. Dirty chimneys are a fire hazzard due to the accumulation of combustible creosote. Consult a certified chimney sweep annually for cleaning and inspection.

The inspector shall report as Deficient built-up creosote in accessible areas of the firebox and flue, the presence of combustible materials in near proximity to the firebox opening, the absence of fire blocking at the attic penetration of the chimney flue, where accessible and deficiencies in the damper, lintel, hearth, hearth extension, and firebox, gas valve and location, circulating fan, combustion air vents and chimney structure, termination, coping, crown, caps, and spark arrestor.

It is recommended that any deficiencies/items of concern marked with a if any, are further evaluated/repared/corrected by a qualified tradesman/contractor prior to closing.

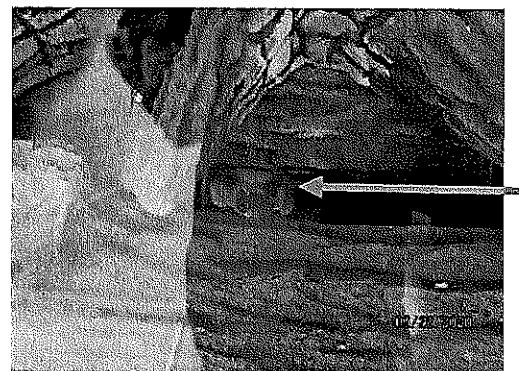
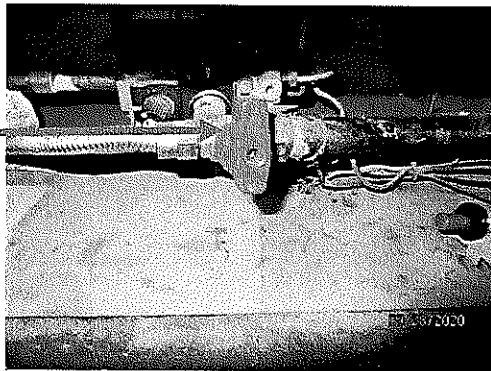
Type Of Fireplace: Prefab Gas Log w/Remote Ignition

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The fireplace could not be lit under normal conditions. The gas valve was closed & the pilot was out upon arrival to the inspection. The pilot was lit & multiple attempts were made to light the fireplace however the fireplace would not light under normal conditions. Recommend further evaluation/repair.



Fireplace had gas logs in the firebox which limits the visibility of the firebox & the possibility of detecting potential deficiencies.

K. Porches, Balconies, Decks and Carports

Comments:

It is recommended that any deficiencies/items of concern marked with a if any, are further evaluated/repared/corrected by a qualified tradesman/contractor prior to closing.

The inspector shall inspect attached balconies, carports, and porches, abutting porches, decks, and balconies that are used for ingress and egress and report as Deficient on decks 30 inches or higher above the adjacent grade, spacings between intermediate

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balusters, spindles, or rails that permit passage of an object greater than four inches in diameter and deficiencies in accessible components.

Are functioning as intended.

Hairline cracking was observed in the back porch slab

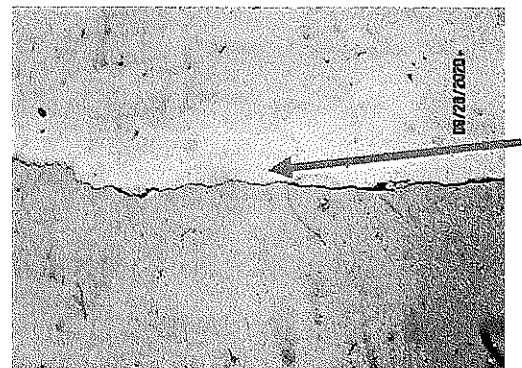
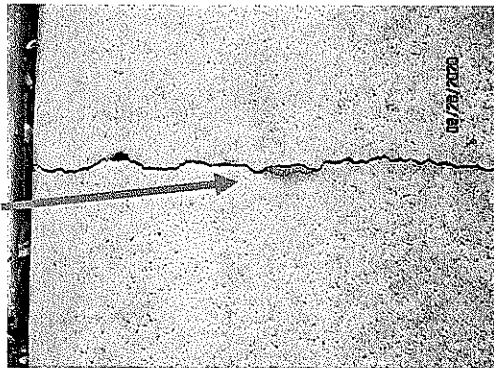
L. Other

Comments:

It is recommended that any deficiencies/items of concern marked with a if any, are further evaluated/repared/corrected by a qualified tradesman/contractor prior to closing.

Driveway/Garage Slab: Driveway/Garage Slab appeared to be functioning as intended however there were deficiencies as described below.

Cracking was observed in the driveway. Recommend repair.



Walk Way: Walkway appeared to be functioning as intended however there were deficiencies as described below.

Upheaval/sinking of the walkway was observed creating a potential trip hazard.

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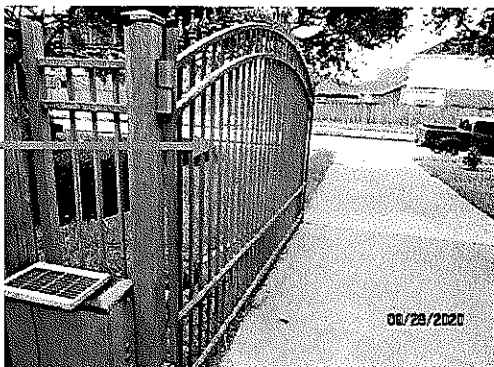
I=Inspected NI=Not Inspected NP=Not Present D=Deficiency

I	N	N	D	Inspection Item
I	P			



Fencing/Gates: Appeared to be functioning as intended however the fencing/material showed signs of aging & damage in some areas.

The driveway gate did not appear to function as intended. Recommend further evaluation/repair.



→ repaired, gate is functioning

Cabinets: Are functioning as intended.

II. ELECTRICAL SYSTEMS

A. Service Entrance and Panels

Comments:

The inspection of the electrical system is limited to the visible and accessible components at the time of the inspection. A major portion of the electrical system is hidden behind walls and ceiling finishes and are not accessible at the time of the inspection, therefore, no evaluation of performance of these items are given.

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I	P			

When it can be performed safely, as determined by the inspector, the dead front (a panel designed and located in the electrical panel to prevent exposure to the live wires within the electrical panel) will be removed to inspect the existing condition of the breakers and conductors as in relation to proper sizing and to determine if there are any signs of overheating/double tapped conductors.

A typical electrical system consists of two distinct components: (1) the electric service entrance, and (2) the branch circuits. The service entrance determines the capacity of the electric power available to the home. The electric circuits distribute the power throughout the home. Electrical devices in a home typically use either 120 or 240 voltage electricity. The major appliances such as clothes dryers, kitchen ranges, water heaters, air conditioners, and electric heating units require 240 volts. General-purpose circuits (lighting, outlets, etc.) require 120 volts.

The inspector shall report as Deficient a drop, weatherhead or mast that is not securely fastened to the building. The absence of or deficiencies in the grounding electrode system, missing or damaged dead fronts or covers plates, conductors not protected from the edges of electrical cabinets, gutters, or cutout boxes. Electrical cabinets and panel boards not appropriate for their location; such as a clothes closet, bathrooms or where they are exposed to physical damage. Electrical cabinets and panel boards that are not accessible or do not have a minimum of 36-inches of clearance in front of them. Deficiencies in electrical cabinets, gutters, cutout boxes, and panel boards, the insulation of the service entrance conductors, drip loop, separation of conductors at weather heads and clearances. The compatibility of over current devices and conductors, the over current device and circuit for labeled and listed 240 volt appliances, bonding and grounding, conductors, the operation of installed ground-fault or arc-fault circuit interrupter devices and the absence of trip ties on 240 volt over current devices or multi-wire branch circuit, appropriate connections, anti-oxidants on aluminum conductor terminations and a main disconnecting means.

It is recommended that any deficiencies/items of concern marked with a if any, are further evaluated/repaired/corrected by a licensed electrician prior to closing.

Service entrance & panel appeared to be functioning as intended however there were deficiencies as described below.

Service Entrance: Service provided from underground/above.

Main Panel:

Brand: Square D

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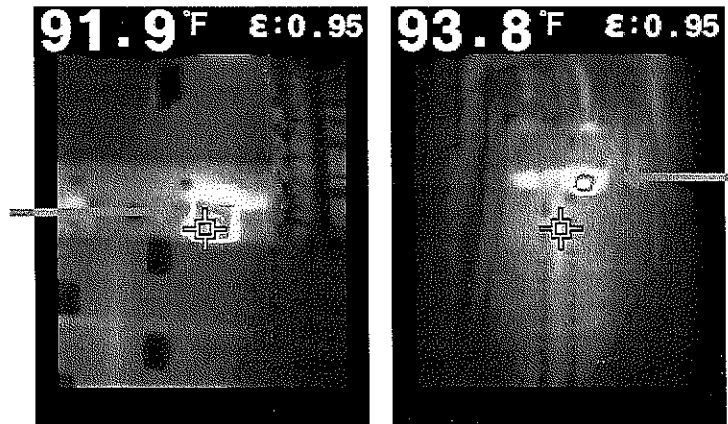
Amps: 150

Type of feeder wire: 2/0 Aluminum 3 wire 120/240 service

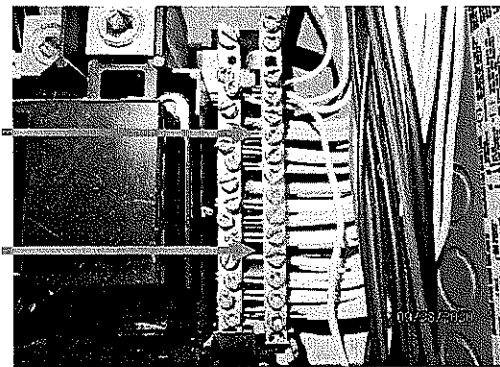
Panel Location: Garage interior

The dead front was removed and the interior of the panel was inspected.

The 40 Amp breaker at the top right side of the bus showed signs of potential overheating. Recommend further evaluation/repair.



Double tapping of neutral conductors was observed at the bus bar. Each neutral conductor should be single tapped at the bus bar. Recommend repair.



