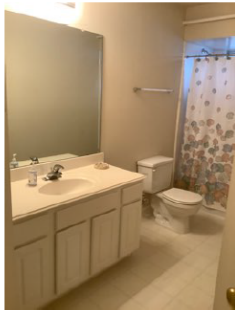


I=Inspected    NI=Not Inspected    NP=Not Present    D=Deficient

I   NI   NP   D



Second-floor bedroom left side noted at time of inspection. Observational an informational purposes only



Second-floor guest bathroom Noted at time of inspection. Observational an informational purposes only.



Guest bedroom noted top right side observational informational purposes only.



All metal lintels above garage and windows should be sanded caulked sealed and painted properly. Conducive to moisture intrusion, damage and potential WDO. Recommend having a professional inspect and correct

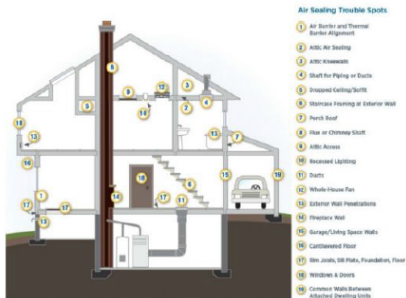
### Jul-25 (Seller Comment)

- Repairs completed on metal lintils above garage and doors



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I	NI	NP	D
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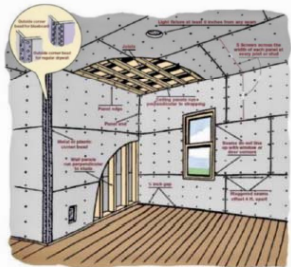


- Air Sealing Trouble Spots**
- 1) Air Barrier and Thermal Break Alignment
  - 2) Joints Air Sealing
  - 3) Joints Windows
  - 4) Shaft for Piping or Ducts
  - 5) Insulated Ceiling/Garage
  - 6) Exterior Finishing at Exterior Wall
  - 7) Porch Roof
  - 8) Flue or Chimney Shaft
  - 9) Airtight Access
  - 10) Recycled Lighting
  - 11) Sills
  - 12) Vehicle Exhaust Fan
  - 13) Exterior Wall Penetrations
  - 14) Plaster Wall
  - 15) Garage/Ceiling Space Walls
  - 16) Cathedral Ceiling
  - 17) Sill Joints, Sill Plate, Foundation, Floor
  - 18) Windows & Doors
  - 19) Concrete Walls/Burrows Attached Overlaid Sills
  - 20) Windows & Doors



Observational an informational purpose only.

Observational an informational purpose only.



Observational an informational purpose only.



Galvanized plumbing at gas meter penetration into wall systems should be sealed properly. Conducive to moisture intrusion, damage and potential WDO.



Jul-25 (Seller Comment)

- Repairs completed on gas meter penetration

**F. Ceilings and Floors**

**Ceiling and Floor Materials:**

- Ceiling is drywall with smooth finish
- Cathedral ceiling
- Floors had carpet covering in various locations
- Floors had laminate and/or engineered wood flooring in one or more locations
- Floors had tile and/or stone covering in one or more areas

**Comments:**

- All components were found to be performing and in satisfactory condition at the time of the inspection
- Slab not visible due to floor coverings



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I NI NP D

**B. Cooling Equipment**

Type of Systems:

- Gas fired forced hot air
- The home has a gravity style octopus system.
- The home has a split system.

Comments:

- Basic components of a standard residential HVAC cooling system.
- Observational and informational purposes only.
- Diagram of basic residential cooling system and its components. Composite pad is important to keep unit above grade level which is conducive to moisture intrusion, damage, corrosion to unit. Have HVAC unit min. 3 inches above grade level.
- This unit appears to be functioning as intended at the time of inspection and consistent with accepted industry standards
- The main condensation drain is located in Guest bathroom under sink.
- The cooling system differential was in normal range Of 14-22 degrees.
- **The cooling system appears to have reached its serviceable life expectancy**
- **The secondary condensate drain was discharging water to the exterior indicating a possible problem with the primary drain**
- **Temperature Differential was 10 Degrees and not in normal range. Recommend having a professional inspect for optimum efficiency.**

