



SELLER'S DISCLOSURE NOTICE

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Section 5.008, Property Code requires a seller of residential property of not more than one dwelling unit to deliver a Seller's Disclosure Notice to a buyer on or before the effective date of a contract. **This form complies with and contains additional disclosures which exceed the minimum disclosures required by the Code.**

CONCERNING THE PROPERTY AT 504 Greenleaf Cir
Conroe, TX 77302-1205

THIS NOTICE IS A DISCLOSURE OF SELLER'S KNOWLEDGE OF THE CONDITION OF THE PROPERTY AS OF THE DATE SIGNED BY SELLER AND IS NOT A SUBSTITUTE FOR ANY INSPECTIONS OR WARRANTIES THE BUYER MAY WISH TO OBTAIN. IT IS NOT A WARRANTY OF ANY KIND BY SELLER, SELLER'S AGENTS, OR ANY OTHER AGENT.

Seller is is not occupying the Property. If unoccupied (by Seller), how long since Seller has occupied the Property? (approximate date) or never occupied the Property

Section 1. The Property has the items marked below: (Mark Yes (Y), No (N), or Unknown (U).)

This notice does not establish the items to be conveyed. The contract will determine which items will & will not convey.

Item	Y	N	U
Cable TV Wiring	x		
Carbon Monoxide Det.		x	
Ceiling Fans	x		
Cooktop	x		
Dishwasher	x		
Disposal	x		
Emergency Escape Ladder(s)		x	
Exhaust Fans	x		
Fences	x		
Fire Detection Equip.	x		
French Drain			x
Gas Fixtures	x		
Natural Gas Lines	x		

Item	Y	N	U
Liquid Propane Gas:		x	
-LP Community (Captive)		x	
-LP on Property		x	
Hot Tub		x	
Intercom System		x	
Microwave	x		
Outdoor Grill		x	
Patio/Decking	x		
Plumbing System	x		
Pool		x	
Pool Equipment		x	
Pool Maint. Accessories		x	
Pool Heater		x	

Item	Y	N	U
Pump: <u> </u> sump <u> </u> grinder		x	
Rain Gutters	x		
Range/Stove		x	
Roof/Attic Vents	x		
Sauna		x	
Smoke Detector	x		
Smoke Detector - Hearing Impaired		x	
Spa		x	
Trash Compactor		x	
TV Antenna		x	
Washer/Dryer Hookup	x		
Window Screens	x		
Public Sewer System	x		

Item	Y	N	U	Additional Information
Central A/C	x			<u> </u> electric <u> </u> gas number of units: <u> </u> 1
Evaporative Coolers	x			number of units: <u> </u> 1
Wall/Window AC Units		x		number of units: <u> </u>
Attic Fan(s)		x		if yes, describe: <u> </u>
Central Heat	x			<u> </u> electric <u> </u> x gas number of units: <u> </u> 1
Other Heat		x		if yes, describe: <u> </u>
Oven	x			number of ovens: <u> </u> 2 <u> </u> x electric <u> </u> gas <u> </u> other: <u> </u>
Fireplace & Chimney	x			<u> </u> wood <u> </u> x gas logs <u> </u> mock <u> </u> other: <u> </u>
Carport		x		<u> </u> attached <u> </u> not attached
Garage	x			<u> </u> x attached <u> </u> not attached
Garage Door Openers	x			number of units: <u> </u> 1 number of remotes: <u> </u> 2
Satellite Dish & Controls		x		<u> </u> owned <u> </u> leased from: <u> </u>
Security System	x			<u> </u> x owned <u> </u> leased from: <u> </u>
Solar Panels		x		<u> </u> owned <u> </u> leased from: <u> </u>
Water Heater	x			<u> </u> electric <u> </u> x gas <u> </u> other: <u> </u> number of units: <u> </u> 2
Water Softener	x			<u> </u> x owned <u> </u> leased from: <u> </u>
Other Leased Items(s)				if yes, describe: <u> </u>

(TXR-1406) 09-01-19 Initialed by: Buyer: , and Seller: , Page 1 of 6

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Concerning the Property at _____

Underground Lawn Sprinkler	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/> automatic <input type="checkbox"/> manual areas covered: <u>All grass areas</u>
Septic / On-Site Sewer Facility		<input checked="" type="checkbox"/>	if yes, attach Information About On-Site Sewer Facility (TXR-1407)

Water supply provided by: city well MUD co-op unknown other: _____

Was the Property built before 1978? yes no unknown

(If yes, complete, sign, and attach TXR-1906 concerning lead-based paint hazards).