BRANCH NEUT. & EQUIP. GND. BAR	
WIRE RANGE	TORQUE IN. - LBS.
14-10 CU, 12-10 AL	20
8 CU-AL	25
6-4 CU-AL	35

EQUIP. GND. BAR COMBINATIONS	
TWO 14 OR 12 CU	25
TYPE 42 OR 10-AL	

Copyright 2000 Mike Holt Enterprises, Inc.

Okay [110-3(b)]

Note: Split bolt connectors (bugs, lugs) are only rated for two conductors.

The number of conductors in a terminal is limited to that for which the terminal is designed and listed.

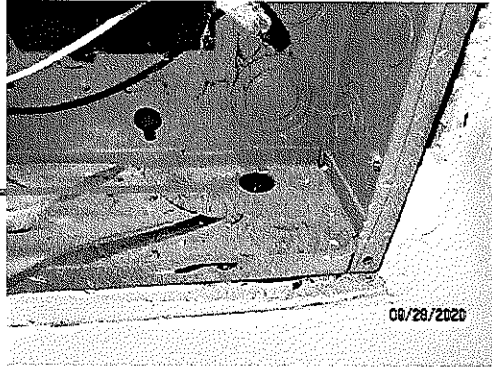
Punch out missing in the bottom of the panel.

Report Identification: 9114 Kirkstone Spring, TX. 77379

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Conductors are not properly protected at penetration at the top of the panel.

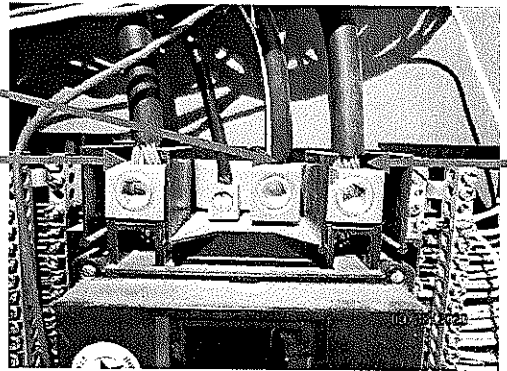


No anti-oxidizing compound was observed on aluminum feeder wires. Recommend installing anti-oxidizing compound.

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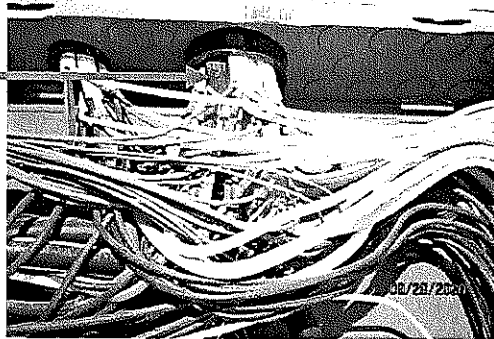
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All "hot" wires on breakers should be red or black. Any other color wire should be painted or taped black to indicate that it is "hot". One or more white (neutral) wires are being used as hot wires without being properly marked.

Improper conductor bundling through one clamp/opening was observed. Conductors must be secured to the panel & should not be bundled/clamped through one clamp/punch out due to the possibility of overheating of the conductors.



B. Branch Circuits, Connected Devices and Fixtures

Type of Wiring: Copper

Comments:

The inspection of the branch circuits, connected devices & fixtures is limited to the visible and accessible components at the time of the inspection. A major portion of the electrical system is hidden behind walls and ceiling finishes and are not accessible at the time of the inspection, therefore, no evaluation of performance of these items are given.

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Y=Inspected NI =Not Inspected NP=Not Present D=Deficiency

I	N	N	D	Inspection Item
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The inspector shall manually test the installed and accessible smoke and carbon monoxide alarms, report the type of branch circuit conductors. Report as Deficient the absence of ground-fault circuit interrupter protection in all bathroom receptacles, garage receptacles, outdoor receptacles, crawl space receptacles, unfinished basement receptacles, kitchen countertop receptacles and receptacles that are located within six feet of the outside edge of a sink.

The failure of operation of ground-fault circuit interrupter protection devices, missing or damaged receptacle, switch or junction box covers. The absence of equipment disconnects, appropriate connections, such as copper/aluminum approved devices, if branch circuit aluminum conductors are discovered in the main or sub-panel based on a random sampling of accessible receptacles and switches. Deficiencies in receptacles, switches, bonding or grounding, wiring, wiring terminations, junction boxes, devices, and fixtures, including improper location, doorbell and chime components, smoke and carbon monoxide alarms, improper use of extension cords, deficiencies in or absences of conduit, where applicable and the absence of smoke alarms in each sleeping room, outside each separate sleeping area in the immediate vicinity of the sleeping rooms and in the living space of each story of the dwelling.

It is recommended that any deficiencies/items of concern marked with a if any, are further evaluated/repaired/corrected by a licensed electrician prior to closing.

Electrical Fixtures:

Electrical fixtures appeared to be functioning as intended however there were deficiencies as described below.

(Ground Fault Circuit Interrupter, a safety device that senses any shock hazard and interrupts the flow of electricity in the circuit)

GFCI Protection: (Safety Protection)

Kitchen: Yes (GFCI located in the kitchen)

Bathrooms: Yes (GFCI located in the hall bath)

Jetted Bathtub: Unable to verify the location of the GFCI protection. Recommend verifying for safety purposes & adding GFCI protection if none is present. It is also recommended that the jetted tub not be entered until verification or the installation of a GFCI outlet has been completed.

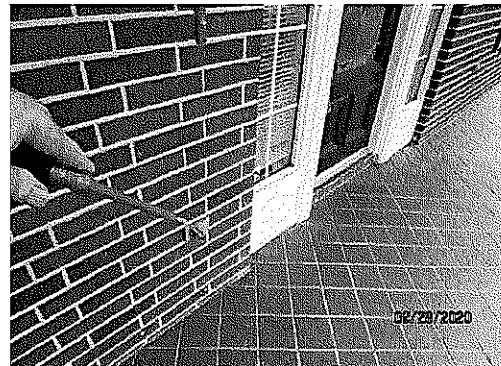
Exterior: Yes/No (GFCI located in the garage)

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The outlet to the left of the front door is not GFCI protected as required. This is a safety issue, it is recommended that GFCI protection be added.



Garage: Yes/No (GFCI located in the garage)

GFCI protection is not available for all the outlets in the garage as required by today's standards.

AFCI (Arc Fault Circuit Interrupt) device protection, as required by current building standards, for all: family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreations rooms, closets, hallways, or similar rooms or areas. AFCI devices are intended to protect against fires caused by electrical arcing faults in the home's wiring. Arc faults are a common cause of residential electrical fires. Arc faults can be created by damaged, deteriorated, or worn electrical plugs, cords, and/or branch circuit conductors.

As of September 1, 2008, the State of Texas has adopted the 2005 NEC, which includes this requirement, as the "minimum standard" for all non-exempt electrical work. Homes built prior to 2002, generally were not required to have arc fault protection.

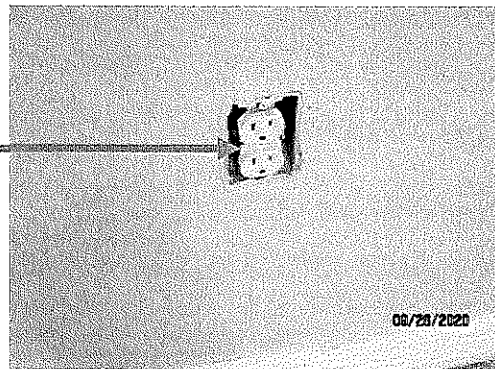
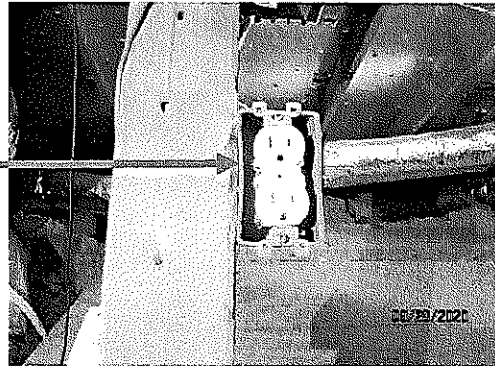
Arc-fault protection (arc-fault breakers) is not present for electrical outlets as required by today's standards in the family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas.

The outlets the attic, master bedroom & garage ceiling are missing the cover plates. Recommend installing.

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Some of the light fixtures did not function possibly due to burnt bulbs. It is recommended that all burnt bulbs be replaced & the light fixtures are turned on to determine if the fixtures function as intended.

All exterior light fixtures exposed to weather conditions should be properly sealed & the light fixtures/wall boxes at the front porch & balcony are not properly secured to the wall.

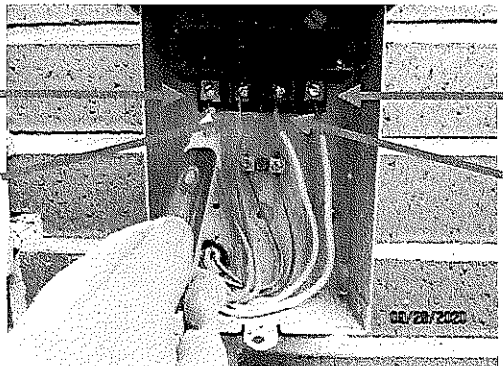
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The upstairs AC disconnect conductors are crossed the load conductors goes to line terminals & the line conductors goes to the load terminals. Recommend repair.



Observed open incandescent bulb light fixture in upstairs back right clothes closet which is prohibited and is considered a potential fire hazard by today's standards.

Unable to determine if the motor/pump supporting the Hydro-Massage therapy equipment (jetted tub) is properly bonded due to no access.

The outlet/wall box in the upstairs back right bedroom is loose/not properly secured & the cover plate is cracked. Recommend repair/replacing.

