

Paradigm Inspections, LLC

Property Inspection Report



9307 Reston Grove Ln, Houston, TX 77095

Inspection prepared for: James Reed

Real Estate Agent: Holly Turkington - Keller Williams Memorial

Date of Inspection: 6/29/2021 Time: 12:30

Age of Home: 20 Size: 3281

Home and Termite

Inspector: B. Ashley Granger

TREC # 23392

Phone: 713-826-1083

Email: paradigminspectionsllc@yahoo.com

paradigminspections.net



(713) 826-1083 ★ www.ParadigmInspections.net

PROPERTY INSPECTION REPORT

Prepared For: James Reed
(Name of Client)

Concerning: 9307 Reston Grove Ln, Houston, TX 77095
(Address or Other Identification of Inspected Property)

By: B. Ashley Granger, TREC # 23392 6/29/2021
(Name and License Number of Inspector) (Date)

PURPOSE, LIMITATIONS AND INSPECTOR / CLIENT RESPONSIBILITIES

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions. If any item or comment is unclear, you should ask the inspector to clarify the findings. It is important that you carefully read ALL of this information.

This inspection is subject to the rules ("Rules") of the Texas Real Estate Commission ("TREC"), which can be found at www.trec.texas.gov.

The TREC Standards of Practice (Sections 535.227-535.233 of the Rules) are the minimum standards for inspections by TREC licensed inspectors. An inspection addresses only those components and conditions that are present, visible, and accessible at the time of the inspection. While there may be other parts, components or systems present, only those items specifically noted as being inspected were inspected. The inspector is NOT required to turn on decommissioned equipment, systems, utility services or apply an open flame or light a pilot to operate any appliance. The inspector is NOT required to climb over obstacles, move furnishings or stored items. The inspection report may address issues that are code-based or may refer to a particular code; however, this is NOT a code compliance inspection and does NOT verify compliance with manufacturer's installation instructions. The inspection does NOT imply insurability or warrantability of the structure or its components. Although some safety issues may be addressed in this report, this inspection is NOT a safety/code inspection, and the inspector is NOT required to identify all potential hazards.

In this report, the inspector shall indicate, by checking the appropriate boxes on the form, whether each item was inspected, not inspected, not present or deficient and explain the findings in the corresponding section in the body of the report form. The inspector must check the Deficient (D) box if a condition exists that adversely and materially affects the performance of a system or component or constitutes a hazard to life, limb or property as specified by the TREC Standards of Practice. General deficiencies include inoperability, material distress, water penetration, damage, deterioration, missing components, and unsuitable installation. Comments may be provided by the inspector whether or not an item is deemed deficient. The inspector is not required to prioritize or emphasize the importance of one deficiency over another.

Some items reported may be considered life-safety upgrades to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards or Deficiencies below.

THIS PROPERTY INSPECTION IS NOT A TECHNICALLY EXHAUSTIVE INSPECTION OF THE STRUCTURE, SYSTEMS OR COMPONENTS. The inspection may not reveal all deficiencies. A real estate inspection helps to reduce some of the risk involved in purchasing a home, but it cannot eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is recommended that you obtain as much information as is available about this property, including any seller's disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for or by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspector's responsibility to confirm that information obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous or future reports.

ITEMS IDENTIFIED IN THE REPORT DO NOT OBLIGATE ANY PARTY TO MAKE REPAIRS OR TAKE OTHER ACTIONS, NOR IS THE PURCHASER REQUIRED TO REQUEST THAT THE SELLER TAKE ANY ACTION. When a deficiency is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods.

Promulgated by the Texas Real Estate Commission (TREC) P.O. Box 12188, Austin, TX 78711-2188 (512) 936-3000
(<http://www.trec.texas.gov>).

Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions.

Examples of such hazards include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathrooms, kitchens, and exterior areas;
- malfunctioning arc fault protection (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined.

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered" because they were present prior to the adoption of codes prohibiting such conditions. While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate licensees also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms require a seller to remedy conditions revealed by an inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for the sale or purchase of the home.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES

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- Improperly installed or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathrooms, kitchens, and exterior areas;
- Improperly installed or missing arc fault protection (AFCI) devices for electrical receptacles in family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas;
- Ordinary glass in locations where modern construction techniques call for safety glass;
- The lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- Excessive spacing between balusters on stairways and porches;
- Improperly installed appliances;
- Improperly installed or defective safety devices; and
- Lack of electrical bonding and grounding.

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I. STRUCTURAL SYSTEMS

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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A. Foundations

Type of Foundation(s):

- Post tension slab foundation
-

Disclaimer: A general home inspection is a non-invasive, visual examination of the accessible areas of a residential property, performed for a fee, which is designed to identify defects within specific systems and components that are both observed and deemed material by the inspector. It is based on the observations made on the date of the inspection, and not a prediction of future conditions. It is a snapshot in time. A general inspection will not reveal every issue that exists or ever could exist. But only those material defects observed on the date of the inspection. This is not an inspection of cosmetic defects or deficiencies. Several areas of the property were inaccessible at time of inspection due to being blocked, covered or no proper safe pathways to areas. These areas were not inspected at time of inspection.

Comments:

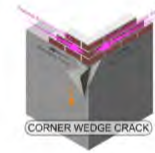
- Info on corner wedge cracks or pops. Observational and informational purposes only.
- View of typical post tension cable foundation methods utilized in residential applications. Observational & Informational purposes only.
- View of post tension cable foundation methods used in residential applications. Observational and informational purposes only.
- Foundation was working as intended at time of inspection. All foundation penetrations, gaps and cracks should be sealed properly. Conducive to moisture and WDI(Wood Destroying Insects) intrusion.
- Rear patio was covering the foundation in several areas of the structure at time of inspection. Could not inspect foundation for any defects or deficiencies in these areas at time of inspection.
- Foundation was covered in most areas and could not inspect at time of inspection.
- **NOTE: Weather conditions, drainage, leakage and other adverse factors are able to affect structures and differential movements are likely to occur. The Inspectors opinion is based upon visual observations of accessible and unobstructed areas of the foundation at the time of inspection. Future performance of the structure cannot be predicted or warranted**

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2:30
 Neil Smart - propertyconditionconsulting.com
 "more about the corner crack and how to repair the corner."

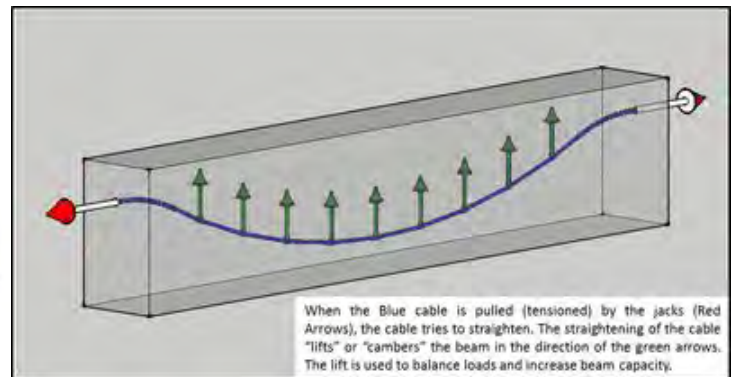
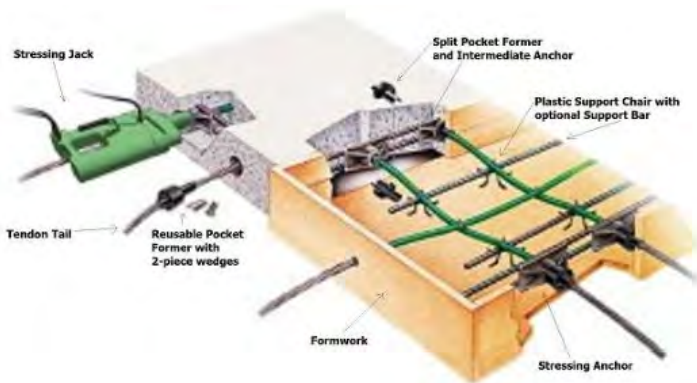


Should I repair corner pops?

To repair or not to repair a corner pop is often just a matter of personal preference. It is your decision to make.

Post tension foundation penetrations noted at time of inspection. Observational an informational purposes only.

Observational an informational purpose only.



Observational an informational purpose only.

Observational an informational purpose only.

B. Grading and Drainage

Comments:

- View of typical grading corrections utilizing Swale methods. Observational & Informational purposes only.
- Tree roots exposed are creating trip hazards should have corrected as needed.
- Minimum to no drains and/or drainage system observed.
- All gutters should disperse water 5' away from the foundation.
- Gutters were missing in several areas of the structure to disperse the water properly away from the foundation and structure at time of inspection. Recommend installing gutters in these areas.
- Excessive moisture noted at one or more areas around the structure structure
- Ponding water was observed at one or more areas around the structure

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Tree roots are noted in front yard potential trip hazard recommend having a professional remove all routes that are exposed



All gutters to disperse water 5 to 6 feet away from foundation. Conducive to moisture intrusion, damage and potential WGO.



Ponding water noted on the right side of structure at time of inspection. Noted that it did rain hard today. No gutters noted on sides of house recommend adding gutters to deal with drainage



Ponding water noted on the left side of structure by fence at time of inspection. No gutters noted on that side of house. Recommend replacing or adding gutters to assist and proper drainage efficiency.

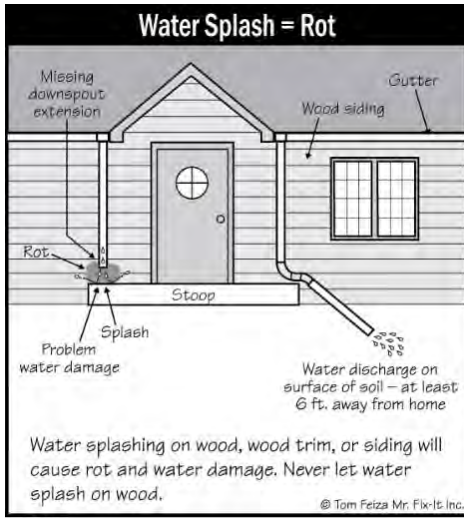
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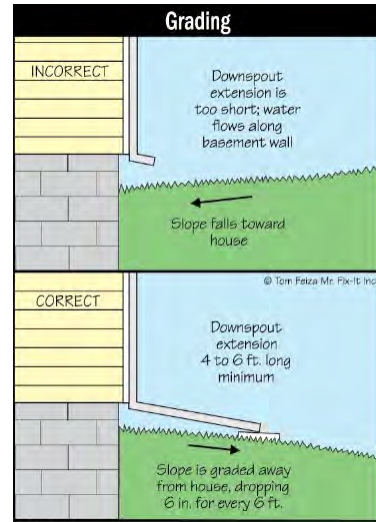
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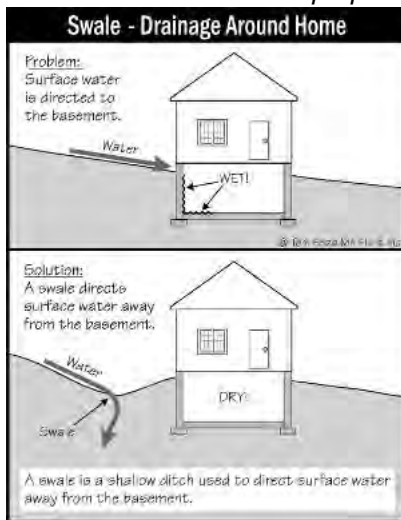
X034

Observational an informational purpose only.



B085C

Observational an informational purpose only.



M005

Observational an informational purpose only.



Missing gutters noted on sides of structure noted. Recommend adding gutters for optimal efficiency.

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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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C. Roof Covering Materials

Type(s) of Roof Covering:

- Asphalt composition shingles noted
- Notice: Life expectancy of the roofing material is not covered by this property inspection report. If any concerns exist about the roof covering life expectancy or potential for future problems, a roofing specialist should be consulted. The Inspector cannot offer an opinion or warranty as to whether the roof has leaked in the past, leaks now, or may be subject to future leaks, either expressed or implied. The inspection of this roof may show it to be functioning as intended or in need of minor repairs. This inspection does not determine the insurability of the roof. You are strongly encouraged to have your Insurance Company physically inspect the roof, prior to the expiration of any time limitations such as option or warranty periods, to fully evaluate the insurability of the roof.