Video



Secondary drain noted on right side of house underneath soffit he's draining at time of inspection. Conducive to main drain needing to be cleaned out. Recommend having a professional inspect incorrect problem



Main condensation drain noted under sink and guest bathroom at time of inspection. Observational an informational

Jul-25 (Seller Comment)

- A/C serviced see below receipt
- Primary A/C drain cleaned by AC tech
- Temperature differential (16 degrees)

SAME DAY SERVICE  
 ALL WORK GUARANTEED  
 ALL MAJOR CREDIT CARDS ACCEPTED  
 FINANCING AVAILABLE

**BUDGET HOME SERVICES** INVOICE NO. 85263  
 PLUMBING AIR CONDITIONING & HEATING

8811 FAIRBANKS - N. HOUSTON RD., HOUSTON, TX 77064 713-686-7000 | fax 713-686-4729

CUSTOMER NAME	CUSTOMER ADDRESS	PHONE NUMBER
COUSAN	9307 RESTON GROVE	337-501-6691
COLLECTION NAME	COLLECTION ADDRESS (if Different)	EMAIL ADDRESS
	77095	

**DIAGNOSIS / SOLUTION**

DATE	KEY MAP	
7/9/21	408 A	

**JOB DESCRIPTION AND / OR COMMENTS**

76° AT THERMOSTAT, BLOWING 60° SUPPLY AIR IN RR. INSTALLED 2 FIBER SWITCHES, CLEARED DRAIN HUNG SOME DUCT, AND PUT INSULATION (DEGRADED) BETWEEN DUCTS TO SEPERATE THEM.

**WARRANTY**

WORK AUTHORIZATION: AUTHORIZATION TO PROCEED WITH ABOVE DIAGNOSIS/SOLUTION: I, the undersigned, agree to hold BUDGET HOME SERVICES and exempt from liability for any and all claims, demands, losses, suits, lawsuits, including claims for injury to persons, damages to property and/or death in any way related to hold or hold related issue or claim arising from AND/OR related to work in any way. Customer understands and acknowledges that the service company would not commence work without the customer executing this agreement. Customer promises to abide by the terms and conditions set forth on the face and reverse side of this agreement before commencing the work. Customer warrants and represents that customer has authority to execute this agreement on behalf of customer and all occupants of the premises in which the work is to be performed. Customer has received a copy of the contract and NOTICE TO OWNER ON THE REVERSE SIDE. I HEREBY AUTHORIZE YOU TO PROCEED WITH THE DESCRIBED WORK AS A:

ACCEPTANCE OF WORK PERFORMED - I find the service and materials rendered and installed in connection with the above work mentioned, to have been completed in a satisfactory manner. I agree that the amount set forth on this contract in the amount labeled "INVOICE AMOUNT" to be the total and complete flat rate minimum charge. I agree to pay reasonable attorney's fees and court costs in the event of legal action. A monthly service charge of 1.5% will be added after 30 days. I acknowledge that I have read and received a legible copy of this contract, and I have read the Notice to Owner on the reverse side. All warranty work will be performed Monday through Friday between 8am and 5pm.

Authorized Signature: *X G. Cousan*

REMIT TO: 8811 FAIRBANKS - N. HOUSTON RD., HOUSTON, TX 77064

INVOICE AMOUNT	UNIT NUMBER	CASH	CHECK	CREDIT CARD #
\$625.00	130/KIRK			

Exp. Date Code Approval # 091430

**HOUSTON PLUMBING & AC REPAIR**  
 "WE COME OUT FOR FREE AND FIX FOR LESS"  
 FAMILY OWNED AND OPERATED BY NATIVE HOUSTONIANS SINCE 1992  
 LEAVE US A REVIEW at budgethomeservices.com

FINANCING AVAILABLE

MLP #37488 TACLB53102E

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I NI NP D



Observational an informational purpose only.