Report Identification: 9114 Kirkstone Spring, TX. 77379

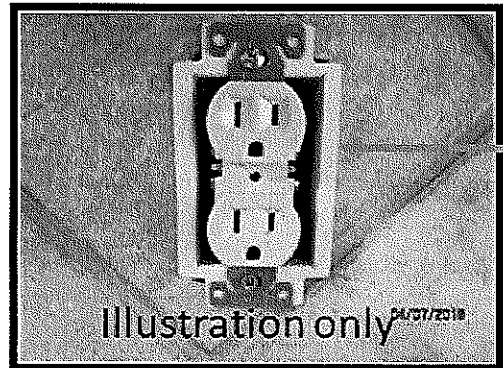
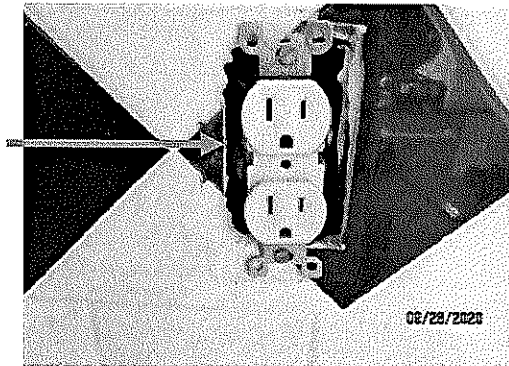
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☐ No spark rings were observed at the kitchen outlets.

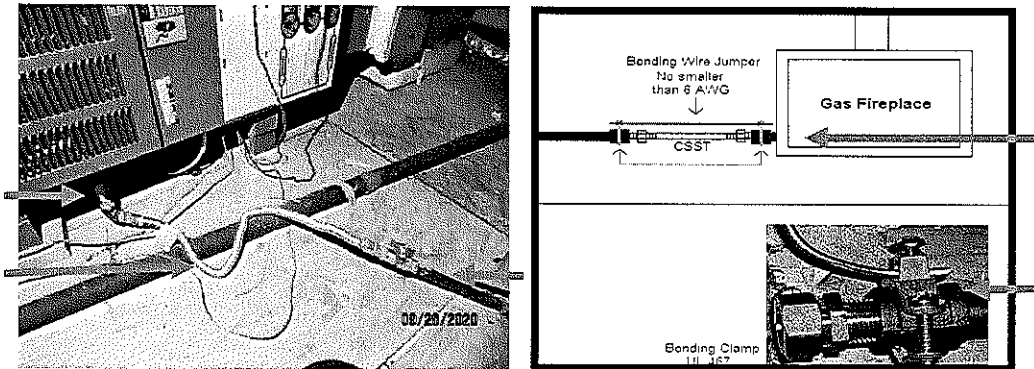


☐ CSST Gas piping was observed at the water heater & heating equipment. There have been reported issues that the CSST metal piping may not be properly bonded & no bonding jumper was observed at the CSST line. Recommend further evaluation/repair by a licensed electrician to determine that the CCST is properly bonded as required & if not properly bonded then it is recommended that a bonding jumper be added.

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Door Bell and Chimes:

Door bell is functioning as intended.

Carbon Monoxide Detectors:

No Carbon Monoxide Detectors were observed. This is a safety issue and detectors should be installed.

Note: Carbon monoxide detectors are tested using the manufacturer supplied test button only. This inspection does not include testing units with actual CO.

The installation of carbon monoxide detector(s) is required outside of all bedrooms and in immediate vicinity of the bedrooms. Detectors should be tested on a regular basis or per manufacture instructions.

Smoke Alarms:

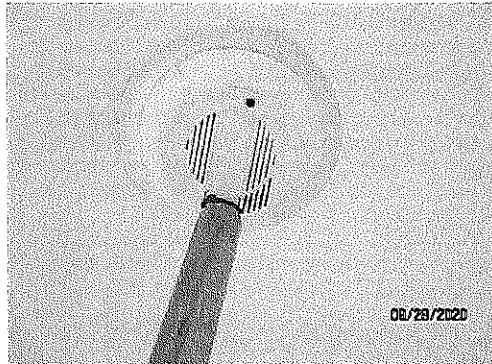
Smoke alarms appeared to be functioning as intended however there were deficiencies as described below.

Report Identification: 9114 Kirkstone Spring, TX. 77379

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Note: Smoke detectors are tested using the manufacturer supplied test button only. This inspection does not include testing units with actual smoke.

The installation of smoke alarm(s) is required inside of all bedrooms and in any rooms designated for the purpose of sleeping, and outside within the proximity of the doors to those rooms & a minimum of 1 detector is required on each level.

Test all alarms and detectors weekly or monthly per manufacture instructions. The installation of carbon monoxide (CO) detector(s) is required in homes with fuel-fired appliances at every floor elevation and any areas where fuel-fired equipment is located. The installation of Type ABC fire extinguisher(s) at the kitchen, laundry, and garage, if applicable, is also advised. Test all of these devices monthly. Install new batteries semi-annually. Initiate and practice plans of escape and protection for all occupants in case any emergencies arise. Failure to repair defective or install absent alarms, detectors, and other safety equipment immediately can result in serious injury or death.

III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

A. Heating Equipment

Type of Systems: Central/Forced Air

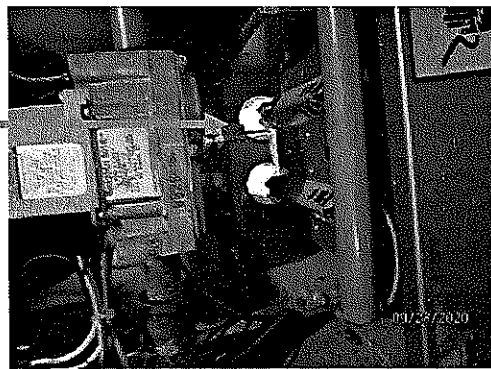
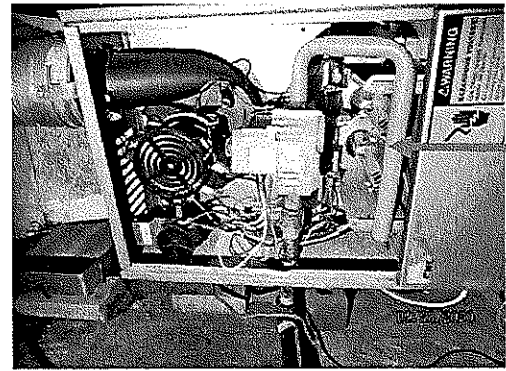
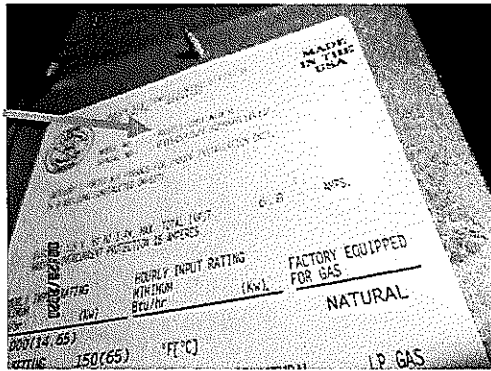
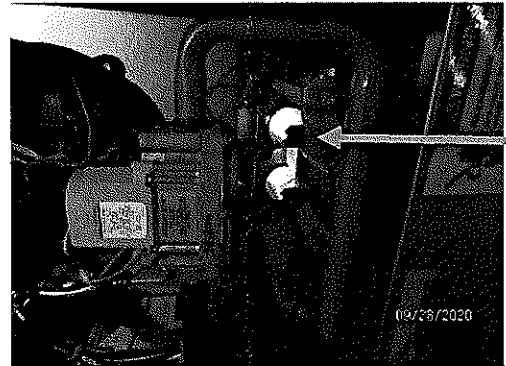
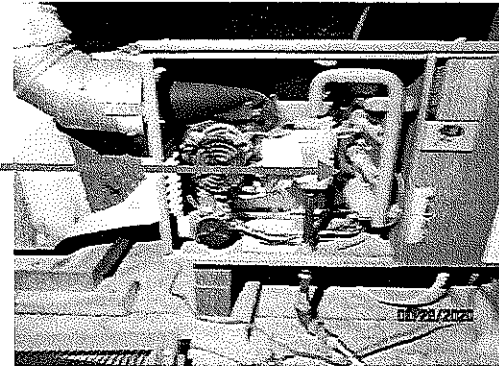
Number of Systems: 2

Report Identification: 9114 Kirkstone Spring, TX. 77379

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Energy Sources: Gas

Brands: Rheem

Report Identification: 9114 Kirkstone Spring, TX. 77379

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Mfg. Date: 1999 (both heaters)

Comments:

The visual inspection of the heating, ventilation and ducting equipment does not include internal parts that require disassembling of the unit to visually inspect. The condition of the HVAC equipment is based on the performance of the system when tested under normal conditions and those components that are visually accessible at the time of inspection. Full evaluation of the integrity of such components as a heat exchanger, require dismantling of the systems and is beyond the scope of a visual inspection.

The inspector shall report the type of heating systems and the energy sources. Report as Deficient inoperative units, deficiencies in the thermostats, inappropriate location, the lack of protection from physical damage, burners, burner ignition devices or heating elements, switches, and thermostats that are not a minimum of 18 inches above the lowest garage floor elevation, unless the unit is listed for garage floor installation. The absence of an opening that would allow access to equipment for inspection, service, repair or replacement without removing permanent construction or building finish. When applicable a floored passageway and service platform that would allow access for equipment inspection, service, repair or replacement and deficiencies in mounting and performance of window and wall units.

Requirements for electric units. The inspector shall report deficiencies in performance of heat pumps, performance of heating elements and condition of conductors.

Requirements for gas units. The inspector shall report as Deficient gas leaks, flame impingement, uplifting flame, improper flame color, or excessive scale buildup. The absence of a gas shut-off valve within six feet of the appliance, the absence of a gas appliance connector or one that exceeds six feet in length, gas appliance connectors that are concealed within or extended through walls, floors, partitions, ceilings or appliance housings and deficiencies in combustion, and dilution air, gas shut-off valves, access to a gas shutoff valves that prohibits full operation, gas appliance connector materials and the vent pipe, draft hood, draft, proximity to combustibles, and vent termination point and clearances.

It is recommended that the heating system/air handler be professionally inspected/cleaned prior to closing & on an annual basis by a licensed HVAC technician & it is recommended that any deficiencies/items of concern marked with a if any, are further evaluated/repared/corrected by a licensed HVAC technician prior to closing. The below referenced temperature reading/readings were performed using a Fieldpiece SPK2 Folding Pocket In-Duct Thermometer with MAX/MIN Hold and Stainless Steel Probe.