• The absolute water-tightness of a roof system can only be determined by observing it during a period of prolonged rainfall and differing weather and wind conditions. These conditions are rarely, if ever, present during the inspection, and if they are, there are almost always some areas of the roof that will not be observable, due to factors such as, but not limited to: construction/ framing design, ductwork, insulation, low headroom, etc. Therefore this report should not be construed as a warranty, or an absolute opinion, of the complete water-tightness of the roof system. We will, however, endeavor to report observable evidence of roof leaks or problems. It is also important to talk to the homeowner about any ceiling stains and leak activity whether past or present. A homeowner is obligated by the seller's disclosure paperwork to truthfully report on any roof leak issues since they have owned the home. Make sure you have reviewed the seller's disclosure statement in its entirety.

Viewed From:

- Ground with binoculars

Comments:

- Roofing was working as intended at time of inspection. No visible defects at time of inspection.
- All roofing components were found to be performing and in satisfactory condition at the time of the inspection
- Asphalt or composition shingles have a service life from {15-30} years depending upon the shingle quality, installation and maintenance. If shingles begin to lose the granular covering and curling; the roof should typically be considered for replacement. No more than {2} layers of asphalt shingles should be installed at one time.
- The inspector is not required to inspect from the roof level if; in the inspectors reasonable judgement, the inspector cannot safely reach and/or stay on the roof without significant damage to the roof covering materials
- Inspector could not access the roof due to either roofing material, dangerous slope of roof and/or above the reachable height; therefore, the roof was observed from ground level with optical lenses

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Front of roof noted. Observational an informational purpose only.

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D. Roof Structure and Attics

Viewed From:

- Attic
- Ground with Binoculars

Insulation De Blown-in insulation was noted at [{"10"-12"}]
2x6 Rafters

Comments:

- Attic structure was constructed of rafters, purlins and Joists methods.
- Types of attic structures and Rafter construction methods utilized. Observational purposes only.
- View of typical cornice construction methods utilized in residential applications. Observational & Informational purposes only.
- View of typical Dormer construction methods utilized in residential applications. Observational and informational purposes only.
- Observational and Informational purposes only.
- Structure utilized ridge vent in attic structure. Observational purposes only.
- Flashing was cut out properly from interior. Observational purposes only.
- **One or more of the attic ladder components were observed to be damaged and should be corrected for safety reasons.**

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Attic structure consist of rafters, purlins and kicker support noted at time of inspection. Observational an informational purposes only.



2 x 6 rafters noted at time of inspection. Observational an informational purposes only.



Attic storage area noted in second-floor bedroom right side door access to storage area of attic noted. Observational informational purposes only.



Attic ladder noted on second floor 250 pounds max rating cover was insulated. Observational an informational purposes only. 2001 manufacture date noted.

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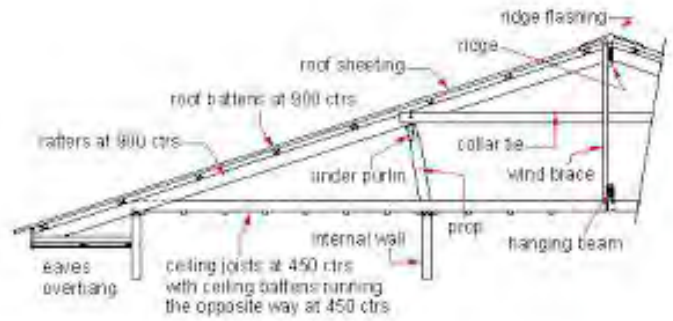
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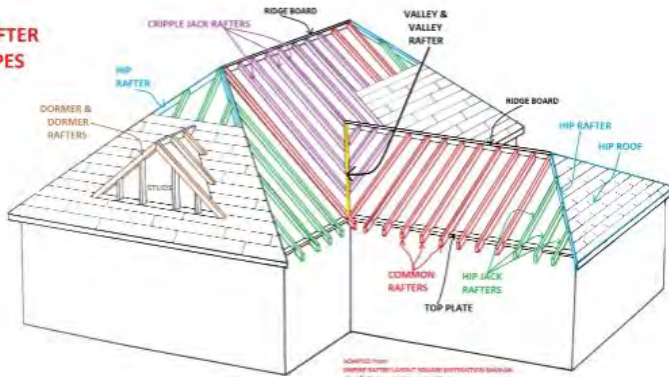


Attic ladder was missing hardware in fasteners to secure to framing recommend having a professional inspection correct potential fall hazard or damage

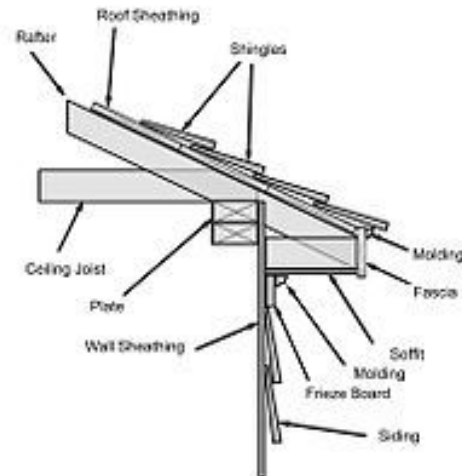


Observational an informational purpose only.

RAFTER TYPES



Observational an informational purpose only.



Observational an informational purpose only.

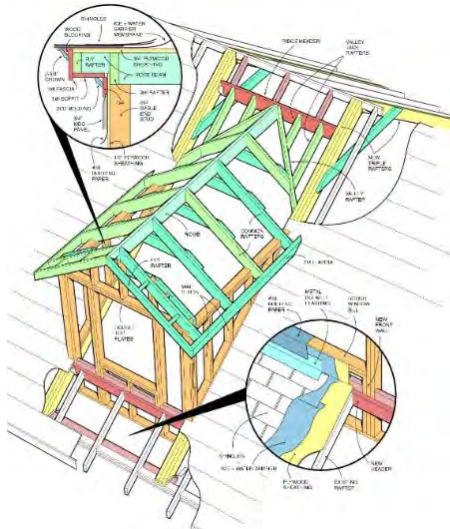
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R-VALUES BY INSULATION THICKNESS

R-19	=	7.0"
R-22	=	8.0"
R-26	=	9.5"
R-30	=	10.75"
R-38	=	13.5"
R-44	=	15.5"
R-49	=	17"
R-60	=	20.5"

Observational an informational purpose only.



Limited access area in attic noted. Observational an informational purpose only.

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Attic ladder scuttle hole is recommended to be sealed and caulked properly. Conducive to air leaks from attic into livable space and potential condensation.



View of attic structure construction methods noted with Rafters, Purlin and Kicker support. Observational an informational purpose only.



Small ridge vent noted at time of inspection. Observational an informational purpose only.

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E. Walls (Interior and Exterior)

Wall Materials:

- Exterior brick veneer and/or structural walls noted
- Exterior Hardiboard {fiber cement} siding noted
- Drywall walls noted on interior
- Natural and/or manufactured stone walls noted on interior
- Ceramic and/or other tile surfaces noted on interior walls

Comments:

- All exterior expansion joints should be sealed with silicone not mortar. Mortar will crack when house settles. Should remove and replace with proper silicone for proper expand and contract without cracking.
- Exterior caulking is the simplest energy-efficient measures to install. The purpose of exterior caulking is to minimize air flow and moisture through cracks, seams, and utility penetrations/openings. Controlling air infiltration is one of the most cost effective measures in modern construction practices. A home that is not sealed will be uncomfortable due to drafts and will use about 30% more heating and cooling energy than a relatively air-tight home. In addition, good caulking and sealing will reduce dust and dirt in the home and prevent damage to structural elements.
- Typical residential construction methods utilized in wall systems application. Observational and informational purposes only.
- Typical wall systems construction utilized in most residential applications. Observational and informational purposes only.
- All exterior brick wall penetrations, gaps or cracks should be sealed properly. Conducive to moisture and WDI (Wood Destroying Insects) intrusion.
- All exterior wall expansion joints should be sealed properly. Conducive to moisture and WDI (Wood Destroying Insect) intrusion.
- All exterior and interior trim around garage doors should be sealed properly. Conducive to moisture and WDI (Wood Destroying Insect) intrusion.
- All exterior wood trim penetrations around windows and doors should be sealed properly. Conducive to moisture and WDI (Wood Destroying Insect) intrusion.
- Wooden fences should not touch the structure. Conducive to WDI (Wood Destroying Insects).
- All exterior siding seams should be sealed properly. Conducive to moisture and WDI (Wood Destroying Insect) intrusion.
- All exterior metal lentils above exterior windows and doors should be painted and sealed properly. Conducive to moisture and rust.

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Office area noted at time of inspection. Observational an informational purposes only.



Living room noted at time of inspection. Observational an informational purposes only.



Kitchen area noted at time of inspection. Observational an informational purposes only.



View of wall in garage by the door with paint peeling off noted. Recommend having a professional inspected

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Wall systems trim and siding noted by dormer window front of house that showed signs of moisture intrusion and damage would recommend having all areas sealed caulked and painted properly in any damage wood replaced.



All exterior siding transition seems between brick and hardy plank siding seems need to be caulked sealed and painted properly conducive to moisture intrusion, damage and potential WDO



Expose penetrations on wall systems around garage should be sealed caulked and painted properly conducive to moisture intrusion, damage a potential WDO. Recommend getting a professional to expect and correct



All exterior siding penetrations and seems should be sealed, caulked and painted properly. Conducive to moisture intrusion, damage and potential WDO. Recommend having a professional inspect and correct.

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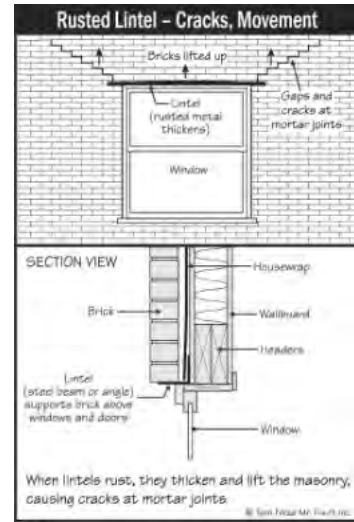
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Back view of structure at time of inspection. Observational an informational purposes



Observational an informational purpose only.



Moisture readings on window in master bedroom was a normal range observational an informational purposes only.



Second floor living room noted at time of inspection. Observational an informational purposes only.

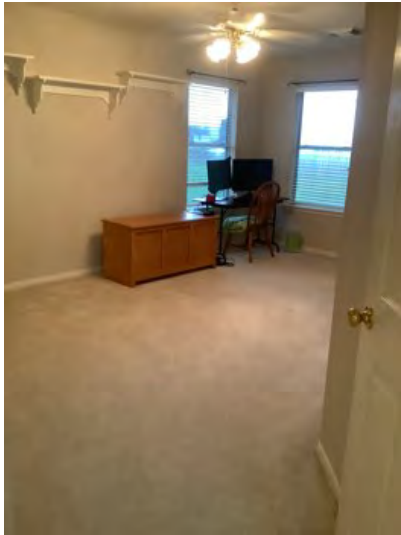
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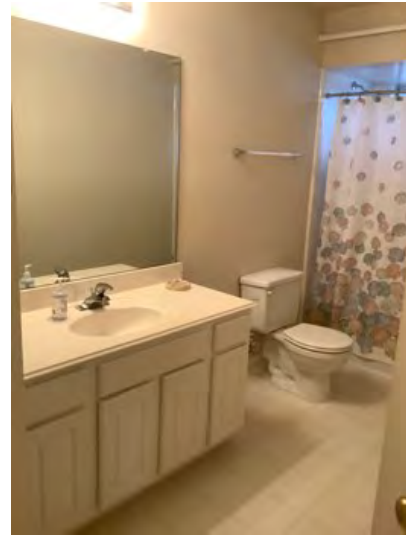
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Second-floor bedroom left side noted at time of inspection. Observational an informational purposes only



Second-floor guest bathroom Noted at time of inspection. Observational an informational purposes only.



Guest bedroom noted top right side observational informational purposes only.