Roof Type: composite Age: 6 years (approximate)

Is there an overlay roof covering on the Property (shingles or roof covering placed over existing shingles or roof covering)? yes no unknown

Are you (Seller) aware of any of the items listed in this Section 1 that are not in working condition, that have defects, or are need of repair? yes no If yes, describe (attach additional sheets if necessary): _____

Section 2. Are you (Seller) aware of any defects or malfunctions in any of the following? (Mark Yes (Y) if you are aware and No (N) if you are not aware.)

Item	Y	N
Basement		<input checked="" type="checkbox"/>
Ceilings		<input checked="" type="checkbox"/>
Doors		<input checked="" type="checkbox"/>
Driveways		<input checked="" type="checkbox"/>
Electrical Systems		<input checked="" type="checkbox"/>
Exterior Walls		<input checked="" type="checkbox"/>

Item	Y	N
Floors		<input checked="" type="checkbox"/>
Foundation / Slab(s)		<input checked="" type="checkbox"/>
Interior Walls		<input checked="" type="checkbox"/>
Lighting Fixtures		<input checked="" type="checkbox"/>
Plumbing Systems		<input checked="" type="checkbox"/>
Roof		<input checked="" type="checkbox"/>

Item	Y	N
Sidewalks		<input checked="" type="checkbox"/>
Walls / Fences		<input checked="" type="checkbox"/>
Windows		<input checked="" type="checkbox"/>
Other Structural Components		<input checked="" type="checkbox"/>

If the answer to any of the items in Section 2 is yes, explain (attach additional sheets if necessary): _____

Section 3. Are you (Seller) aware of any of the following conditions? (Mark Yes (Y) if you are aware and No (N) if you are not aware.)

Condition	Y	N
Aluminum Wiring		<input checked="" type="checkbox"/>
Asbestos Components		<input checked="" type="checkbox"/>
Diseased Trees: <u>oak wilt</u>		<input checked="" type="checkbox"/>
Endangered Species/Habitat on Property		<input checked="" type="checkbox"/>
Fault Lines		<input checked="" type="checkbox"/>
Hazardous or Toxic Waste		<input checked="" type="checkbox"/>
Improper Drainage		<input checked="" type="checkbox"/>
Intermittent or Weather Springs		<input checked="" type="checkbox"/>
Landfill		<input checked="" type="checkbox"/>
Lead-Based Paint or Lead-Based Pt. Hazards		<input checked="" type="checkbox"/>
Encroachments onto the Property		<input checked="" type="checkbox"/>
Improvements encroaching on others' property		<input checked="" type="checkbox"/>
Located in Historic District		<input checked="" type="checkbox"/>
Historic Property Designation		<input checked="" type="checkbox"/>
Previous Foundation Repairs		<input checked="" type="checkbox"/>
Previous Roof Repairs		<input checked="" type="checkbox"/>
Previous Other Structural Repairs		<input checked="" type="checkbox"/>
Previous Use of Premises for Manufacture of Methamphetamine		<input checked="" type="checkbox"/>

Condition	Y	N
Radon Gas		<input checked="" type="checkbox"/>
Settling		<input checked="" type="checkbox"/>
Soil Movement		<input checked="" type="checkbox"/>
Subsurface Structure or Pits		<input checked="" type="checkbox"/>
Underground Storage Tanks		<input checked="" type="checkbox"/>
Unplatted Easements		<input checked="" type="checkbox"/>
Unrecorded Easements		<input checked="" type="checkbox"/>
Urea-formaldehyde Insulation		<input checked="" type="checkbox"/>
Water Damage Not Due to a Flood Event		<input checked="" type="checkbox"/>
Wetlands on Property		<input checked="" type="checkbox"/>
Wood Rot		<input checked="" type="checkbox"/>
Active infestation of termites or other wood destroying insects (WDI)		<input checked="" type="checkbox"/>
Previous treatment for termites or WDI		<input checked="" type="checkbox"/>
Previous termite or WDI damage repaired		<input checked="" type="checkbox"/>
Previous Fires		<input checked="" type="checkbox"/>
Termite or WDI damage needing repair		<input checked="" type="checkbox"/>
Single Blockable Main Drain in Pool/Hot Tub/Spa*		<input checked="" type="checkbox"/>

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If the answer to any of the items in Section 3 is yes, explain (attach additional sheets if necessary): _____

*A single blockable main drain may cause a suction entrapment hazard for an individual.