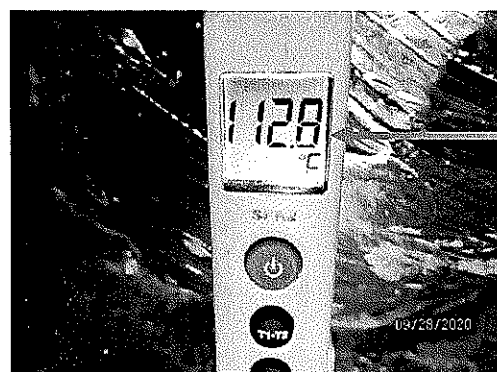
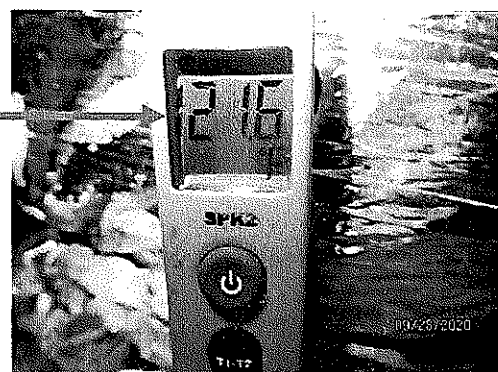
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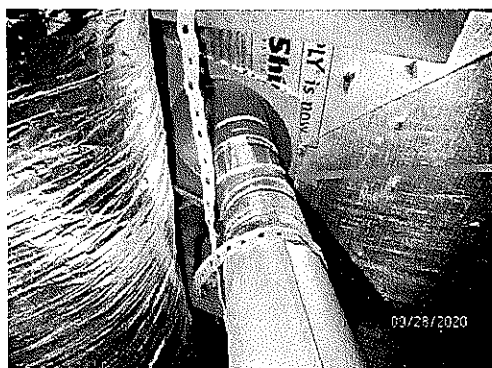
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I	I	P		

The heating equipment was operated and is functioning as intended however there were deficiencies as described below.

Supply air temp: 121.6 Degrees (as measured at the downstairs heat exchanger in the attic) & 112.8 degrees (as measured at the upstairs heat exchanger in the attic)



Flue vent for the downstairs heat exchanger is too close to combustibles where it penetrates the roof decking. Recommend cutting back a minimum of 1".



The heaters showed signs of aging & are potentially nearing the end of their life cycle. Recommend budgeting for replacement in the future.

Due to the overall age of the heaters it is recommended that the heaters be further evaluated by a licensed HVAC Technician prior to closing.

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B. Cooling Equipment

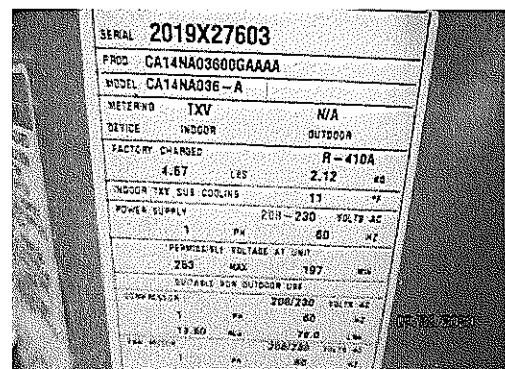
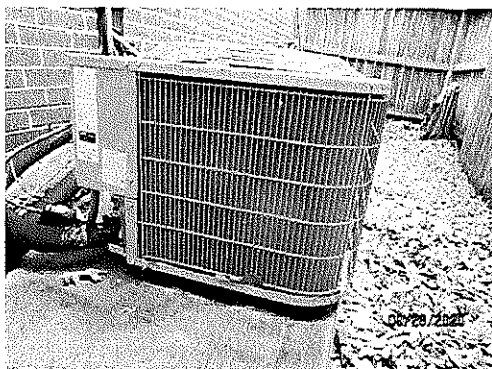
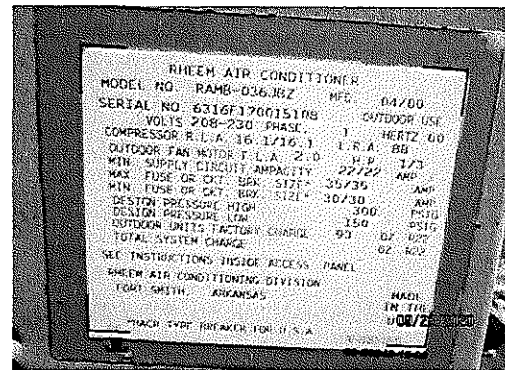
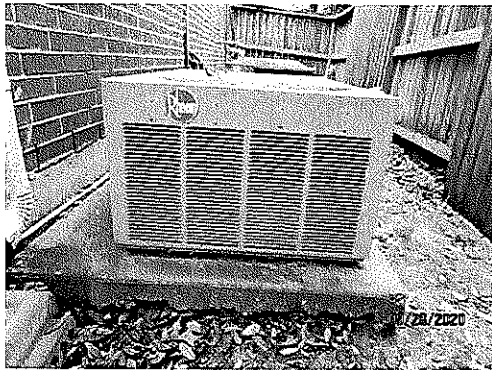
Type of Systems: Central/Split System

Number of Systems: 2

Sizes: 3 tons (both condensers)

Brands: Carrier & Rheem

Condensing Unit Mfg. Date: 2000 (downstairs condenser) & 2019 (upstairs condenser)

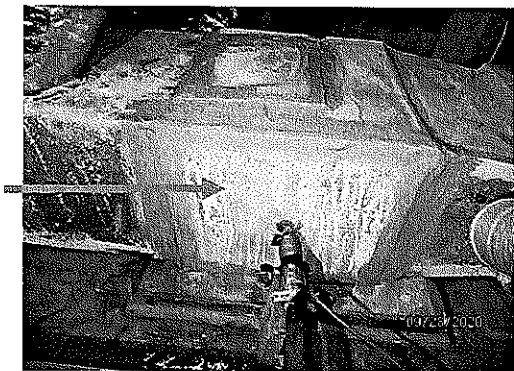
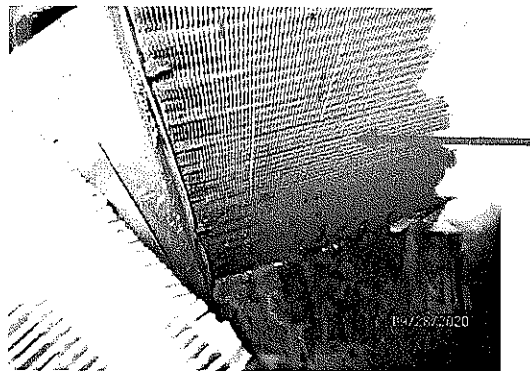
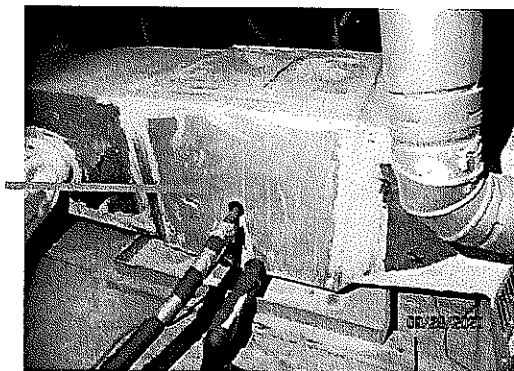


Evaporator Coil Mfg. Date: Unknown due to no Mfg. label however the coils appeared to be original

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I	P			



Comments:

The visual inspection of the cooling, ventilation and ducting equipment does not include internal parts that require disassembling of the unit to visually inspect. The condition of the HVAC equipment is based on the performance of the system when tested under normal conditions and those components that are visually accessible at the time of inspection. Full evaluation of the integrity of such components condensing unit/evaporator coil, require dismantling of the systems and is beyond the scope of a visual inspection.

Requirements for cooling units other than evaporative coolers. The inspector shall report the type of systems. The inspector shall report as Deficient, inoperative units, inadequate cooling as demonstrated by its performance, the absence of an opening that would allow access to equipment for inspection, service, repair or replacement without removing permanent construction or building finish, when applicable, a floored passageway and service platform that would allow access for equipment inspection, service, repair or replacement, noticeable vibration of blowers or fans, water in the auxiliary/secondary drain pan, a primary drain pipe that discharges in a sewer vent,

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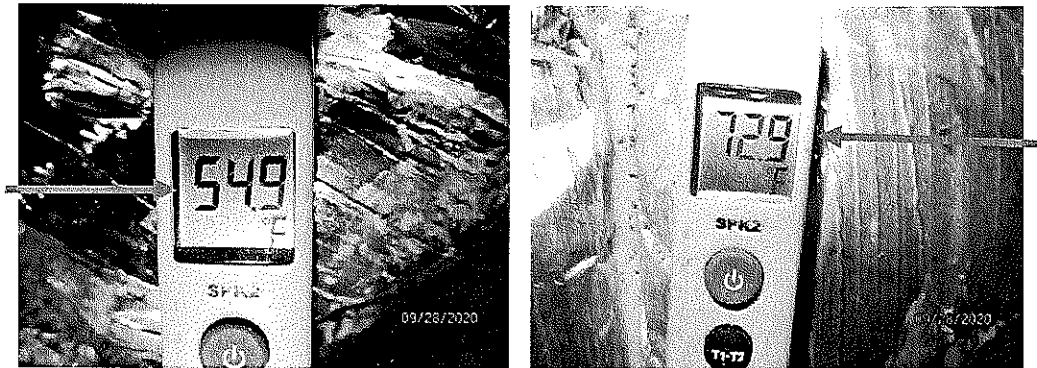
I	N	N	D	Inspection Item
I	P			

missing or deficient refrigerant pipe insulation, dirty coils where accessible, condensing units lacking adequate clearances or air circulation or that has deficiencies in the fins, location, levelness, or elevation above grade surfaces. Deficiencies in the condensate drain and auxiliary/secondary pan and drain system, mounting and performance of window or wall units and thermostats.

It is recommended that the cooling system/air handler be professionally inspected/cleaned prior to closing & on an annual basis by a licensed HVAC technician & it is recommended that any deficiencies/items of concern marked with a if any, are further evaluated/repared/corrected by a licensed HVAC technician prior to closing.