All metal lintils above garage and windows should be sanded caulked sealed and painted properly. Conducive to moisture intrusion, damage and potential WDO. Recommend having a professional inspect and correct

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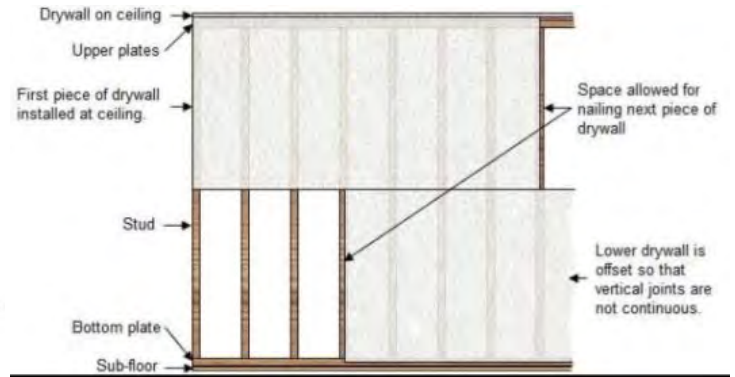
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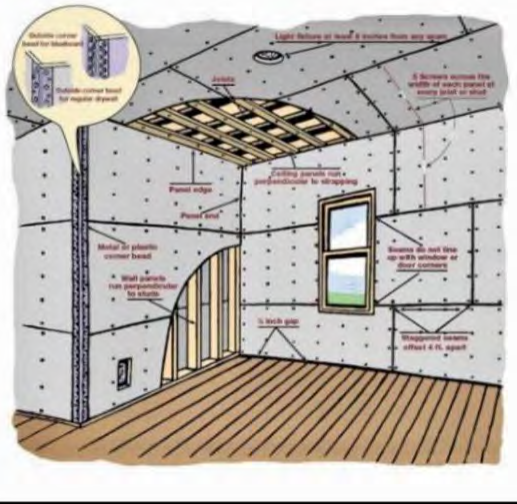
I	NI	NP	D
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Observational an informational purpose only.



Observational an informational purpose only.



Observational an informational purpose only.



Galvanized plumbing at gas meter penetration into wall systems should be sealed properly. Conductive to moisture intrusion, damage and potential WDO.

F. Ceilings and Floors

Ceiling and Floor Materials:

- Ceiling is drywall with smooth finish
- Cathedral ceiling
- Floors had carpet covering in various locations
- Floors had laminate and/or engineered wood flooring in one or more locations
- Floors had tile and/or stone covering in one or more areas

Comments:

- All components were found to be performing and in satisfactory condition at the time of the inspection
- Slab not visible due to floor coverings

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Ceramic, carpet, wood/laminate flooring utilized in structure. Ceramic tile noted in master bathroom what time inspection. Observational an informational purposes only

G. Doors (Interior and Exterior)

Comments:

- All components were found to be performing and in satisfactory condition at the time of the inspection
- Several interior doors were missing door stoppers at time of inspection. Should be corrected properly.
- Some doors were observed to be sticking, not closing properly, out-of-level, frame damage or missing and/or non-functional hardware.



Wood fire rated front door noted at time of inspection. Observational an informational purposes only



Front door not closing properly at time of inspection noted. Observational an informational purpose only.

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H. Windows

Window Types:

- Windows are single hung type
- Stationary style windows
- Windows are made of aluminum

Comments:

- Window constructed properly to divert moisture. Informational purposes only.
- At the time of the inspection; I was unable to visually inspect or operate some of the windows due to height, window treatments, personal effects, large, heavy or fragile storage and/or furniture.
- Observational and informational purposes only.
- Low E & High Efficiency windows. Observational and informational purposes only.
- Types of windows used in residential applications. Observational and informational purposes only.
- Types of glazing utilized in residential applications. Observational & Informational purposes only.
- One or more of the thermal pane windows were observed to have lost their seals. This has resulted in condensation or a fog like film to develop between the panes of glass. The thermal pane windows are no longer functional as designed when the seal is lost and replacement may be necessary
- NOTE: Signs of lost seals in the thermal pane windows may appear and disappear as temperature and humidity changes. Some windows with lost seals may not be evident at the time of this inspection. Windows are checked in a non-exhaustive manner for obvious fogging. When lost window seals are noted herein; it is recommended that all windows be re-checked by a window specialist prior to the expiration of any time limitations such as warranty and/or option periods.
- One or more windows had broken and/or inoperable sash springs.
- All windows are original and not energy efficient. Several windows are hard to operate and are leaking moisture at time of inspection. Recommend replacing with energy efficient Low E windows.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Limited inspection on exterior windows do the solar screens noted at time of inspection. Observational an informational purposes only.



Aluminum original as built windows noted at time of inspection. Recommend ceiling all penetrations with proper caulking. Conducive to moisture intrusion, damage and potential WDO. Recommend having a professional inspected correct.



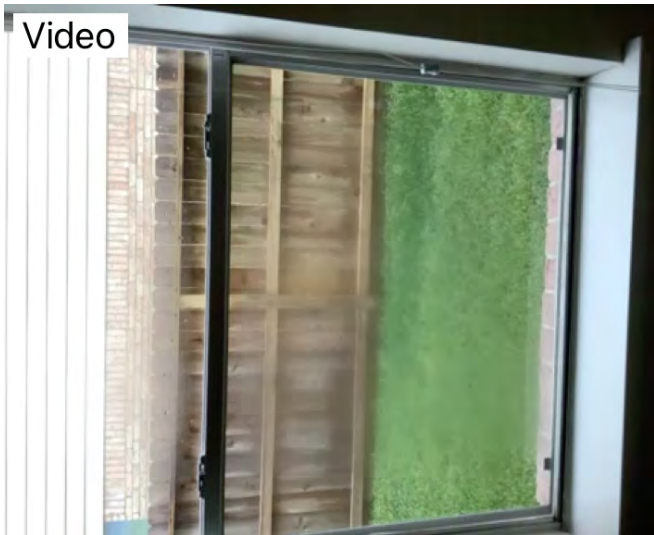
All expose window penetrations should be sealed caulked properly conducive to moisture intrusion damage of potential WDO.



View of Haze / condensation between windows noted at time of inspection these are original as built aluminum windows noted.

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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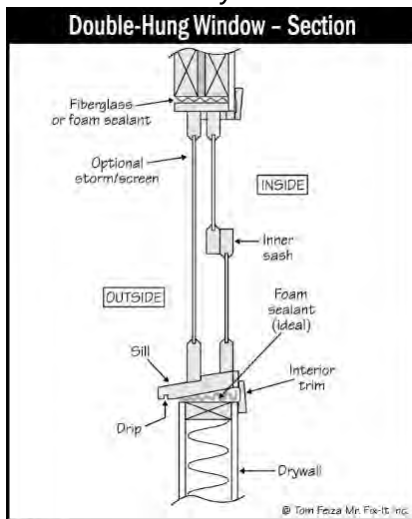


Video



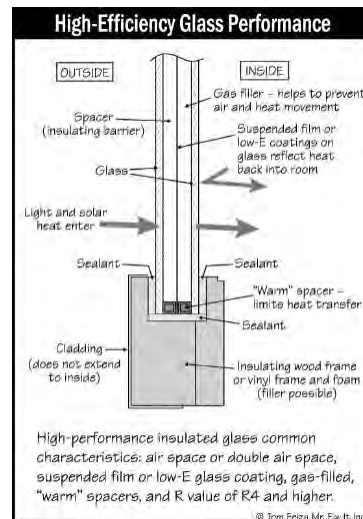
Aluminum windows are working at time of inspection. Some units are sash spring was making a lot of noise or difficult to operate noted. Observational an informational purposes only.

Observational an informational purpose only.



D086

Observational an informational purpose only.



D085

Observational an informational purpose only.

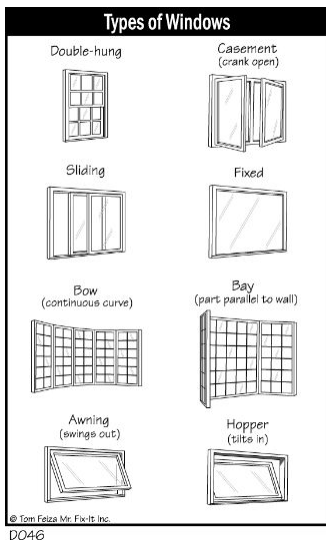
I=Inspected

NI=Not Inspected

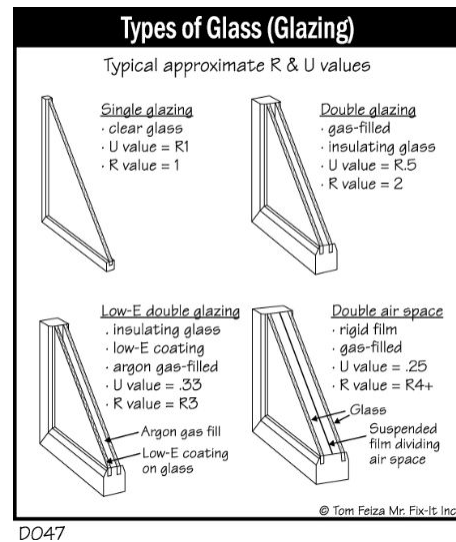
NP=Not Present

D=Deficient

I	NI	NP	D
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Observational an informational purpose only.



Observational an informational purpose only.

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I. Stairways (Interior and Exterior)

Comments:

- All components were found to be performing and in satisfactory condition at the time of the inspection



Stairs handrail height was in normal range at time of inspection. Observational and informational purposes only



Stairs tread measurement was a normal range at time of inspection. Observational an informational purposes only

I=Inspected

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I	NI	NP	D
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Stairs rise measurement was a normal range at time of inspection. Observational an informational of



Observational purposes only.

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J. Fireplaces and Chimneys

Locations:

- Fireplace is located in the living room

Types:

- Fireplace is a natural gas operated chamber

Comments:

- General components of a fireplace. Observational and informational purposes only.
- All components were found to be performing and in satisfactory condition at the time of the inspection.
- The damper was tested for operation and appears to be functional
- Gas fireplace. Fireplace was only visually inspected for defects or deficiencies at time of inspection. Did not inspect operation of fireplace at time of inspection. Fireplace did not have any visible defects at time of inspection.
- Could not fully inspect the chimney due to its height

I=Inspected

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I	NI	NP	D
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Chimney noted at time of inspection. Recommend all trim boards and siding be sealed caulked and painted properly some trim boards may need to be replaced.



Gas fireplace noted at time of inspection. Observational an informational purposes only.



Interior view of gas fireplace noted at time of inspection. Observational an informational purposes only.



Observational an informational purpose only.

I=Inspected

NI=Not Inspected

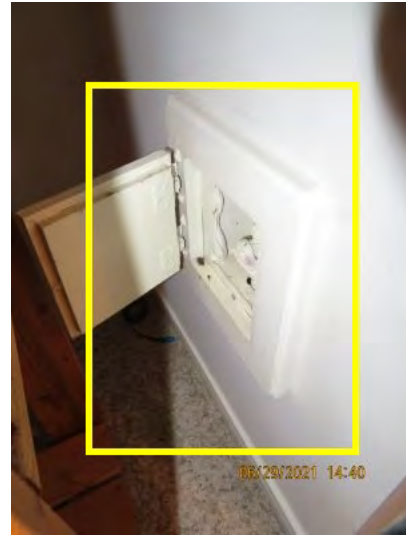
NP=Not Present

D=Deficient

I	NI	NP	D
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View of fireplace damper noted. Observational an informational purpose only.



View of Gas On/Off valve noted. Observational an informational purpose only.

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K. Porches, Balconies, Decks, and Carports

Comments:

- All components were found to be performing and in satisfactory condition at the time of the inspection
- Building permits should be made available for any upgrades performed on the residence in the past {5} years
- There was an attached front and/or rear porch on the residence at the time of the inspection
- Concrete sidewalks were noted
- Concrete driveway was noted
- Trip hazards were observed on the porch and/or deck surface and should be corrected for safety reasons
- It was observed that the sidewalk{s} have settlement and/or movement cracks which becomes a trip hazard and corrective action may be considered

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Concrete driveways and sidewalks noted at time of inspection. Observational an informational purposes only.



Slight bulging and heaving noted in concrete sidewalk due to expose root system from tree in front yard. Recommend having all three routes corrected by a professional.



Cracking noted on back patio at time of inspection. Recommend having a professional inspected correct potential trip hazard conducive a moisture intrusion, shifting expansion and contraction potential.



Back patio noted. Observational an informational purpose only.

L. Other

Materials:

- {6'} wood stockade fence noted

Comments:

- Fence was working properly at time of inspection.

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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Slight deflection noted by sidewalk into front door at time of inspection. Inspectors opinion is exposed route from tree is shifting the concrete sidewalk in this area noted.



6 foot wooden fence noted at time of inspection. Observational an informational purposes only.

II. ELECTRICAL SYSTEMS

A. Service Entrance and Panels

Panel Locations:

- The electrical panel is located in the garage.
- Wood screws noted as fasteners for electrical box noted. recommend utilized proper electrical screws to prevent any potential hazards.