Section 4. Are you (Seller) aware of any item, equipment, or system in or on the Property that is in need of repair, which has not been previously disclosed in this notice? ___ yes x no If yes, explain (attach additional sheets if necessary): _____

Section 5. Are you (Seller) aware of any of the following conditions?* (Mark Yes (Y) if you are aware and check wholly or partly as applicable. Mark No (N) if you are not aware.)

Y N

- x ___ Present flood insurance coverage (if yes, attach TXR 1414).
- ___ x Previous flooding due to a failure or breach of a reservoir or a controlled or emergency release of water from a reservoir.
- ___ x Previous flooding due to a natural flood event (if yes, attach TXR 1414).
- ___ x Previous water penetration into a structure on the Property due to a natural flood event (if yes, attach TXR 1414).
- ___ x Located ___ wholly ___ partly in a 100-year floodplain (Special Flood Hazard Area-Zone A, V, A99, AE AO, AH, VE, or AR) (if yes, attach TXR 1414).
- ___ x Located ___ wholly ___ partly in a 500-year floodplain (Moderate Flood Hazard Area-Zone X (shaded)).
- ___ x Located ___ wholly ___ partly in a floodway (if yes, attach TXR 1414).
- ___ x Located ___ wholly ___ partly in a flood pool.
- ___ x Located ___ wholly ___ partly in a reservoir.

If the answer to any of the above is yes, explain (attach additional sheets as necessary): _____
we currently have flood insurance on the home.

*For purposes of this notice:

"100-year floodplain" means any area of land that: (A) is identified on the flood insurance rate map as a special flood hazard area, which is designated as Zone A, V, A99, AE, AO, AH, VE, or AR on the map; (B) has a one percent annual chance of flooding, which is considered to be a high risk of flooding; and (C) may include a regulatory floodway, flood pool, or reservoir.

"500-year floodplain" means any area of land that: (A) is identified on the flood insurance rate map as a moderate flood hazard area, which is designated on the map as Zone X (shaded); and (B) has a two-tenths of one percent annual chance of flooding, which is considered to be a moderate risk of flooding.

"Flood pool" means the area adjacent to a reservoir that lies above the normal maximum operating level of the reservoir and that is subject to controlled inundation under the management of the United States Army Corps of Engineers.

"Flood insurance rate map" means the most recent flood hazard map published by the Federal Emergency Management Agency under the National Flood Insurance Act of 1968 (42 U.S.C. Section 4001 et seq.).

"Floodway" means an area that is identified on the flood insurance rate map as a regulatory floodway, which includes the channel of a river or other watercourse and the adjacent land areas that must be reserved for the discharge of a base flood, also referred to as a 100-year flood, without cumulatively increasing the water surface elevation more than a designated height.

"Reservoir" means a water impoundment project operated by the United States Army Corps of Engineers that is intended to retain water or delay the runoff of water in a designated surface area of land.

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Section 6. Have you (Seller) ever filed a claim for flood damage to the Property with any insurance provider, including the National Flood Insurance Program (NFIP)?* yes no If yes, explain (attach additional sheets as necessary): _____

*Homes in high risk flood zones with mortgages from federally regulated or insured lenders are required to have flood insurance. Even when not required, the Federal Emergency Management Agency (FEMA) encourages homeowners in high risk, moderate risk, and low risk flood zones to purchase flood insurance that covers the structure(s) and the personal property within the structure(s).

Section 7. Have you (Seller) ever received assistance from FEMA or the U.S. Small Business Administration (SBA) for flood damage to the Property? yes no If yes, explain (attach additional sheets as necessary): _____

Section 8. Are you (Seller) aware of any of the following? (Mark Yes (Y) if you are aware. Mark No (N) if you are not aware.)

Y N

Room additions, structural modifications, or other alterations or repairs made without necessary permits, with unresolved permits, or not in compliance with building codes in effect at the time.

Homeowners' associations or maintenance fees or assessments. If yes, complete the following:

Name of association: River Plantation CIA

Manager's name: Crest Management Phone: 281-945-4639

Fees or assessments are: \$ 213 per Quarter and are: mandatory voluntary

Any unpaid fees or assessment for the Property? yes (\$ _____) no

If the Property is in more than one association, provide information about the other associations below or attach information to this notice.

Any common area (facilities such as pools, tennis courts, walkways, or other) co-owned in undivided interest with others. If yes, complete the following:

Any optional user fees for common facilities charged? yes no If yes, describe: _____

Any notices of violations of deed restrictions or governmental ordinances affecting the condition or use of the Property.