The below referenced temperature reading/readings were performed using a Fieldpiece SPK2 Folding Pocket In-Duct Thermometer with MAX/MIN Hold and Stainless Steel Probe.

Upstairs supply air temp: 54.9 Degrees (as measured at the discharge side of the coil in the attic) Return air temp: 72.9 degrees (as measured at the return side in the attic)



A variance of 15 - 21 degrees between the supply and return air is considered to be functioning as intended.

The upstairs cooling equipment was operated and is functioning as intended however there were deficiencies as described below.

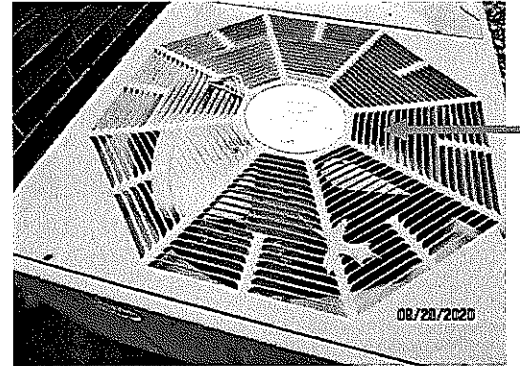
The downstairs cooling equipment did not function as intended under normal operating conditions. Recommended further evaluation/repair by a licensed HVAC Technician prior to closing.

Has been repaired, both cooling units are in working condition

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Rust was observed in the secondary drip pans. This is an indication of previous/existing condensation leaking from the primary drip pan. Due to not knowing the extent of the rust damage it is recommended that the pans be replaced.



The refrigerant used for the downstairs condensing unit is the older R-22 which is being phased out, recharging of a R22 system may not be possible in the future which may required that the system be replaced.

The upstairs condensing unit is labeled for R410A Refrigerant & the evaporator coil is possibly R22 Refrigerant. This is typically an improperly installation, recommend further evaluation by a licensed HVAC Technician.

The downstairs condensing unit & both evaporator coils showed signs of aging & are potentially nearing the end of it's life cycle. Recommend budgeting for replacement in the future.

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C. Ducts System, Chases and Vents:

Comments:

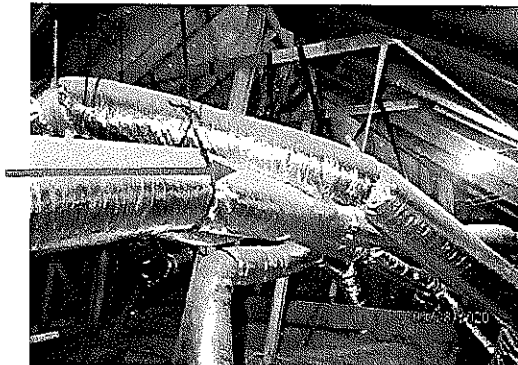
It is recommended that any deficiencies/items of concern marked with a if any, are further evaluated/repared/corrected by a licensed HVAC Technician prior to closing.

The inspector shall report as Deficient damaged duct systems or improper material, damaged or missing duct insulation, the absence of air flow at accessible supply registers, the presence of gas piping and sewer vents concealed in ducts, plenums and chases, ducts or plenums in contact with earth and the inspector shall report as Deficient deficiencies in filters, grills or registers and the location of return air openings.

Duct Type: Flex

Duct System appeared to be functioning as intended however this was a limited duct system inspection due to limited access in some areas of the attic & between the walls/floors.

The flex duct was observed to be in direct contact with other pieces of duct in some areas of the attic. Recommend adding insulation between the ducts or rerouting ducts should be considered to prevent condensation between the ducts.



The flex duct was observed to be inadequately supported in the attic/lies on attic floor in some areas. Support or rerouting ducts should be considered.

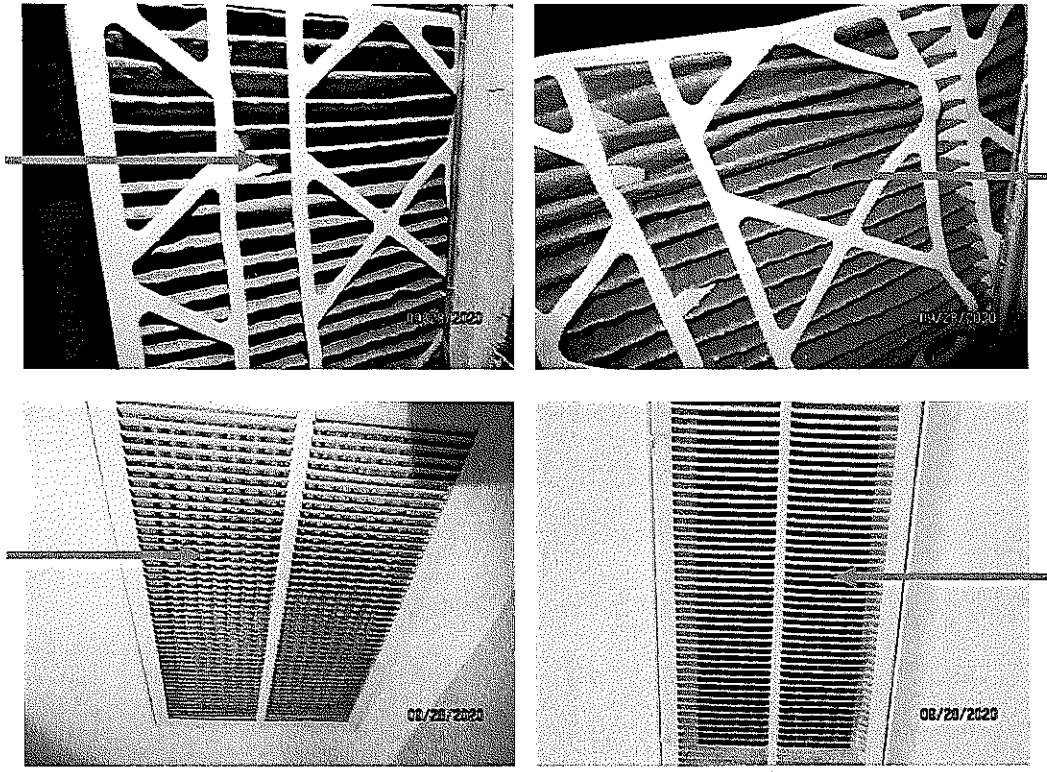
Chases & Vents appeared to be functioning as intended however this was a limited inspection due to limited access in some areas.

Return air filters are dirty, recommend replacing. - *Have been replaced*

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IV. PLUMBING SYSTEM

A. Plumbing System, Distribution System & Fixtures

Location of Water Meter: Front yard

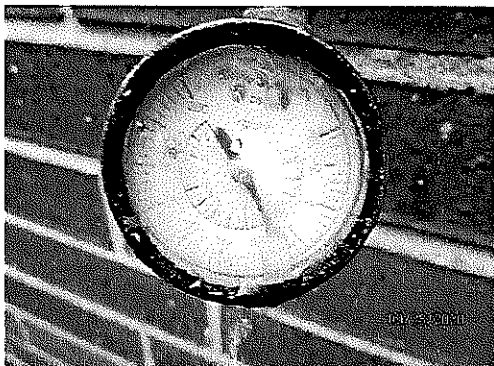
Location of Main Water Supply/Shut Off Valve: Unknown could not locate. Recommend consulting with the seller to determine the location.

Static Water Pressure Reading: 68 PSI (A reading between 40 - 80 PSI is considered acceptable.)

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Type Of Supply Piping: Copper (where accessible)

Comments:

A plumbing system consists of three major components, the supply piping, the waste and vent piping, and the fixtures. The supply piping brings the water to the fixture from a private well or public water main. The supply piping is smaller diameter piping that operates under pressure. These pipes must be watertight. The waste piping carries the water from the fixture to a private septic system or to a public sewer line. The drain or waste piping does not operate under pressure, instead typically uses gravity to drain the water from the fixture to the septic tank or sewer. Thus, these pipes must slope in order function properly.

The inspector shall report the location of water meter, location of homeowners main water supply shutoff valve and static water pressure. Report as Deficient the presence of active leaks, the lack of a pressure reducing valve when the water pressure exceeds 80 PSI, the lack of an expansion tank at the water heater(s) when a pressure reducing valve is in place at the water supply line/system, the absence of fixture shut-off valves, dielectric unions, when applicable, back-flow devices, anti-siphon devices, or air gaps at the flow end of fixtures and deficiencies in water supply pipes and waste pipes. The installation and termination of the vent system, the performance of fixtures and faucets not connected to an appliance. Water supply, as determined by viewing functional flow in two fixtures operated simultaneously, fixture drain performance, orientation of hot and cold faucets, installed mechanical drain stops, commodes, fixtures, showers, tubs, and enclosures and the condition of the gas distribution system.

It is recommended that any deficiencies/items of concern marked with a if any, are further evaluated/repaired/corrected by a licensed plumber prior to closing.

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Sinks:

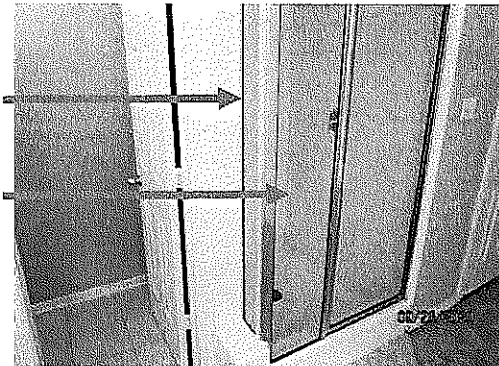
Sinks are functioning as intended.

Bathtubs/showers:

Bathtubs/showers are functioning as intended.

Access panels are not installed to inspect the equipment/plumbing under the tubs/showers.

Unable to determine the presence of safety/tempered glass at the master shower side panel glass enclosure due to not being able to locate the tempered/safety glass etching.



The hall bathtub surface is chipped, recommend repair to prevent rusting.

Commodes:

Commodes are functioning as intended however there were deficiencies as described below.