Materials and Amp Rating:

- Copper wiring
- 150 Amp

Comments:

- All components of the main service panel appear to be properly installed and functioning as intended
- Service entrance wiring is underground
- No ARC fault breakers {AFCI} were observed at the service panel at the time of the inspection; although this may not have been a requirement when the home was built. Beginning in 2008; AFCI breakers are required in the panel for 15A/20A branch circuits providing power to family rooms, dining rooms, living rooms, libraries, dens, bedrooms, sunrooms, recreation rooms, closets and hallways. ARCI breakers provide fire protection by opening the circuit when an arcing fault is detected.
- **Electric meter and Siemens breaker box. Breakers were labeled at time of inspection. Observational purposes only.**
- **The aluminum wiring in the service panel was not treated with anti-oxidant sealant should have a professional inspect. Potential fire hazard.**
- **Wood screws noted as fasteners for electrical panel and potential hazard. Recommend having a professional install proper crews for electrical panel.**

I=Inspected

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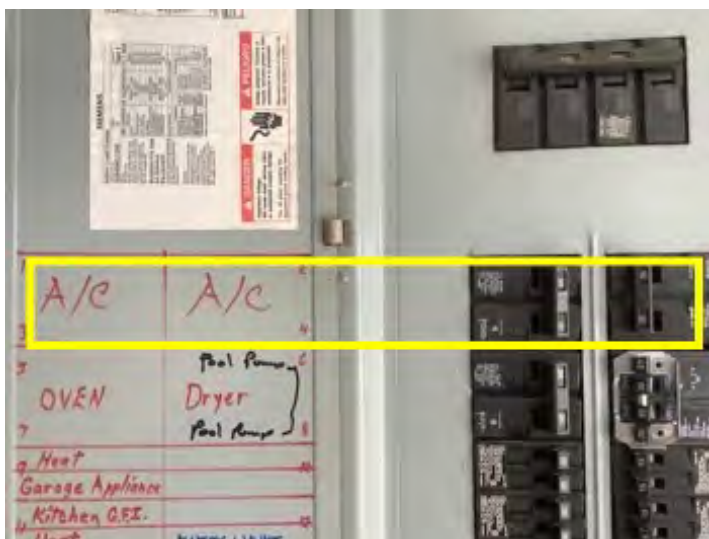
I	NI	NP	D
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Siemens electrical panel noted in garage at time of inspection. Observational an informational purposes only



Interior view of electrical panel noted at time of inspection unit was properly labeled. Observational an informational purposes only



50 amp and 35 amp main breaker's for HVAC units noted at time of inspection. Observational an informational purposes



150 amp main breaker noted at time of inspection. Observational an informational purposes only

I=Inspected

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I	NI	NP	D
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Thermal imaging temperature reading on upper area of panel noted at time of inspection. Observational an informational purposes only



Thermal imaging temperature reading on lower area of electrical panel noted. Observational an informational purposes



Metal screws utilized instead of proper electrical screws. Conducive to electrical hazards and issues. Recommend replacing with proper screws.



All aluminum main connector should have antioxidant jell for protective purposes. Recommend having a professional inspect and add.

I=Inspected

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NP=Not Present

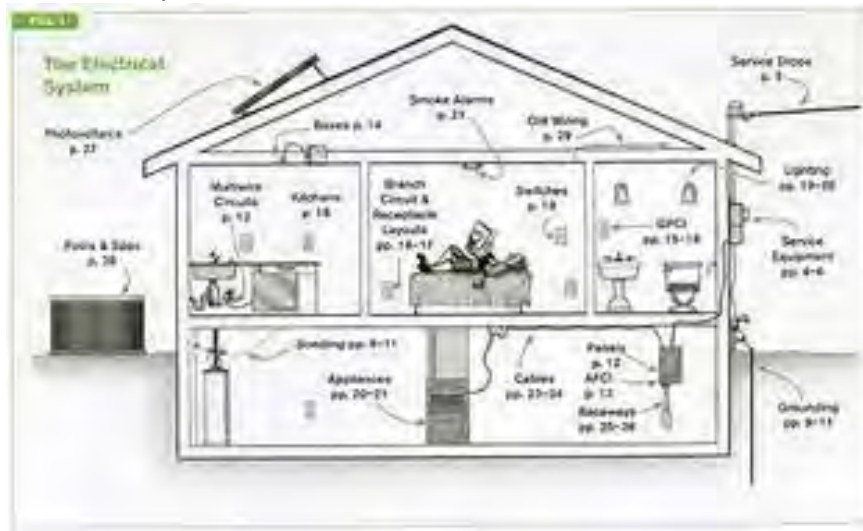
D=Deficient

I	NI	NP	D
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Electrical grounding rod meter and underground service noted at time of inspection. Meter located on the right side of house at time of inspectio

Grounding rod should be further in the ground noted. Recommend having a professional inspected correct.



Observational an informational purpose only.

I=Inspected

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D=Deficient

I	NI	NP	D
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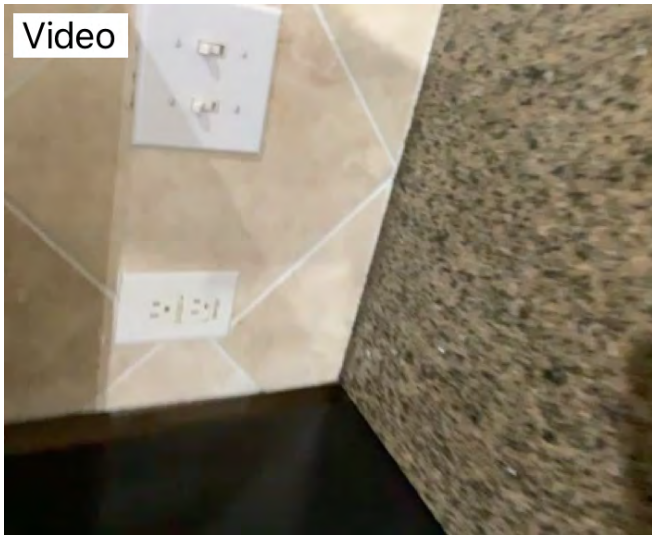
B. Branch Circuits, Connected Devices, and Fixtures

Type of Wiring:

- Copper wiring

Comments:

- Electrical systems guidelines for residential per Code Check. Informational purposes only.
- The doorbell{s} was functional at the time of the inspection.
- All bathroom electrical outlets should be at least 3' from the sinks and GFCI protected. Electrical covers were missing GFCI protected label at time of inspection. Should have a professional inspect and correct.
- All kitchen electrical outlets should be at least 3' from sink and GFCI protected. Should have a professional electrician inspect and correct. Covers should be labeled GFCI protected.
- All utility room electrical outlets should be GFCI protected. Electrical covers were missing GFCI protected label at time of inspection. Should have a professional inspect and correct
- All garage electrical outlets should be GFCI protected. Electrical covers were missing GFCI protected label at time of inspection. Should have a professional inspect and correct.



Kitchen GFCI located by refrigerator was working properly and properly labeled. Observational an informational purposes only



GFCI outlet located by kitchen sink while working properly recommend labeling has recommended

I=Inspected

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D=Deficient

I	NI	NP	D
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Video doorbell working properly at time of inspection. Observational an informational purposes



Video of GFCI in garage properly labeled and working properly at time of inspection. Observational an informational purposes only.



Electrical outlet by front door needs to have bubble cover to protect. Recommend have a professional inspect and install.



Electrical outlet by front door was working properly at time of inspection. Observational an informational purposes only.

I=Inspected

NI=Not Inspected

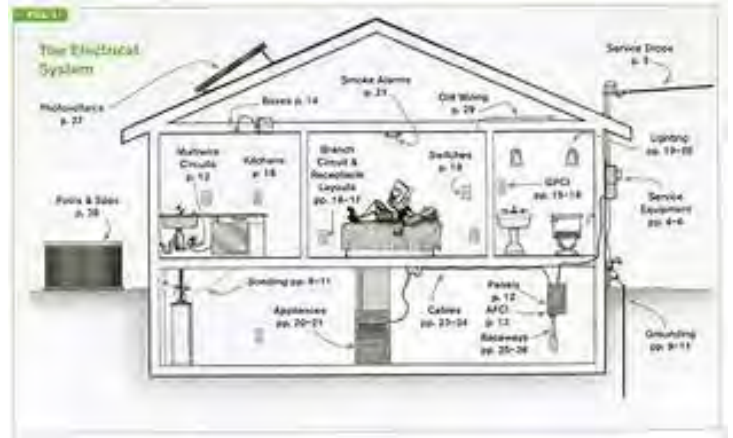
NP=Not Present

D=Deficient

I	NI	NP	D
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GFCI in master bathroom by the toilet is working properly at time of inspection. Observational informational purposes only.



Observational an informational purpose only.



Exposed wiring in attic and outlets / receptacles missing cover plates noted. Potential hazard and recommend having a professional inspect and correct.

III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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A. Heating Equipment

Type of Systems:

- Gas fired forced hot air
- The home has a split system.

Energy Sources:

- The furnace is gas powered

Comments:

- The functional testing and/or inspection of the heating system was unable to be conducted due to an outside temperature in excess of {90} degrees. A limited visual inspection was performed. Have a professional inspect.
- Please note that to properly inspect the heat exchanger; the unit must be physically dismantled and heat exchangers removed for examination. Due to the limitations of the Texas Real Estate Commission {TREC}; this procedure is prohibited and the inspection of the heat exchanger was limited



View of Gas heating (Furnace) noted. Unit not tested due to exterior temperature is above 90 degrees. Observational an informational purpose only.

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

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B. Cooling Equipment

Type of Systems:

- Gas fired forced hot air
- The home has a gravity style octopus system.
- The home has a split system.

Comments:

- Basic components of a standard residential HVAC cooling system.
- Observational and informational purposes only.
- Diagram of basic residential cooling system and its components. Composite pad is important to keep unit above grade level which is conducive to moisture intrusion, damage, corrosion to unit. Have HVAC unit min. 3 inches above grade level.
- This unit appears to be functioning as intended at the time of inspection and consistent with accepted industry standards
- The main condensation drain is located in Guest bathroom under sink.
- The cooling system differential was in normal range of 14-22 degrees.
- **The cooling system appears to have reached its serviceable life expectancy**
- **The secondary condensate drain was discharging water to the exterior indicating a possible problem with the primary drain**
- **Temperature Differential was 10 Degrees and not in normal range. Recommend having a professional inspect for optimum efficiency.**



Secondary drain noted on right side of house underneath soffit he's draining at time of inspection. Conducive to main drain needing to be cleaned out. Recommend having a professional inspect incorrect problem



Main condensation drain noted under sink and guest bathroom at time of inspection. Observational an informational

I=Inspected

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D=Deficient

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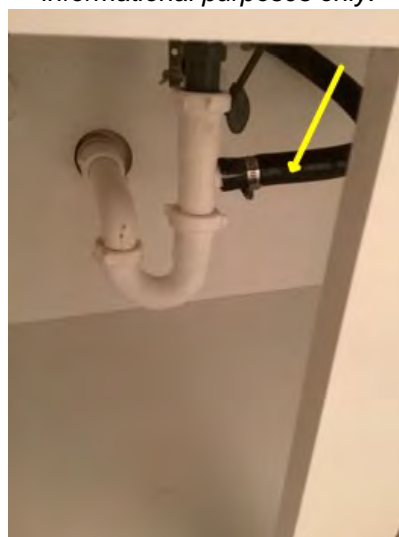
57° second-floor guest bathroom supplied meant noted at time of inspection. Observational and informational purposes only



51.8° temperature reading on supply vent and second floor left bedroom noted in normal range. Observational an informational purposes only.



61° temperature reading second floor living room noted at time of inspection. Observational an informational purposes only



Main condensation line noted in second-floor guest bathroom under sink right side. Observational an informational purposes

I=Inspected

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NP=Not Present

D=Deficient

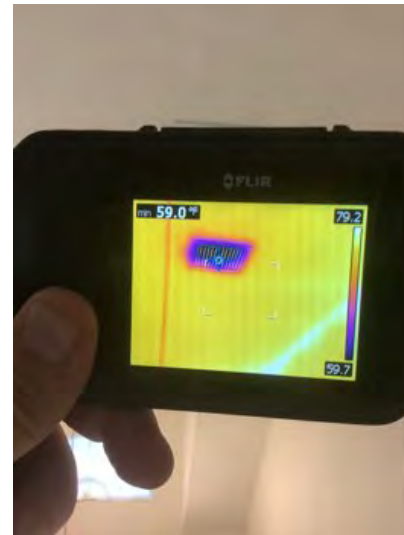
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Second floor back left bedroom temperature reading. 60.4 degrees noted. Observational an informational purpose only.