Lennox Unit # 2 HVAC exterior condensor, 4 Ton, R22 Freon, 2001 MFD, 45 AMP 12 SEER. Unit was working but appears to be at the end of its life expectancy.



Missing float switch noted. Recommend having one added for proactive protection in case drain pan gets full of water "Float Switch" Will shut off system for protection from moisture damage and intrusion from drain pan potentially overflowing.



Interior view of drain pan noted. Observational an informational purpose only.

**C. Duct Systems, Chases, and Vents**

- Comments:
- Filter is located in the hall area wall
  - Filter Size 20x30x1
  - Ductwork in attic space was observed to be sagging and/or kinked and is not supported at {4'} spacing as recommended

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20x30x1 filter size noted. Observational an informational purpose only.



View of HVAC ducts noted in attic area at time of inspection noted. Observational an informational purpose only.



All HVAC ducts should not touch one another and be properly hung. Conducive to moisture intrusion, damage and potential WDO

**IV. PLUMBING SYSTEM**

Jul-25 (Seller Comment)

- Floating switch added to drain pan and
- HVAC ducts adjusted – see receipt on previous page

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Badger food disposal noted at time of inspection. Observational an informational purposes only



Badger food disposal manufacturers label noted at time of inspection. Observational an informational purposes only

Video



Food disposal working properly at time of inspection. I was relational in informational purposes only.



Observational an informational purpose only.

**C. Range Hood and Exhaust Systems**

Comments:

- The range hood was operating properly at time of inspection
- The range hood was functional at the time of the inspection.
- The range hood was noticed as a self filtering unit with fan.
- Self filtering with carbon type filters

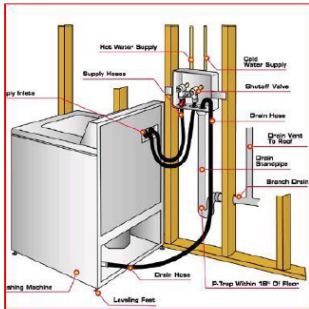
• The unit appeared noisy and/or vibrating

Jul-25 (Seller Comment)

- Range hood filter – replaced – range hood fan is no longer noisy and/or vibrates

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I	NI	NP	D
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I. Other

Observations:  
 • If you're reading this report but did not hire me, Paradigm Inspections, Llc. to perform the original inspection, please note that it is likely that conditions related to the home have probably changed, even if the report is fairly recent. Just as you cannot rely on an outdated weather report, you should not rely on an outdated inspection report. Minor problems noted may have become worse, recent events may have created new issues, and items may even have been corrected and improved. Don't rely on old information about one of the biggest purchases you'll ever make. Remember that the cost of a home inspection is insignificant compared to the value of the home. Protect your family and your investment, and please call me directly at 713-826-1083 to discuss the report you're reading for this properly so that we can arrange a re-inspection.  
 Thank you!

VI. OPTIONAL SYSTEMS

A. Landscape Irrigation (Sprinkler) Systems

Comments:  
 • The sprinkler system was not functional at the time of the inspection  
 • One or more of the zones did not respond under manual testing

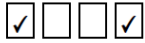
Jul-25 (Seller Comment)

- All sprinkler zones (1 to 8) response under manual testing
- The sprinkler system shows a 9<sup>th</sup> zone that isn't connected



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I NI NP D



**B. Swimming Pools, Spas, Hot Tubs, and Equipment**

Type of Construction:

- In-Ground
- Gunite

Comments:

- The pool and/or spa components appeared to be functioning as intended at the time of the inspection
- NOTE: This segment of the Inspection Report is based upon the current conditions of the pool and/or tub spa components at the time of the inspection. This inspection reflects deficiencies in the condition of the above ground controls and/or devices, visible pool surfaces noting cracks in the tile, coping and deck surface and all standard compliance issues for pool barriers. The pool lighting, steps, slides, diving boards are reviewed as well as drains, skimmers and valves. As per TREC guidelines; the Inspector is not required to dismantle or operate valves, determine the presence of subsurface leaks, add water into the pool and/or spa, inspect any winterized components or chlorinators and chemical dispensers aside from visual leakage and/or deterioration. It is recommended that a qualified pool service technician be consulted for a complete review of the entire system
- The pool sweeper appeared to be functioning as intended at the time of the inspection
- A {GFCI} receptacle is required to be installed {10' - 20'} from the pool. Recommend having a professional inspect and correct if needed.
- Current standards require all doors that allow access to the pool area be equipped with an audible alarm heard throughout the house and sound for {30} seconds continuously. The alarm device should be mounted at a height of not less than {54"} above the door threshold. A self-closing and self-latching door device may be another acceptable safety practice
- Further information can be obtained from {cpsc.gov} regarding the safety regulations
- There was no pool heater in place at the time of the inspection
- A cartridge type filter was noted at the pool equipment
- The pump was unusually noisy when operating and this may indicate failure and should be further evaluated
  - One or more areas noted grout deterioration and should be repaired
  - One or more areas noted missing sealant between the deck surface and the coping

Jul-25 (Seller Comment)

- Pool pump installed Sep-2019
- Pool pump sounds the same as the day it was installed



**Mr Electric of Northwest Houston**  
 13329 Veterans Memorial Dr, Suite Q  
 Houston, TX 77014  
 Phone (281) 919-2130  
 License # 28038

Estimate 61378595  
 Job 61378066  
 Estimate Date 9/16/2019  
 Technician Chris Monclova  
 Customer PO

**Billing Address**  
 Heather Cousson  
 9307 Reston Grove Lane  
 Houston, TX 77095 USA

**Job Address**  
 Heather Cousson  
 9307 Reston Grove Lane  
 Houston, TX 77095 USA

**Estimate Details**

Pool Equipment : Mr. Electric offers an alternative payment option and that is our 18 month no interest payment plan

Task #	Description	Quantity	Your Price	Our Total
FEEDSPATCH		0.00	\$45.00	\$0.00
Z1501	BASIC CIRCUIT RESTORATION INCLUDES ONE DEVICE REPLACEMENT (SWITCH, BREAKER OR OUTLET) *NO WIRE INCLUDED	1.00	\$229.50	\$229.50
S3950	REPLACE 1-1/2 HP POOL PUMP MOTOR	1.00	\$655.50	\$655.50
Z10000	1 YEAR PLAN - with 15% Savings Our Mr. Electric Advantage Plan Includes the following: • Priority Scheduling • Preferential Pricing • Periodic Specials • Personalized Records • Transferable Agreement • Multiple Site Coverage • Extended Labor Warranty As an Advantage Plan customer you receive preferred customer status and special discounts at participating locations of our sister companies: AireServ, Mr. Appliance, Glass Doctor, and Mr. Rooter	1.00	\$65.00	\$65.00

**Member Savings** \$152.65  
**Sub-Total** \$950.00  
**Tax** \$0.00  
**Total** \$950.00

Thank you again for choosing Mr. Electric!

IMPORTANT NOTICE: You and your contractor are responsible for meeting the Terms and Conditions of this contract. If you sign this contract and you fail to meet the terms and conditions of this contract, you may lose legal ownership rights to your home. KNOW YOUR RIGHTS AND DUTIES UNDER THE LAW. YOU, THE BUYER, MAY CANCEL THIS TRANSACTION AT ANY TIME PRIOR TO MIDNIGHT OF THE 3RD BUSINESS DAY AFTER THE DATE OF THIS TRANSACTION. SEE THE ATTACHED NOTICE OF CANCELLATION FORM FOR AN EXPLANATION OF THIS RIGHT. I agree that initial price quoted prior to the start of work does not include any additional or unforeseen tasks. Nor materials which may be found to be necessary to complete repairs or replacements. I also agree to hold Mr. Electric® or its assigns harmless for parts deemed corroded, unusable or unreliable for completion of stated work to be done. I hereby authorize Mr. Electric to perform proposed work and agree to all agreement conditions as displayed and further acknowledge that this invoice is due upon receipt. A monthly service charge, at maximum allowed by law, will be added after 10 days. Independently owned and operated franchise. Amount to Authorize: \$950.00

9/16/2019