The commode in the hall bath is missing the seat & lid. Recommend replacing.

all commodes were replaced

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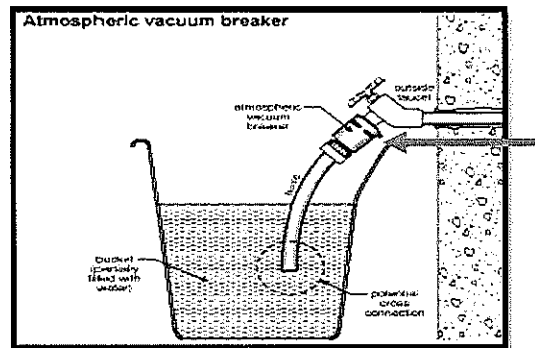
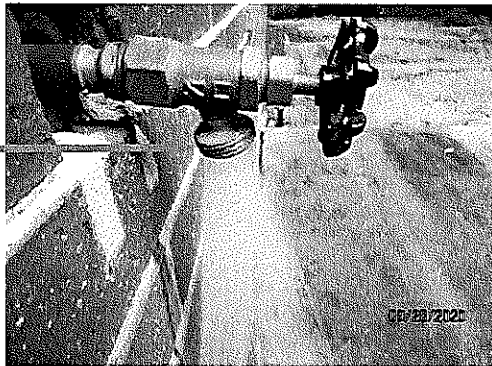
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Outside Hose Bibs:

Hose bibs are functioning as intended however there were deficiencies as described below.

Back flow preventers are not installed on all hose bibs. Recommend installing to prevent water from backing up into the water system.



Hose bibs on the left & right sides of the structure leaks when turned on.

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B. Drains, Wastes & Vents

Comments:

Water is run down the drains at the time of the inspection, however this cannot simulate the amount of flow that may take place during full occupancy. There may be some blockage of the drain lines from debris, broken pipes or tree roots that cannot be detected at the time of the inspection. Examination of such partial blockage is beyond the scope of this inspection.

Based on the inspection industry's definition of a recommended water test for "functional drainage" in a plumbing system, the plumbing drainpipes appeared operational at this time. However, only a video-scan of the interior of drainpipes and drain lines can fully confirm their actual condition. If the house is vacant, has an older plumbing system, if there are prior known drain problems or there are large trees around the structure, it would be prudent to have the drain lines "video-scanned" prior to closing.

It is recommended that any deficiencies/items of concern marked with a if any, are further evaluated/repared/corrected by a licensed plumber prior to closing.

Appeared to be functioning as intended however there were deficiencies as described below.

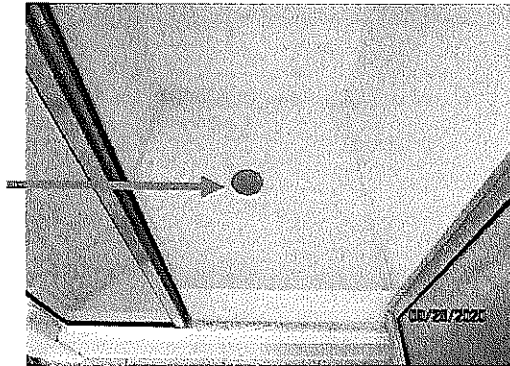
The master shower is extremely slow to drain. Recommend further evaluation/repair.

*Drain has been unclogged/
Repaired*

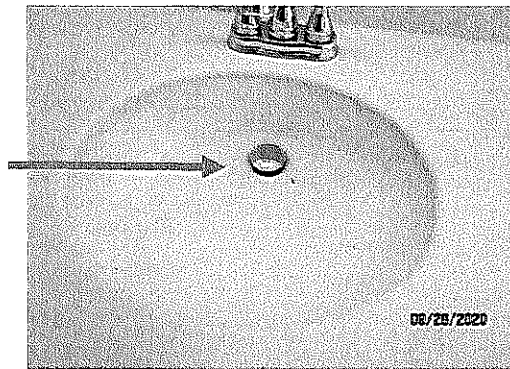
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The left side master bath sink is slow to drain.



It is recommended that a hydrostatic pressure test/scoping of the drainage/waste system pipes under the structure be performed by a licensed plumber prior to closing unless proof of replacement/inspection can be provided by the seller.

C. Water Heating Equipment

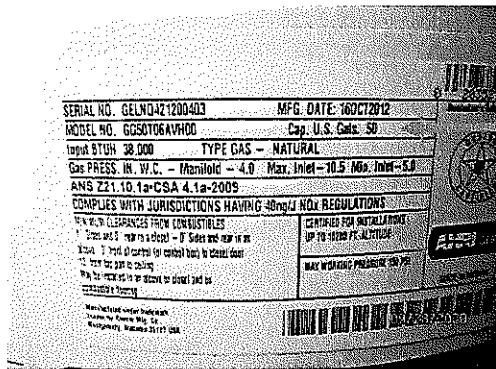
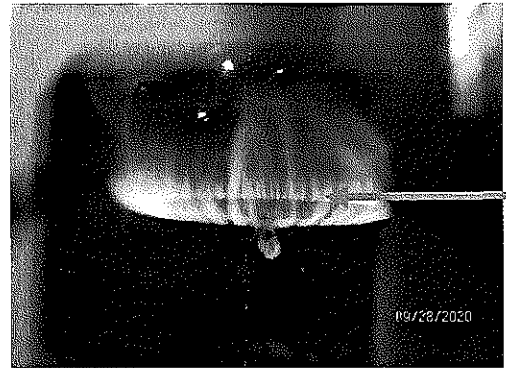
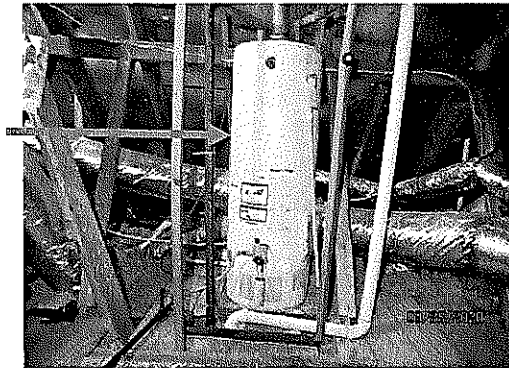
Energy Source: Gas

Number of Water Heaters: 1

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Capacity: 50 Gal.

Ignition Source: Electronic Ignition Pilot

Location: Attic

Mfg: GE

Mfg. Date: 2012

Comments:

A water heater is equipped with a temperature & pressure relief (TPR) valve, (Temperature and Pressure Relief Valve, a safety valve installed on a hot water storage tank to limit the temperature and pressure of the water) This valve is visually inspected, however due to the likelihood that the valve would not reseat if discharged, & due to not being able to replicate the conditions required to determine whether or not the valve will

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function as intended these valves are not tested. TPR Valves are an important safety device that is required by most codes. Water heaters should be flushed every year or as recommended by the manufacturer to remove sediments that collect at the bottom of the tank. It is recommended that any deficiencies/items of concern, if any, are properly repaired/corrected by a licensed plumber prior to closing.

The inspector shall report the energy source, the capacity of the units. Report as Deficient inoperative units, leaking or corroded fittings or tanks, damaged or missing components, the absence of a cold water shut-off valve, if applicable, the absence of a pan or a pan drain system that does not terminate over a waste receptor or to the exterior of the building above the ground surface, inappropriate locations. The lack of protection from physical damage, burners, burner ignition devices or heating elements, switches, or thermostats that are not a minimum of 18 inches above the lowest garage floor elevation, unless the unit is listed for garage floor installation. The absence of an opening that would allow access to equipment for inspection, service, repair or replacement without removing permanent construction or building finish. When applicable a floored passageway and service platform that would allow access for equipment inspection, service, repair or replacement. The absence of or deficiencies in the temperature and pressure relief valve and discharge piping, a temperature and pressure relief valve that failed to operate, when tested manually.

Requirements for gas units. The inspector shall report as Deficient gas leaks, flame impingement, uplifting flame, improper flame color, or excessive scale build-up. The absence of a gas shut-off valve within six feet of the appliance, the absence of a gas appliance connector or one that exceeds six feet in length. Gas appliance connectors that are concealed within or extended through walls, floors, partitions, ceilings or appliance housings. Deficiencies in combustion and dilution air, gas shut-off valves, access to a gas shutoff valves that prohibit full operation, gas appliance connector materials and vent pipe, draft hood, draft, proximity to combustibles, and vent termination point and clearances.

The water heating equipment is functioning as intended however there were deficiencies as described below.

TPR Valves are not manually tested due to the possibility of not being able to properly re-set the valve which would result in a leak in the system.

The TPR Valve drain line does not terminate within 6" to grade. TPR Valve drain lines should terminate within 6" to grade and in a safe location to prevent the possibility of injury in the event the TPR Valve were to discharge.

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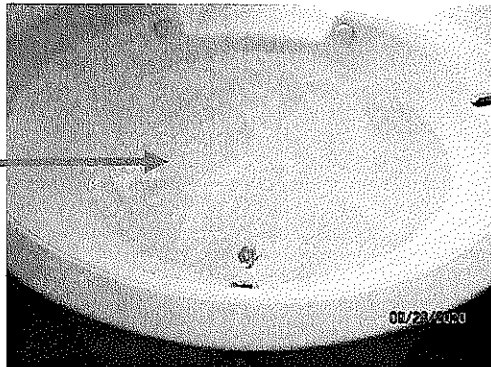
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I	P			

D. Hydro- Massage Therapy Equipment

Comments:

The inspector shall report as Deficient inoperative units, the presence of active leaks, deficiencies in components and performance, missing and damaged components, the absence of an opening that would allow access to equipment for inspection, service, repair or replacement without removing permanent construction or building finish and the absence or failure of operation of ground-fault circuit interrupter protection devices;

The Hydro-Massage therapy equipment is functioning as intended.



Access panel is not installed to inspect equipment/plumbing under bath tub.

V. APPLIANCES

A. Dishwashers

Comments:

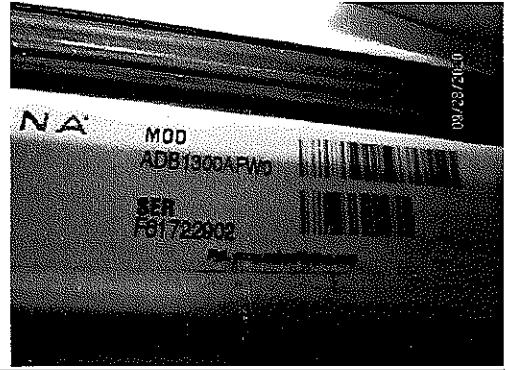
The inspector shall report as Deficient inoperative units, deficiencies in performance or mounting, rusted, missing or damaged components, the presence of active water leaks; and the absence of backflow prevention.