Second floor living room 61.2 slightly higher than normal temperature reading.



Second floor foyer area noted. Observational an informational purpose only.

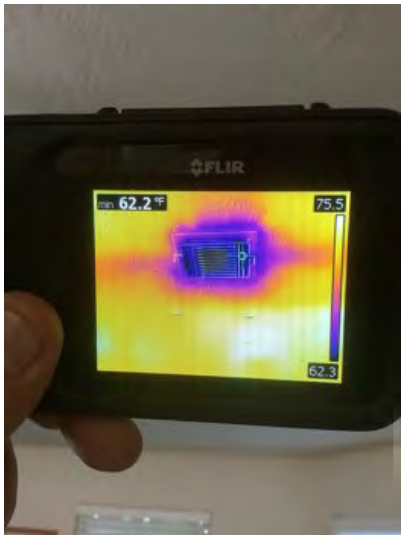
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

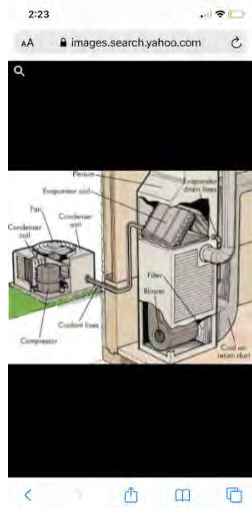
I	NI	NP	D
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62.2° second floor living room supply vent noted at time of inspection. Observational an informational purposes



72° temperature reading on second floor return vent in wall located at top of stairs noted. Observational an informational purposes only.



Observational an informational purpose only.



Observational an informational purpose only.

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NP=Not Present

D=Deficient

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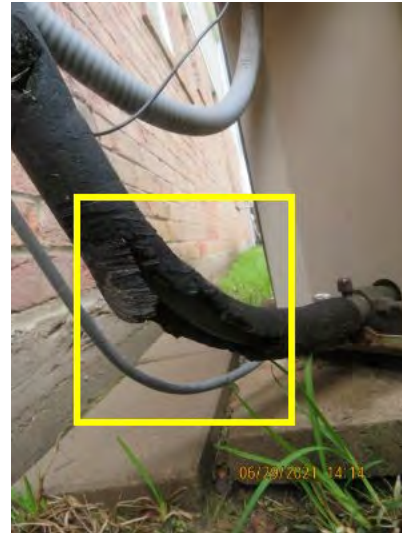
Two (2) HVAC exterior condensing units noted at time of inspection. Observational an informational purpose only.



Lennox HVAC unit Manufacture label noted at time of inspection. Observational an informational purpose only.



Lennox unit appears to be at end of its life expectancy noted. 3 Ton, R22 Freon, 35 Amp Max, 12 SEER, 2002 MFD. Recommend having unit inspected by a professional for over all life expectancy. Unit was operating at time of inspection but is an 18 year old unit.



Refrigerant lines are missing insulation on exterior unit at time of inspection. Recommend having a professional inspect and correct.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Observational an informational purpose only.



Lennox Unit # 2 HVAC exterior condenser, 4 Ton, R22 Freon, 2001 MFD, 45 AMP 12 SEER. Unit was working but appears to be at the end of its life expectancy.



Missing float switch noted. Recommend having one added for proactive protection in case drain pan gets full of water "Float Switch" Will shut off system for protection from moisture damage and intrusion from drain pan potentially overflowing.



Interior view of drain pan noted. Observational an informational purpose only.

C. Duct Systems, Chases, and Vents

Comments:

- Filter is located in the hall area wall
- Filter Size 20x30x1
- Ductwork in attic space was observed to be sagging and/or kinked and is not supported at {4'} spacing as recommended

I=Inspected

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I	NI	NP	D
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20x30x1 filter size noted. Observational an informational purpose only.



View of HVAC ducts noted in attic area at time of inspection noted. Observational an informational purpose only.



All HVAC ducts should not touch one another and be properly hung. Conducive to moisture intrusion, damage and potential WDO

IV. PLUMBING SYSTEM

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

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A. Plumbing Supply, Distribution System and Fixtures

Location of Water Meter:

- East side
- Front of structure
- Front near sidewalk

Location of Main water Supply Valve:

- Right Side

Comments:

- Typical Plumbing systems design template. Observational and informational purposes only.
- Plumbing types for observational and informational purposes only.
- General plumbing best practices for residential applications diagram for observational and informational purposes only.
- All components were found to be performing and in satisfactory condition on the day of the inspection
- This inspection does not determine the age, composition or condition of the inaccessible and/or non-visual plumbing pipes. Client should be made aware that a complete inspection of the gas, waste and water supply piping using video cameras, hydrostatic and supply line testing will reduce risk as underground plumbing repairs are expensive.
- PVC Plumbing Noted
- Black Iron noted (gas)
- Copper Pipe Noted
- The anti static water pressure readings are typically at {40-60 psi} in the normal operating range. Pressure exceeding these limits or higher than {65 psi} is likely to put excessive pressure on the household water system. It is recommended that a licensed plumber and/or the city water department further evaluate in the event a pressure reducing valve is required for safety concerns.
- **Sprinkler vacuum breaker plumbing was loose to the structure at time of inspection. Should have a professional plumber secure properly to the structure.**
- **Toilets tank(s) were loose at time of inspection. Should have a professional plumber correct properly. Conducive to leaking and causing possible damage.**

I=Inspected

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D=Deficient

I	NI	NP	D
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Hot water temperature reading on kitchen faucet at time of inspection was a normal range. Observational an informational purposes only



Kitchen faucet sprayer was working properly at time of inspection. Observational an informational purposes only.



First floor Half bathroom toilet tank is slightly loose recommend taking the very least almost intrusion with damage.



Hot water temperature reading on first floor half bathroom was in normal range. Observational an informational purposes only.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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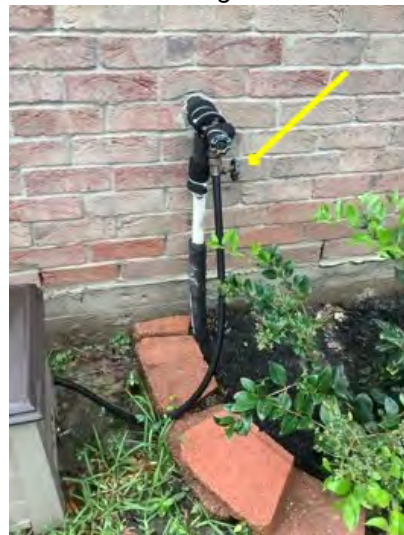
Main water meter located in front of property by sidewalk. Observational and informational purposes only.



Static water pressure noted at time of inspection. Observational and informational purposes only. Was a normal range noted.



Copper plumbing supply noted at time of inspection. Observational an informational purposes only.



Main shut off valve to water located on the right side of house at time of inspection. Observational an informational purposes

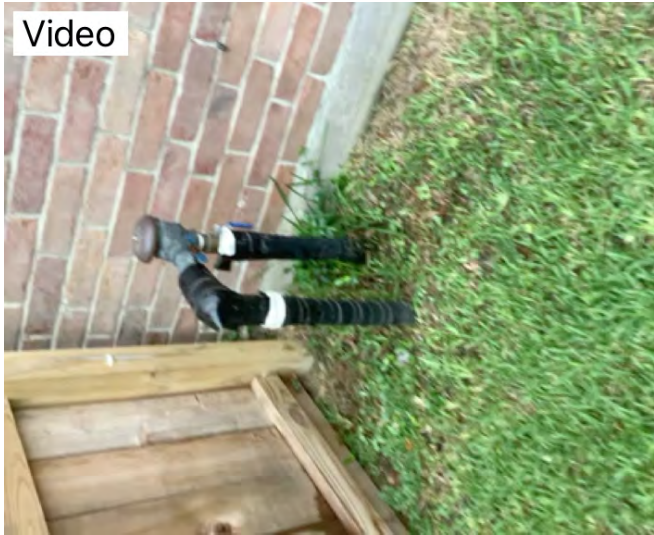
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

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Video

Sprinkler plumbing system components vacuum line was not secured properly conducive to damage. Recommend having a professional inspect incorrect.



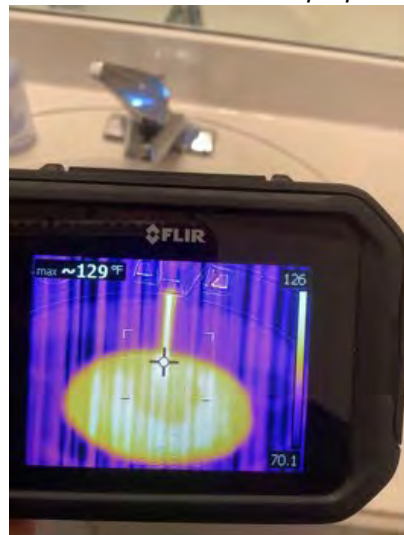
Video

Temperature reading master bathroom sinks shower and tub at the time and station all the normal range. Observational an informational purposes only.



Video

Master bathroom toilet tank area was slightly loose inspection. Recommend having a professional titan to prevent any potential leaks



Second-floor guest bathroom left side hot water temperature reading on sink was in normal range. Observational an informational purposes only.

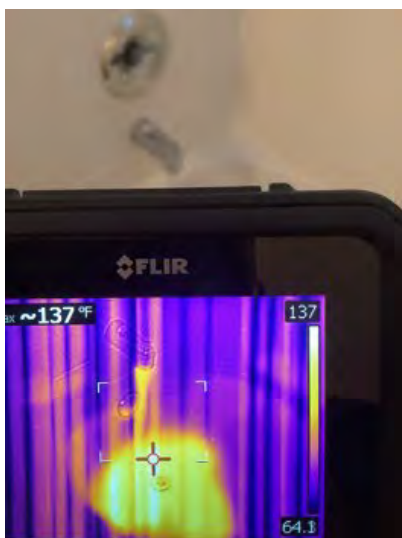
I=Inspected

NI=Not Inspected

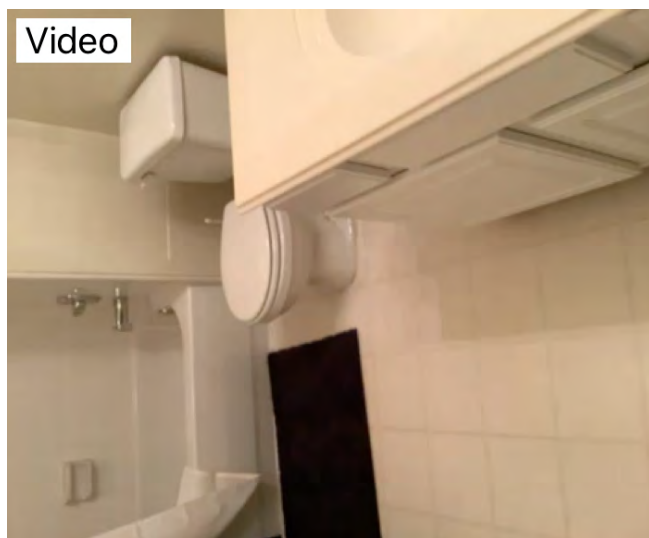
NP=Not Present

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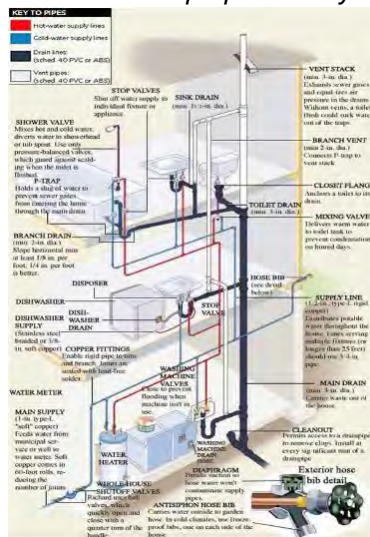
Second floor temperature reading on Guest bathroom shower on left side tub was in normal reading. Observational and information purposes I



Temperature reading on second floor right side guest bathroom no the time of inspection. Observational and informational purposes only.



Second-floor guest bathroom right side toilet was flushing properly. Observational an informational purposes only



Observational an informational purpose only.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Cooper plumbing supply and PVC drains under sink noted. Observational an informational purpose only.

B. Drains, Wastes, and Vents

Comments:

- The exterior main cleanout was located at the front of the structure at time of inspection.
- Vent pipes are noted as PVC. Observational and informational purposes only.
- Examples of roof vents, exhaust, plumbing, Flues and components of typical construction methods utilized. Observational and Informational purposes only.
- **One or more bathroom sinks are draining slow at time of inspection.**
- **Recommend having a plumber inspect and correct.**
- **One or more of bathroom tubs are draining slowly at time of inspection**



First floor half bathroom sink was draining properly at time of inspection. Observational an informational purposes only

Master bathroom sinks were draining slowly at time of inspection recommend having a professional check for any obstructions or debris for optimal flow efficiency.

I=Inspected

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NP=Not Present

D=Deficient

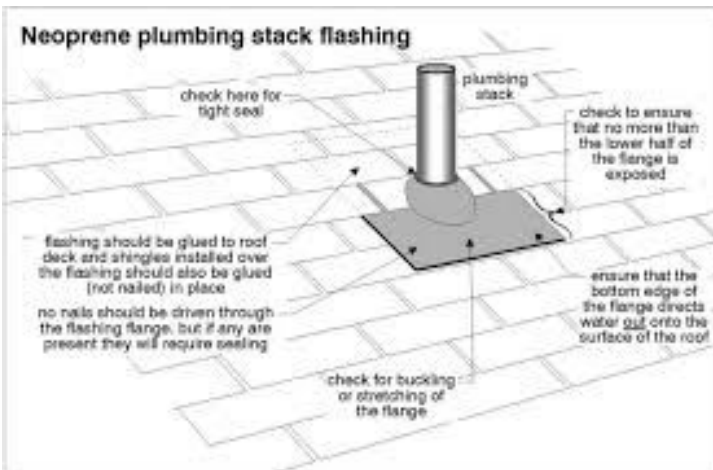
I	NI	NP	D
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Second-floor guest bathroom right side Drain test on sink and tub or working properly. Observational an informational purposes only.



Main sewer clean out noted at time of inspection. Observational an informational purposes only.



Observational an informational purpose only.



Observational an informational purpose only.

C. Water Heating Equipment

Energy Source:

- Water heater is natural gas
- Water heater is located in the attic

Capacity:

- Unit is 50 gallons
- American Brand

Comments:

- The water heater and its components were found to be performing and in satisfactory condition at the time of the inspection.

I=Inspected

NI=Not Inspected

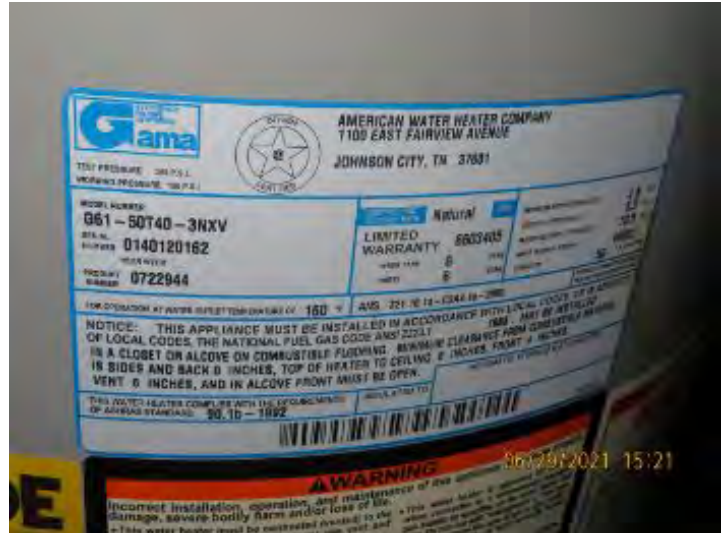
NP=Not Present

D=Deficient

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View of water heater noted. Observational an informational purpose only. 2001 Gas 50 Gallon Unit.



Water heater manufacture label noted. Observational an informational purpose only.



Black iron gas pipe plumbing noted. Observational an informational purpose only.

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D. Hydro-Massage Therapy Equipment

Comments:

- This component appeared to be functioning as intended at the time of the inspection
- The hydromassage therapy equipment was located in the master bathroom

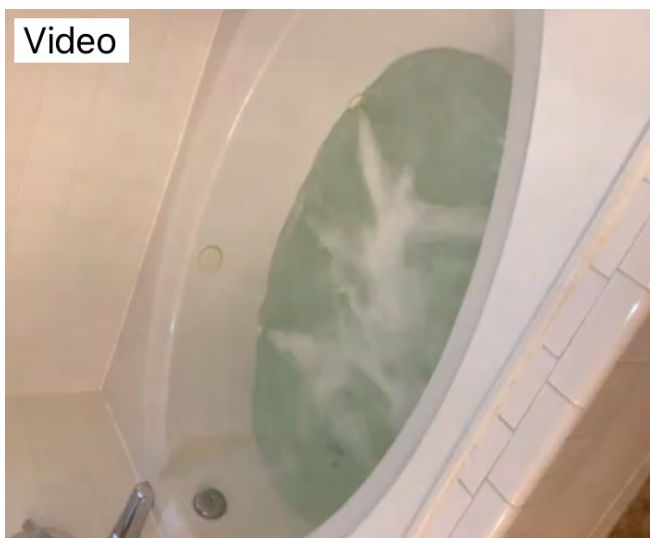
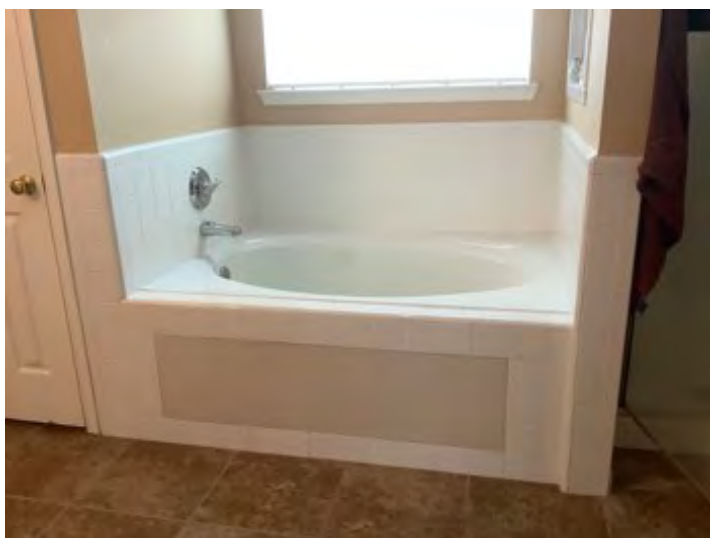
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Hydro massage tub noted in master bathroom at time of inspection. Observational information purposes only

Video of hydromassage to working at time of inspection. Observational information purposes only.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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E. Other

Materials:

- Galvanized Gas meter noted

Comments:



Main gas meter located on the right side of the property at time of inspection. Observational information purposes

V. APPLIANCES

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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A. Dishwashers

Comments:

- The dishwasher was found to be performing and satisfactory condition at the time of the inspection.
- Dishwasher was operational at the time of inspection. Dishwashers most commonly fail internally at the pump, motor or seals. We do not disassemble these units to inspect these components.
- It is the opinion of this Inspector that this component may be functioning as intended and/or in need of repairs; however. this is an older unit and the future life expectancy cannot be determined.
- Dishwasher operating upon arrival of inspector. Buyer is advised that no warranty is offered on this or any other appliance, as outlined in Inspection Agreement.
- Dishwasher high loop drain not attached to top of cabinetry at time of inspection. Should have a professional inspect and correct.



GE dishwasher noted at time of inspection. Observational an informational purposes only.



Interior view of dishwasher noted at time of inspection. Observational an informational purposes only.

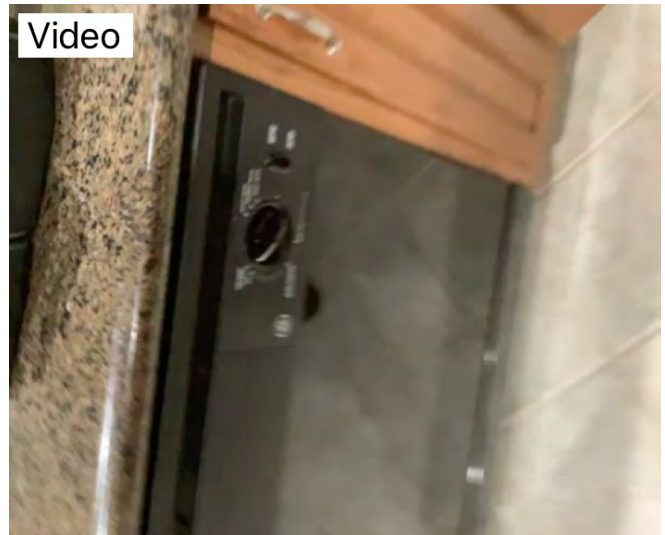
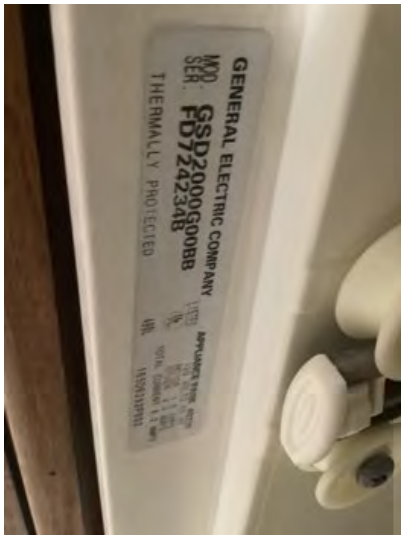
I=Inspected

NI=Not Inspected

NP=Not Present

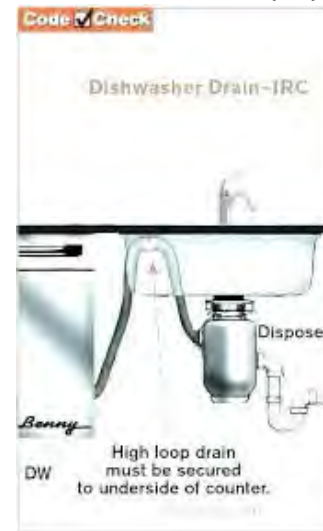
D=Deficient

I	NI	NP	D
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Dishwasher manufacturers label noted at time of inspection. Observational an informational purposes

Video of dishwasher working properly at time of inspection. Observational an informational purposes only.



Dishwasher high Loop drain noted at time of inspection should be secured the top of the cabinet in order to prevent anti-siphon and backflow. Recommend having a professional inspection correct

Observational an informational purpose only.

B. Food Waste Disposers

Comments:

- Basic food disposal working parts noted.
- Operational and functional at the time of the inspection

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Badger food disposal noted at time of inspection. Observational an informational purposes only



Badger food disposal manufacturers label noted at time of inspection. Observational an informational purposes only

Video



Food disposal working properly at time of inspection. I was relational in informational purposes only.



Observational an informational purpose only.

C. Range Hood and Exhaust Systems

Comments:

- The range hood was operating properly at time of inspection
- The range hood was functional at the time of the inspection.
- The range hood was noticed as a self filtering unit with fan.
- Self filtering with carbon type filters
- **The unit appeared noisy and/or vibrating**

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Broan brand Range hood noted at time of inspection was working properly. Observational an informational purposes only.



Range hood was noisy at time of inspection recommend having a professional inspect fan motor.

D. Ranges, Cooktops, and Ovens

Comments:

- Oven(s): Electric
- CookTop: Natural gas



Electric GE oven noted at time of inspection. Observational an informational purposes



GE gas cooktop is working properly at time of inspection. Observational an informational purposes only

I=Inspected

NI=Not Inspected

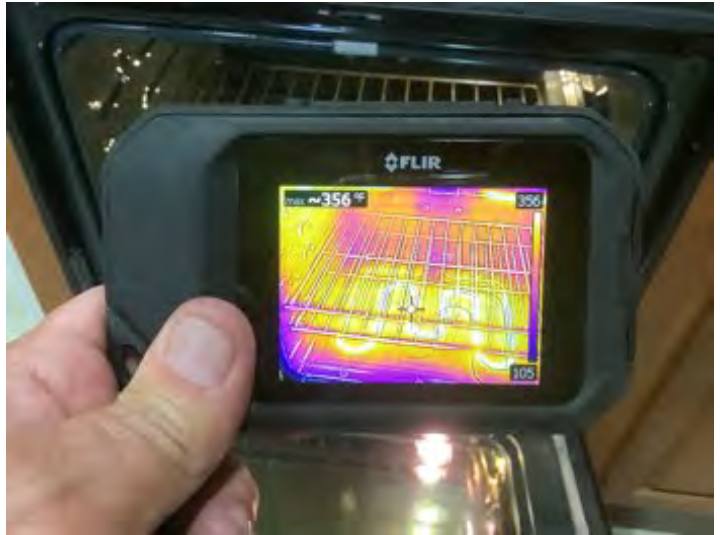
NP=Not Present

D=Deficient

I	NI	NP	D
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Gas cooktop flex line gas valve noted underneath unit in cabinetry. Observational an informational purposes only.