It is recommended that any deficiencies/items of concern marked with a if any, are further evaluated/repared/corrected by a qualified tradesman/contractor prior to closing.

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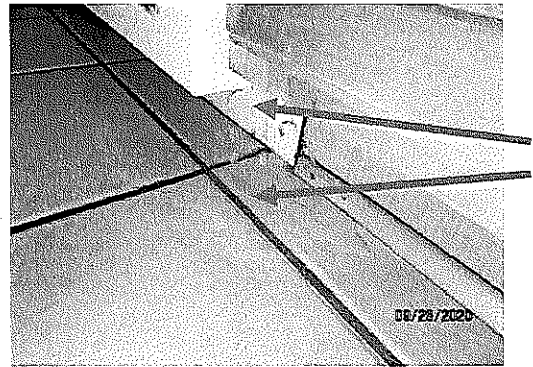
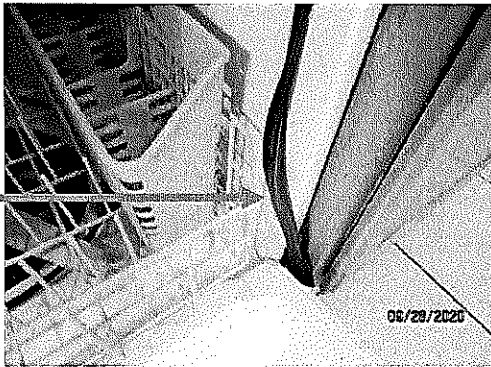
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Dishwasher replaced with new in March

An attempt to run the dishwasher through a complete normal cycle was made however the dishwasher had to be shut off without completing the cycle due to the dishwasher door seal is damaged & is leaking water all over the floor. The dishwasher was shut off & the cycle was not completed. Recommend repair as required.

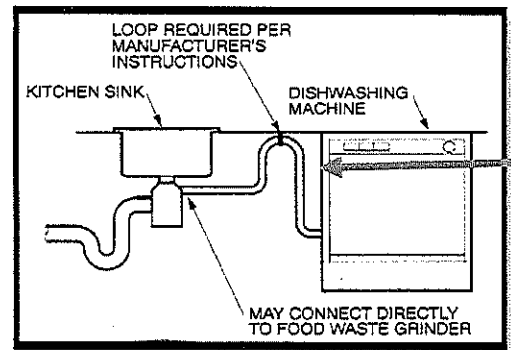
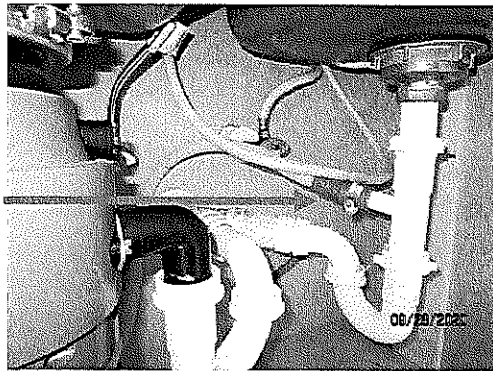


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Air gap in the dishwasher drainpipe is not installed, when installed properly the air gap prevents the potential backflow of contaminants from the disposer back into the dishwasher. The dishwasher drainpipe should be secured to the underside of the counter to create an upside down "U" in the drainpipe.

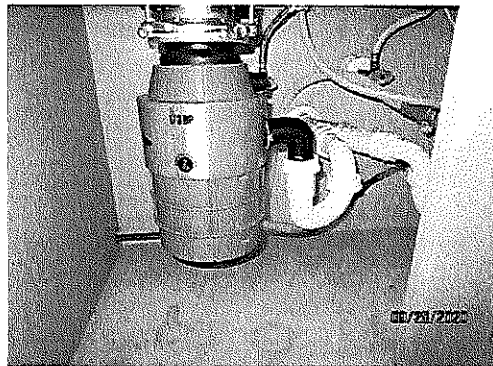


B. Food Waste Disposers

Comments:

The inspector shall report as Deficient inoperative units, deficiencies in performance or mounting, missing or damaged components and the presence of active water leaks.

The food waste disposer was operated and is functioning as intended.



Surface rust was observed on the interior of the disposal.

C. Range Hood & Exhaust Systems

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Vent Method: Vented to the exterior, unit integrated with microwave oven

Comments:

It is recommended that any deficiencies/items of concern marked with a if any, are further evaluated/repared/corrected by a qualified tradesman/contractor prior to closing.

The range exhaust vent was operated and is functioning as intended.

D. Ranges, Cook Tops & Ovens

Comments:

The inspector shall report as Deficient inoperative units, deficiencies in performance or mounting, missing or damaged components, ducts that do not terminate outside the building, if the unit is not of a re-circulating type or configuration and improper duct material.

The inspector shall report as Deficient inoperative units, missing or damaged components, combustible material within thirty inches above the cook top burners, absence of an anti-tip device, if applicable, gas leaks, the absence of a gas shutoff valve within six feet of the appliance, the absence of a gas appliance connector or one that exceeds six feet in length, gas appliance connectors that are concealed within or extended through walls, floors, partitions, ceilings or appliance housings and deficiencies in thermostat accuracy (within 25 degrees at a setting of 350° F). Mounting and performance, gas shut-off valves, access to a gas shutoff valves that prohibits full operation and as appliance connector materials.

It is recommended that any deficiencies/items of concern marked with a if any, are further evaluated/repared/corrected by a qualified tradesman/contractor prior to closing.

Cook Top: Gas

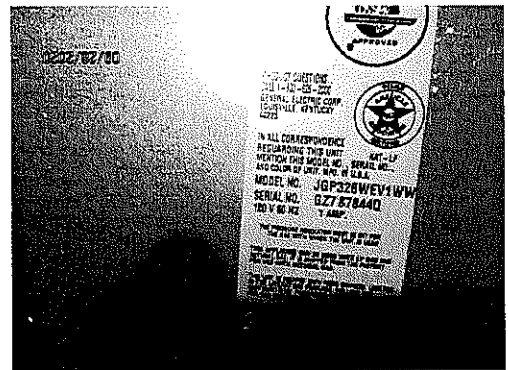
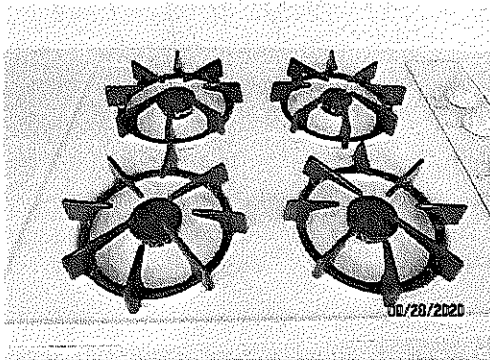
The cook top was operated and is functioning as intended.

Report Identification: 9114 Kirkstone Spring, TX. 77379

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Ovens: Electric

The ovens were operated and are functioning as intended however there were deficiencies as described below.

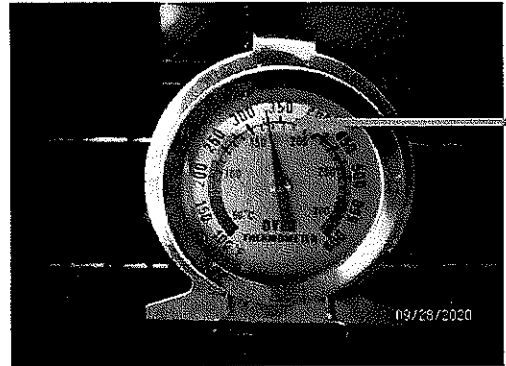
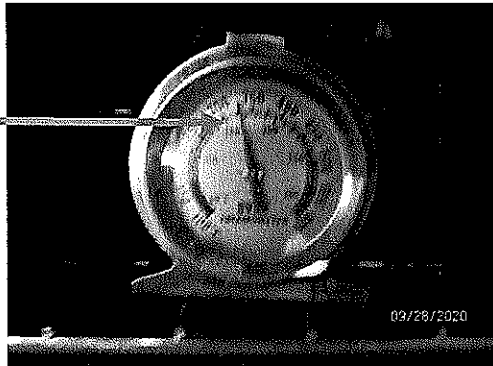


The ovens were turned on to 350 degrees and allowed to cycle through the preheat function, a temperature reading was performed and read 325 degrees at the top oven & 330 degrees at the bottom, a variance of 25 degrees is considered acceptable. Recommend recalibrating the oven to the correct temperature as required.

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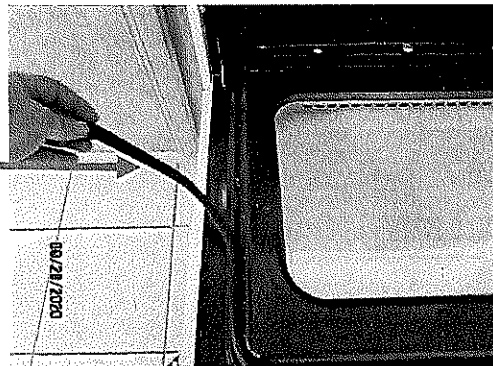
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The oven light did not function as intended.

The bottom oven door seal is damaged. Recommend repair/replacing.



seal was replaced

E. Microwave Ovens

Comments:

The inspector shall inspect built-in units and report as Deficient inoperative units, deficiencies in performance or mounting and missing or damaged components.

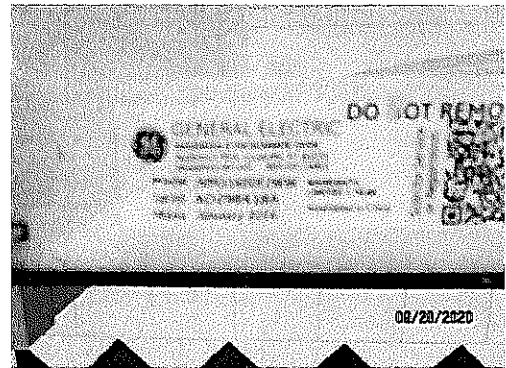
It is recommended that any deficiencies/items of concern marked with a if any, are further evaluated/repared/corrected by a qualified tradesman/contractor prior to closing.