Temperature reading on electric oven was in normal range at time of inspection. Observational and informational purposes only.

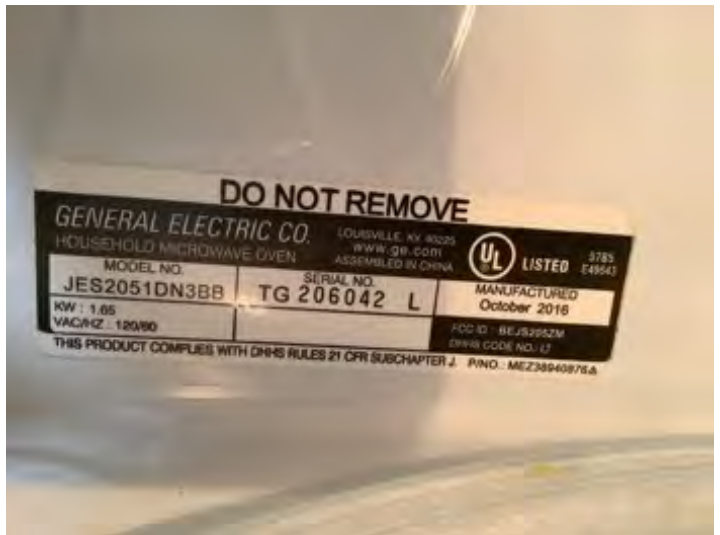
E. Microwave Ovens

Comments:

- Microwave was working properly at time of inspection
- The microwave is mounted below the upper cabinet above the range
- The microwave was a built-in unit within the cabinetry



GE microwave noted at time of inspection. Observational an informational purposes only.



Microwave manufacturers label noted at time of inspection. Observational an informational purposes only.

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NP=Not Present

D=Deficient

I	NI	NP	D
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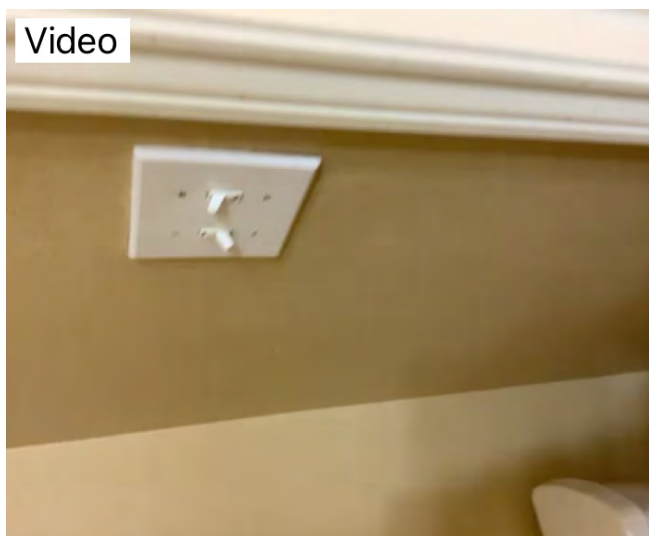


Video of microwave working properly at time of inspection. Observational an informational purposes only.

F. Mechanical Exhaust Vents and Bathroom Heaters

Comments:

- Bath Fan(s) were operating properly at time of inspection



First floor half bathroom exhaust fan was working properly at time of inspection. Observational an informational purposes only.

G. Garage Door Operators

Door Type:

- Two single {7'} upgraded insulated steel panel, sectional roll-up doors.

Comments:

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Video garage doors working properly an automatic back up sensors were working. Observational purposes only



Garage door electric back up sensors one or approximate range of 6 inches noted. Observational and informational purposes only



Craftsman automatic garage door opener noted at time of inspection. Observational purposes only



Garage master automatic garage door opener noted at time of inspection. Observational an informational purposes only.

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I	NI	NP	D
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View of garage at time of inspection. Observational informational purposes only.



Two aluminum metal garage doors noted at time of inspection. Observational an informational purposes only

H. Dryer Exhaust Systems

Comments:

- The dryer vent appeared to be operating properly at time of inspection
- Could not fully inspect the dryer vent as it is enclosed in cabinetry or within the wall cavity
- All components framing, plumbing, electrical, etc for proper current construction methods for residential utility room. Observational and informational purposes only.
- Laundry room basic construction components. Observational and informational purposes only.
- **Dryer vent exterior cover damper was not secured, sealed or fastened to the wall systems properly. Recommend having a professional inspected correct.**



Washer and dryer noted at time of inspection. Limited view do two units hindering overall view of utility room. Observational an informational purposes only



Dryer exhaust noted at time of inspection.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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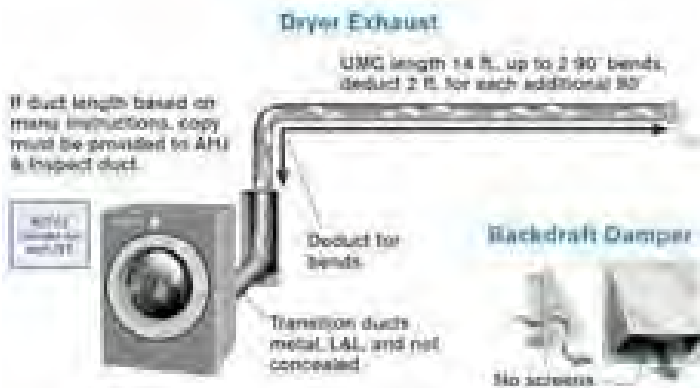


Dryer vent noted on exterior at time of inspection. Observational and informational purposes only.

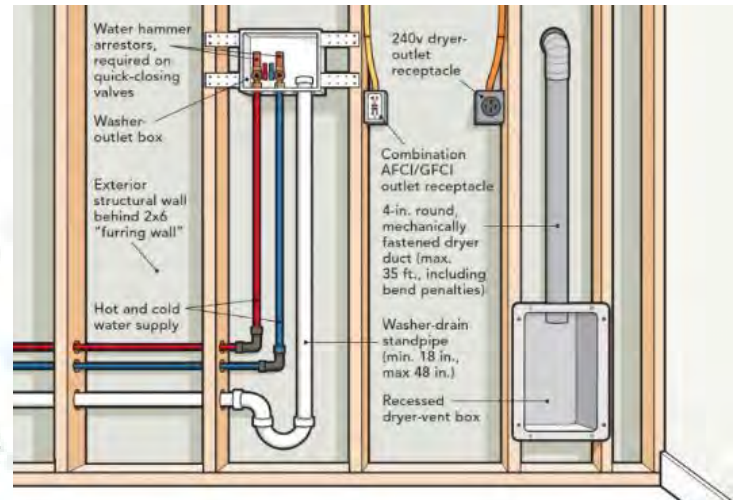


Video

Dryer vent located on the left exterior of property noted not secured see you and talk properly to structure. Conducive to moisture intrusion, damage and potential WDO. Recommend having a professional inspect and correct



Observational an informational purpose only.



Observational an informational purpose only.

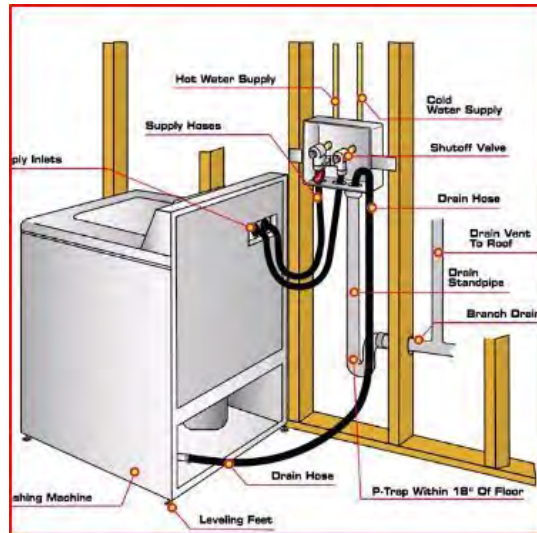
I=Inspected

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NP=Not Present

D=Deficient

I	NI	NP	D
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Observational an informational purpose only.

I. Other

Observations:

- If you're reading this report but did not hire me, Paradigm Inspections, Llc. to perform the original inspection, please note that it is likely that conditions related to the home have probably changed, even if the report is fairly recent. Just as you cannot rely on an outdated weather report, you should not rely on an outdated inspection report. Minor problems noted may have become worse, recent events may have created new issues, and items may even have been corrected and improved. Don't rely on old information about one of the biggest purchases you'll ever make. Remember that the cost of a home inspection is insignificant compared to the value of the home. Protect your family and your investment, and please call me directly at 713-826-1083 to discuss the report you're reading for this property so that we can arrange a re-inspection. Thank you!

VI. OPTIONAL SYSTEMS

A. Landscape Irrigation (Sprinkler) Systems

Comments:

- The sprinkler system was not functional at the time of the inspection
- One or more of the zones did not respond under manual testing

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Rainbird control panel for automatic sprinkler system noted at time of inspection. Unit was not working properly.



Zone two noted at time of inspection. Observational an informational purposes only.



Panel for sprinkler should be secured properly at time of inspection. Observational an informational purposes only.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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B. Swimming Pools, Spas, Hot Tubs, and Equipment

Type of Construction:

- In-Ground
- Gunite

Comments:

- The pool and/or spa components appeared to be functioning as intended at the time of the inspection
- NOTE: This segment of the Inspection Report is based upon the current conditions of the pool and/or tub spa components at the time of the inspection. This inspection reflects deficiencies in the condition of the above ground controls and/or devices, visible pool surfaces noting cracks in the tile, coping and deck surface and all standard compliance issues for pool barriers. The pool lighting, steps, slides, diving boards are reviewed as well as drains, skimmers and valves. As per TREC guidelines; the Inspector is not required to dismantle or operate valves, determine the presence of subsurface leaks, add water into the pool and/or spa, inspect any winterized components or chlorinators and chemical dispensers aside from visual leakage and/or deterioration. It is recommended that a qualified pool service technician be consulted for a complete review of the entire system
- The pool sweeper appeared to be functioning as intended at the time of the inspection
- A {GFCI} receptacle is required to be installed {10' - 20'} from the pool. Recommend having a professional inspect and correct if needed.
- Current standards require all doors that allow access to the pool area be equipped with an audible alarm heard throughout the house and sound for {30} seconds continuously. The alarm device should be mounted at a height of not less than {54"} above the door threshold. A self-closing and self-latching door device may be another acceptable safety practice
- Further information can be obtained from {cpsc.gov} regarding the safety regulations
- There was no pool heater in place at the time of the inspection
- A cartridge type filter was noted at the pool equipment.
- The pump was unusually noisy when operating and this may indicate failure and should be further evaluated
- One or more areas noted grout deterioration and should be repaired
- One or more areas noted missing sealant between the deck surface and the coping

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Pool system noted on the right side of property at time of inspection. Observational an informational purposes only

Pool noted at time of inspection. Observational informational purposes only.



All caulking around pool between decking and coping should be sealed properly conducive to moisture intrusion, damage, expansion and contraction. Recommend having a professional inspecting correct.

Video of pool running at time of inspection. Observational an informational purposes only.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

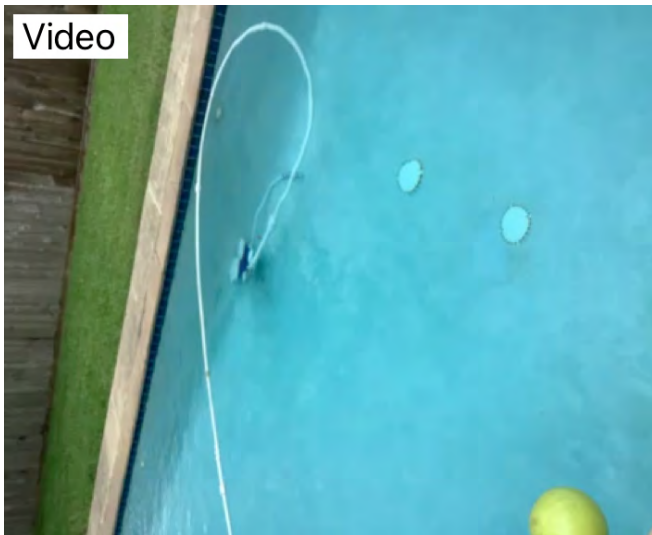
I	NI	NP	D
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Video of pool components running at time of inspection. Observational an informational purposes only.



Video of skimmer basket clean and flow working properly at time of inspection. Observational an informational purposes only



Video of pool cleaner Polaris working at time of inspection. Observational an informational purposes only



Observational an informational purpose only.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Observational an informational purpose only.



Pool equipment was working properly at time of inspection. Observational an informational purpose only.



Pool components noted. Observational an informational purpose only.



Pool filter reading noted. Observational an informational purpose only.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Pool control panel noted. Observational an informational purpose only.



Interior view of panel noted. Observational an informational purpose only.



Filter manufacture label noted with limited access at time of inspection. Observational an informational purpose only.



Observational an informational purpose only.

C. Outbuildings

Materials:

- Composite (Plastic) shed with plastic roof noted

Comments:

- Plastic vinyl composite shed with plastic Roof noted on the left side of property. Observational an informational purposes only.
- Plastic vinyl composite shed with plastic Roof noted on the left side of property. Observational an informational purposes only.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Small plastic shed noted on left side of property at time of inspection. Unit was not inspected just observed.

D. Private Water Wells (A coliform analysis is recommended)

Type of Pump:
Type of Storage Equipment:
Comments:

E. Private Sewage Disposal (Septic) Systems

Type of System:
Location of Drain Field:
Comments:

F. Other

Comments:

Glossary

Term	Definition
AFCI	Arc-fault circuit interrupter: A device intended to provide protection from the effects of arc faults by recognizing characteristics unique to arcing and by functioning to de-energize the circuit when an arc fault is detected.
GFCI	A special device that is intended for the protection of personnel by de-energizing a circuit, capable of opening the circuit when even a small amount of current is flowing through the grounding system.
PVC	Polyvinyl chloride, which is used in the manufacture of white plastic pipe typically used for water supply lines.

Report Summary

STRUCTURAL SYSTEMS

Page 6 Item: B	Grading and Drainage	<ul style="list-style-type: none"> • Tree roots exposed are creating trip hazards should have corrected as needed. • Minimum to no drains and/or drainage system observed. • All gutters should disperse water 5' away from the foundation. • Gutters were missing in several areas of the structure to disperse the water properly away from the foundation and structure at time of inspection. Recommend installing gutters in these areas. • Excessive moisture noted at one or more areas around the structure structure • Ponding water was observed at one or more areas around the structure
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Ponding water noted on the right side of structure at time of inspection. Noted that it did rain hard today. No gutters noted on sides of house recommend adding gutters to deal with drainage

Page 9 Item: D	Roof Structure and Attics	<ul style="list-style-type: none"> • One or more of the attic ladder components were observed to be damaged and should be corrected for safety reasons.
Page 14 Item: E	Walls (Interior and Exterior)	<ul style="list-style-type: none"> • All exterior brick wall penetrations, gaps or cracks should be sealed properly. Conducive to moisture and WDI (Wood Destroying Insects) intrusion. • All exterior wall expansion joints should be sealed properly. Conducive to moisture and WDI (Wood Destroying Insect) intrusion. • All exterior and interior trim around garage doors should be sealed properly. Conducive to moisture and WDI (Wood Destroying Insect) intrusion. • All exterior wood trim penetrations around windows and doors should be sealed properly. Conducive to moisture and WDI (Wood Destroying Insect) intrusion. • Wooden fences should not touch the structure. Conducive to WDI (Wood Destroying Insects). • All exterior siding seams should be sealed properly. Conducive to moisture and WDI (Wood Destroying Insect) intrusion.

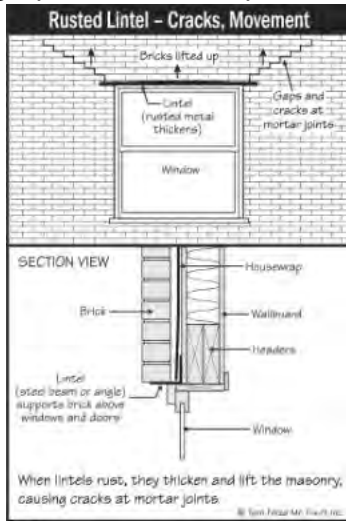
- All exterior metal lintels above exterior windows and doors should be painted and sealed properly. Conducive to moisture and rust.



Expose penetrations on wall systems around garage should be sealed caulked and painted properly conducive to moisture intrusion, damage a potential WDO. Recommend getting a professional to expect and correc



All exterior siding penetrations and seems should be sealed, caulked and painted properly. Conducive to moisture intrusion, damage and potential WDO. Recommend having a professional inspect and correct.



Observational an informational purpose only.



All metal lintels above garage and windows should be sanded caulked sealed and painted properly. Conducive to moisture intrusion, damage and potential WDO. Recommend having a professional inspect and correct

Page 20 Item: G

Doors (Interior and Exterior)

- Some doors were observed to be sticking, not closing properly, out-of-level, frame damage or missing and/or non-functional hardware.

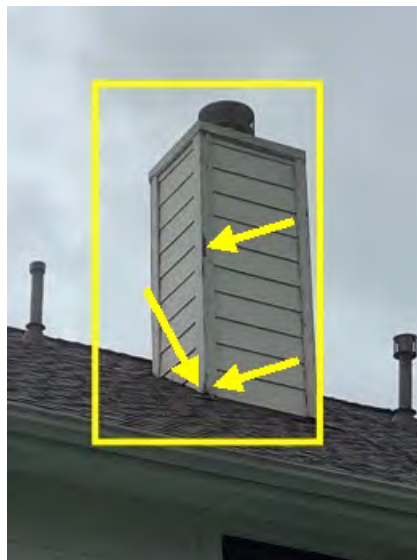


Video

Front door not closing properly at time of inspection noted. Observational an informational purpose only.

<p>Page 21 Item: H</p>	<p>Windows</p>	<ul style="list-style-type: none"> • One or more of the thermal pane windows were observed to have lost their seals. This has resulted in condensation or a fog like film to develop between the panes of glass. The thermal pane windows are no longer functional as designed when the seal is lost and replacement may be necessary • NOTE: Signs of lost seals in the thermal pane windows may appear and disappear as temperature and humidity changes. Some windows with lost seals may not be evident at the time of this inspection. Windows are checked in a non-exhaustive manner for obvious fogging. When lost window seals are noted herein; it is recommended that all windows be re-checked by a window specialist prior to the expiration of any time limitations such as warranty and/or option periods. • One or more windows had broken and/or inoperable sash springs. • All windows are original and not energy efficient. Several windows are hard to operate and are leaking moisture at time of inspection. Recommend replacing with energy efficient Low E windows.
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<p>Page 25 Item: J</p>	<p>Fireplaces and Chimneys</p>	
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Chimney noted at time of inspection. Recommend all trim boards and siding be sealed caulked and painted properly some trim boards may need to be replaced.

Page 27 Item: K	Porches, Balconies, Decks, and Carports	<ul style="list-style-type: none"> • Trip hazards were observed on the porch and/or deck surface and should be corrected for safety reasons • It was observed that the sidewalk(s) have settlement and/or movement cracks which becomes a trip hazard and corrective action may be considered
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ELECTRICAL SYSTEMS

Page 30 Item: A	Service Entrance and Panels	<ul style="list-style-type: none"> • Electric meter and Siemens breaker box. Breakers were labeled at time of inspection. Observational purposes only. • The aluminum wiring in the service panel was not treated with anti-oxidant sealant should have a professional inspect. Potential fire hazard. • Wood screws noted as fasteners for electrical panel and potential hazard. Recommend having a professional install proper crews for electrical panel.
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Metal screws utilized instead of proper electrical screws. Conducive to electrical hazards and issues. Recommend replacing with proper screws.

Page 33 Item: B	Branch Circuits, Connected Devices, and Fixtures	<ul style="list-style-type: none"> • All bathroom electrical outlets should be at least 3' from the sinks and <u>GFCI</u> protected. Electrical covers were missing GFCI protected label at time of inspection. Should have a professional inspect and correct. • All kitchen electrical outlets should be at least 3' from sink and GFCI protected. Should have a professional electrician inspect and correct. Covers should be labeled GFCI protected. • All utility room electrical outlets should be GFCI protected. Electrical covers were missing GFCI protected label at time of inspection. Should have a professional inspect and correct • All garage electrical outlets should be GFCI protected. Electrical covers were missing GFCI protected label at time of inspection. Should have a professional inspect and correct.
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HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

Page 37 Item: B	Cooling Equipment	<ul style="list-style-type: none"> • The cooling system appears to have reached its serviceable life expectancy • The secondary condensate drain was discharging water to the exterior indicating a possible problem with the primary
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drain
 • Temperature Differential was 10 Degrees and not in normal range. Recommend having a professional inspect for optimum efficiency.

Video



Secondary drain noted on right side of house underneath soffit he's draining at time of inspection. Conducive to main drain needing to be cleaned out. Recommend having a professional inspect incorrect problem



62.2° second floor living room supply vent noted at time of inspection. Observational an informational purposes



72° temperature reading on second floor return vent in wall located at top of stairs noted. Observational an informational purposes only.

Page 42 Item: C

Duct Systems, Chases, and Vents

• Ductwork in attic space was observed to be sagging and/or kinked and is not supported at {4'} spacing as recommended



All HVAC ducts should not touch one another and be properly hung. Conducive to moisture intrusion, damage and potential WDO

PLUMBING SYSTEM

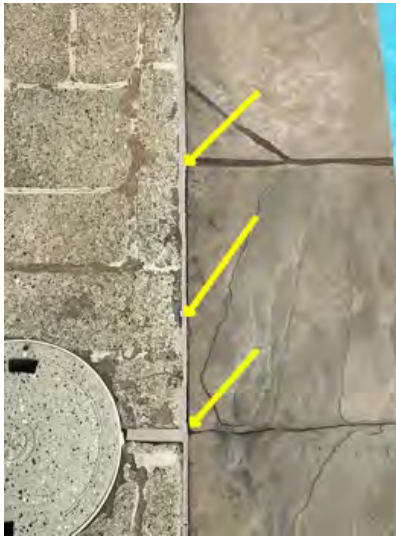
Page 44 Item: A	Plumbing Supply, Distribution System and Fixtures	<ul style="list-style-type: none"> • Sprinkler vacuum breaker plumbing was loose to the structure at time of inspection. Should have a professional plumber secure properly to the structure. • Toilets tank(s) were loose at time of inspection. Should have a professional plumber correct properly. Conducive to leaking and causing possible damage.
Page 49 Item: B	Drains, Wastes, and Vents	<ul style="list-style-type: none"> • One or more bathroom sinks are draining slow at time of inspection. Recommend having a plumber inspect and correct. • One or more of bathroom tubs are draining slowly at time of inspection

APPLIANCES

Page 53 Item: A	Dishwashers	<ul style="list-style-type: none"> • Dishwasher high loop drain not attached to top of cabinetry at time of inspection. Should have a professional inspect and correct.
Page 55 Item: C	Range Hood and Exhaust Systems	<ul style="list-style-type: none"> • The unit appeared noisy and/or vibrating
Page 60 Item: H	Dryer Exhaust Systems	<ul style="list-style-type: none"> • Dryer vent exterior cover damper was not secured, sealed or fastened to the wall systems properly. Recommend having a professional inspected correct.

OPTIONAL SYSTEMS

Page 62 Item: A	Landscape Irrigation (Sprinkler) Systems	<ul style="list-style-type: none"> • The sprinkler system was not functional at the time of the inspection • One or more of the zones did not respond under manual testing
Page 64 Item: B	Swimming Pools, Spas, Hot Tubs, and Equipment	<ul style="list-style-type: none"> • One or more areas noted grout deterioration and should be repaired • One or more areas noted missing sealant between the deck surface and the coping



All caulking around pool between decking and coping should be sealed properly conducive to moisture intrusion, damage, expansion and contraction. Recommend having a professional inspecting correct.