The microwave was operated and is functioning as intended owever there were deficiencies as described below.

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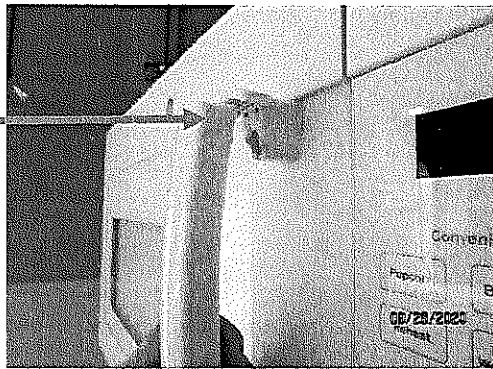
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I	N	N	D	Inspection Item
I	P			



The door pull is broken. Recommend replacing.

Door pull was replaced



F. Mechanical Exhaust Vents and Bathroom Heaters

Comments:

The inspector shall report as Deficient inoperative units, deficiencies in performance or mounting, missing or damaged components, ducts that do not terminate outside the building and a gas heater that is not vented to the exterior of the building unless the unit is listed as an unvented type.

It is recommended that any deficiencies/items of concern marked with a if any, are further evaluated/repared/corrected by a qualified tradesman/contractor prior to closing.

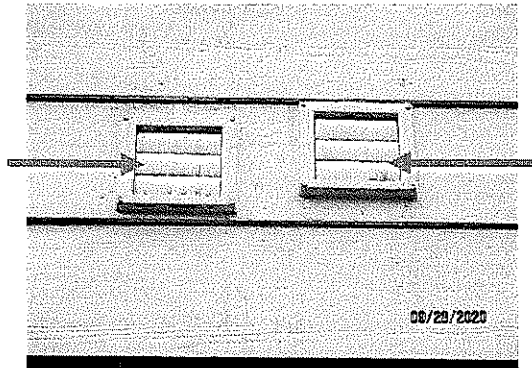
The exhaust vents is functioning as intended however there were deficiencies as described below.

Additional pages may be attached to this report. Read them very carefully. This report may not be complete without the attachments. If an item is present in the property but is not inspected, the "NI" column will be checked and an explanation is necessary. Comments may be provided by the inspector whether or not an item is deemed in need of repair

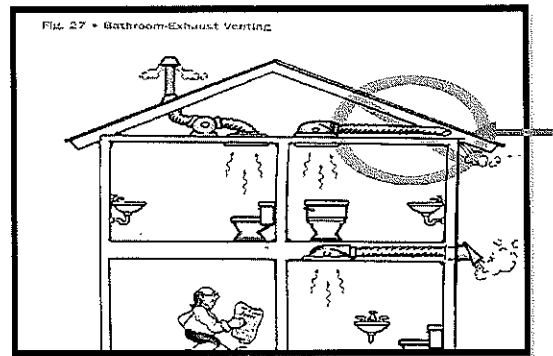
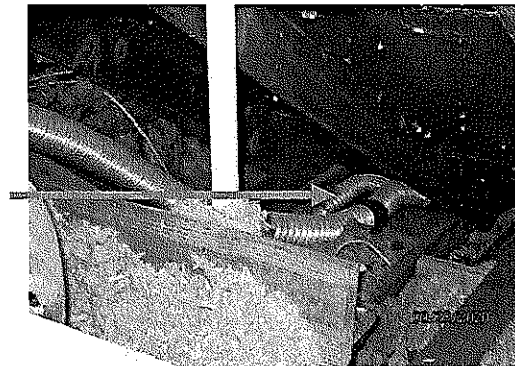
I=Inspected NI =Not Inspected NP=Not Present D=Deficiency

I	N	N	D	Inspection Item
I	P			

The utility room & downstairs half bath exhaust vents do not appear to be properly terminated to the exterior as noted by the lack of movement at the exterior exhaust flaps on the right side of the structure.



The upstairs bathroom exhaust vents are vented to the soffit and not through the roof deck or exterior wall as required.



G. Garage Doors, Operators

Comments:

Garage doors, including automatic openers and safety devices, are inspected to determine if they are functioning properly.

Openings between the garage and residence shall be equipped with solid wood doors not less than 1 3/8 inch (35 mm) in thickness, solid or honeycomb core steel doors not less than 1 3/8 inches (35 mm) thick, or 20-minute fire-rated doors.

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I	N	N	D	Inspection Item
I				
	I	P		

The garage door is typically the largest moving object in the house, and many of its components are under high tension. Improper installation or maintenance of a garage door can create a hazardous condition that can cause serious injury or even death. If a spring is broken, operating the door can cause serious injury or death. Do not operate the door until the spring is replaced by a trained door systems technician. Because of potential dangers involved, all repairs and adjustments must be performed by a trained door systems technician using proper tools and instructions.

A moving door can cause serious injury or death. Keep people clear of the opening while the door is moving.

High spring tension can cause serious injury or death. Do not try to remove, repair or adjust springs or anything to which door spring parts are fastened, such as, wood blocks, steel brackets, cables or other like items.

The inspector shall report as Deficient inoperative units, deficiencies in performance or mounting, missing or damaged components, installed photoelectric sensors located more than six inches above the garage floor and door locks or side ropes that have not been removed or disabled.

It is recommended that any deficiencies/items of concern marked with a if any, are further evaluated/repared/corrected by a qualified tradesman/contractor prior to closing.

Garage door & automatic door opener are functioning as intended however there were deficiencies as described below.

Electronic eye (photoelectric reversing sensor) was installed and is functioning as intended. This is a safety device designed to reverse the door in the event an object passing under the door while closing.

Electronic eye (photoelectric reversing sensor) is installed greater than 6" above the garage floor. Electronic eye should not be installed greater than 6" above the floor.

Garage door lock is not secured in the open position. This is required when an automatic door opener has been installed.

The automatic garage door opener is noisy when opening/closing. This is typically an indication of potential failure & may need to be replaced in the future.

The garage door is noisy when opening/closing. This is typically an indication of roller

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I	N	N	D	Inspection Item
I	P			

wear & the rollers may need to be replaced in the future.

H. Dryer Exhaust Systems

Comments:

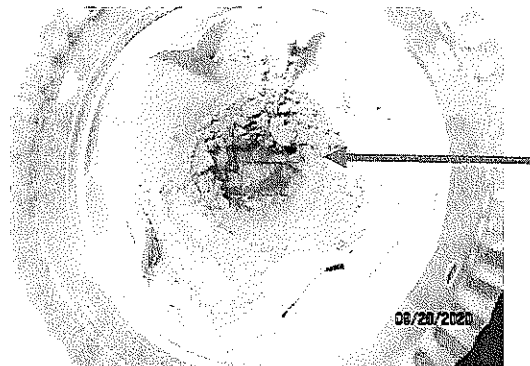
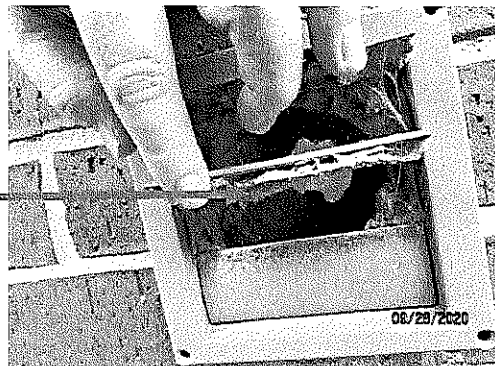
This was a limited visual inspection due to a large portion of the dryer vent is hidden behind walls/between floors & the dryer ducts may not be able to be checked for cleanliness. Dryer ducts should be checked/cleaned on a regular basis.

The inspector shall report as Deficient missing or damaged components, the absence of a dryer exhaust system when provisions are present for a dryer. Ducts that do not terminate to the outside of the building, screened terminations and ducts that are not made of metal with a smooth interior finish.

It is recommended that any deficiencies/items of concern marked with a if any, are further evaluated/repared/corrected by a qualified tradesman/contractor prior to closing.

The dryer vent appeared to be functioning as intended however there were deficiencies as described below.

Dryer vent is dirty/filled with dryer lint. This is a potential fire hazard & should be properly cleaned.



VI. OPTIONAL SYSTEMS

A. Gas Supply Systems

Comments:

This was a limited visual inspection due to a large portion of the Gas Supply System is

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I=Inspected NI=Not Inspected NP=Not Present D=Deficiency

I	N	N	D	Inspection Item
I	P			

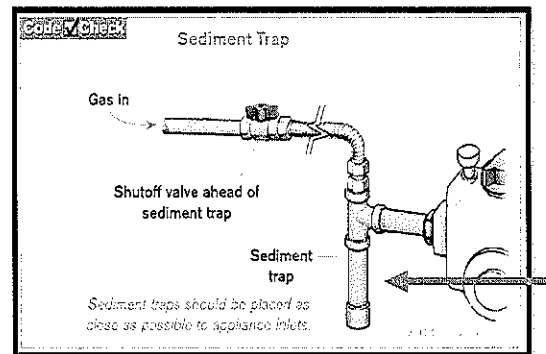
hidden behind walls & insulation & was not accessible/visible.

It is recommended that any deficiencies/items of concern marked with a if any, are further evaluated/repared/corrected by a qualified tradesman/contractor prior to closing.

Gas Line: Black Iron (where visible)

Appeared to be functioning as intended however there were deficiencies as described below.

Sediment traps (drip legs) are missing for the gas supply lines at the heaters & water heater. Sediment traps (T fitting with a short leg in the down position) are intended to trap moisture in the gas supply line. Where a sediment trap is not incorporated as part of the appliance, a sediment trap shall be installed downstream of the appliance shutoff valve as close to the inlet of the appliance as practical. The sediment trap shall be either a tee fitting having a capped nipple of any length installed vertically in the bottommost opening of the tee as illustrated in Figure 408.4 or other device approved as an effective sediment trap. Illuminating appliances, ranges, clothes dryers, decorative vented appliances for installation in vented fireplaces, gas fireplaces and outdoor grills need not be so equipped.



The main gas line is not properly protected as required by today's standards at the exterior wall penetration on the side of the structure.