Any lawsuits or other legal proceedings directly or indirectly affecting the Property. (Includes, but is not limited to: divorce, foreclosure, heirship, bankruptcy, and taxes.)

Any death on the Property except for those deaths caused by: natural causes, suicide, or accident unrelated to the condition of the Property.

Any condition on the Property which materially affects the health or safety of an individual.

Any repairs or treatments, other than routine maintenance, made to the Property to remediate environmental hazards such as asbestos, radon, lead-based paint, urea-formaldehyde, or mold.

If yes, attach any certificates or other documentation identifying the extent of the remediation (for example, certificate of mold remediation or other remediation).

Any rainwater harvesting system located on the Property that is larger than 500 gallons and that uses a public water supply as an auxiliary water source.

The Property is located in a propane gas system service area owned by a propane distribution system retailer.

Any portion of the Property that is located in a groundwater conservation district or a subsidence district.

If the answer to any of the items in Section 8 is yes, explain (attach additional sheets if necessary): _____

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Section 9. Seller ___ has ___ has not attached a survey of the Property.

Section 10. Within the last 4 years, have you (Seller) received any written inspection reports from persons who regularly provide inspections and who are either licensed as inspectors or otherwise permitted by law to perform inspections? yes ___ no If yes, attach copies and complete the following:

Inspection Date	Type	Name of Inspector	No. of Pages
1/29/2020	Purchase Inspection	Southern Star Inspection, LLC	34

Note: A buyer should not rely on the above-cited reports as a reflection of the current condition of the Property. A buyer should obtain inspections from inspectors chosen by the buyer.

Section 11. Check any tax exemption(s) which you (Seller) currently claim for the Property:

- Homestead
- Senior Citizen
- Disabled
- Wildlife Management
- Agricultural
- Disabled Veteran
- Other: _____
- Unknown

Section 12. Have you (Seller) ever filed a claim for damage, other than flood damage, to the Property with any insurance provider? ___ yes no

Section 13. Have you (Seller) ever received proceeds for a claim for damage to the Property (for example, an insurance claim or a settlement or award in a legal proceeding) and not used the proceeds to make the repairs for which the claim was made? ___ yes no If yes, explain: _____

Section 14. Does the Property have working smoke detectors installed in accordance with the smoke detector requirements of Chapter 766 of the Health and Safety Code?* ___ unknown ___ no yes. If no or unknown, explain. (Attach additional sheets if necessary): _____

**Chapter 766 of the Health and Safety Code requires one-family or two-family dwellings to have working smoke detectors installed in accordance with the requirements of the building code in effect in the area in which the dwelling is located, including performance, location, and power source requirements. If you do not know the building code requirements in effect in your area, you may check unknown above or contact your local building official for more information.*

A buyer may require a seller to install smoke detectors for the hearing impaired if: (1) the buyer or a member of the buyer's family who will reside in the dwelling is hearing-impaired; (2) the buyer gives the seller written evidence of the hearing impairment from a licensed physician; and (3) within 10 days after the effective date, the buyer makes a written request for the seller to install smoke detectors for the hearing-impaired and specifies the locations for installation. The parties may agree who will bear the cost of installing the smoke detectors and which brand of smoke detectors to install.

Seller acknowledges that the statements in this notice are true to the best of Seller's belief and that no person, including the broker(s), has instructed or influenced Seller to provide inaccurate information or to omit any material information.

DocuSigned by: <u>Daniel Weatherman</u>	6/14/2021	DocuSigned by: <u>Stacy Ridgway</u>	6/14/2021	1:07 P
Signature of Seller	Date	Signature of Seller	Date	

Printed Name: Daniel Weatherman Printed Name: _____

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Concerning the Property at _____

ADDITIONAL NOTICES TO BUYER:

- (1) The Texas Department of Public Safety maintains a database that the public may search, at no cost, to determine if registered sex offenders are located in certain zip code areas. To search the database, visit <https://publicsite.dps.texas.gov/SexOffenderRegistry>. For information concerning past criminal activity in certain areas or neighborhoods, contact the local police department.
- (2) If the Property is located in a coastal area that is seaward of the Gulf Intracoastal Waterway or within 1,000 feet of the mean high tide bordering the Gulf of Mexico, the Property may be subject to the Open Beaches Act or the Dune Protection Act (Chapter 61 or 63, Natural Resources Code, respectively) and a beachfront construction certificate or dune protection permit may be required for repairs or improvements. Contact the local government with ordinance authority over construction adjacent to public beaches for more information.
- (3) If the Property is located in a seacoast territory of this state designated as a catastrophe area by the Commissioner of the Texas Department of Insurance, the Property may be subject to additional requirements to obtain or continue windstorm and hail insurance. A certificate of compliance may be required for repairs or improvements to the Property. For more information, please review *Information Regarding Windstorm and Hail Insurance for Certain Properties* (TXR 2518) and contact the Texas Department of Insurance or the Texas Windstorm Insurance Association.
- (4) This Property may be located near a military installation and may be affected by high noise or air installation compatible use zones or other operations. Information relating to high noise and compatible use zones is available in the most recent Air Installation Compatible Use Zone Study or Joint Land Use Study prepared for a military installation and may be accessed on the Internet website of the military installation and of the county and any municipality in which the military installation is located.
- (5) If you are basing your offers on square footage, measurements, or boundaries, you should have those items independently measured to verify any reported information.
- (6) The following providers currently provide service to the Property:

Electric: <u>Entergy</u>	phone #: <u>800-368-3749</u>
Sewer: <u>East Plantation</u>	phone #: <u>936.273.3366</u>
Water: <u>East Plantation UD</u>	phone #: <u>936.273.3366</u>
Cable: <u>Suddenlink</u>	phone #: <u>866.659.2861</u>
Trash: <u>waste Management</u>	phone #: <u>included w/HOA</u>
Natural Gas: <u>CenterPoint Energy</u>	phone #: <u>713.659.2111</u>
Phone Company: <u>none</u>	phone #: <u>none</u>
Propane: _____	phone #: _____
Internet: <u>SuddenLink</u>	phone #: <u>866.659.2861</u>

- (7) This Seller's Disclosure Notice was completed by Seller as of the date signed. The brokers have relied on this notice as true and correct and have no reason to believe it to be false or inaccurate. YOU ARE ENCOURAGED TO HAVE AN INSPECTOR OF YOUR CHOICE INSPECT THE PROPERTY.

The undersigned Buyer acknowledges receipt of the foregoing notice.

Signature of Buyer	Date	Signature of Buyer	Date
Printed Name: _____		Printed Name: _____	

(TXR-1406) 09-01-19

Initialed by: Buyer: _____, _____ and Seller:  _____,  _____



INFORMATION ABOUT SPECIAL FLOOD HAZARD AREAS

USE OF THIS FORM BY PERSONS WHO ARE NOT MEMBERS OF THE TEXAS ASSOCIATION OF REALTORS®, INC. IS NOT AUTHORIZED.
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CONCERNING THE PROPERTY AT 504 Greenleaf Cir
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A. FLOOD AREAS:

- (1) The Federal Emergency Management Agency (FEMA) designates areas that have a high risk of flooding as special flood hazard areas.
- (2) A property that is in a special flood hazard area lies in a "V-Zone" or "A-Zone" as noted on flood insurance rate maps. Both V-Zone and A-Zone areas are areas with high risk of flooding.
- (3) Some properties may also lie in the "floodway" which is the channel of a river or other watercourse and the adjacent land areas that must be reserved in order to discharge a flood under FEMA rules. Communities must regulate development in these floodways.

B. AVAILABILITY OF FLOOD INSURANCE:

- (1) Generally, flood insurance is available regardless of whether the property is located in or out of a special flood hazard area. Contact your insurance agent to determine if any limitations or restrictions apply to the property in which you are interested.
- (2) FEMA encourages every property owner to purchase flood insurance regardless of whether the property is in a high, moderate, or low risk flood area.
- (3) A homeowner may obtain flood insurance coverage (up to certain limits) through the National Flood Insurance Program. Supplemental coverage is available through private insurance carriers.
- (4) A mortgage lender making a federally related mortgage will require the borrower to maintain flood insurance if the property is in a special flood hazard area.

C. GROUND FLOOR REQUIREMENTS:

- (1) Many homes in special flood hazard areas are built-up or are elevated. In elevated homes the ground floor typically lies below the base flood elevation and the first floor is elevated on piers, columns, posts, or piles. The base flood elevation is the highest level at which a flood is likely to occur as shown on flood insurance rate maps.
- (2) Federal, state, county, and city regulations:
 - (a) restrict the use and construction of any ground floor enclosures in elevated homes that are in special flood hazard areas.
 - (b) may prohibit or restrict the remodeling, rebuilding, and redevelopment of property and improvements in the floodway.
- (3) The first floor of all homes must now be built above the base flood elevation.
 - (a) Older homes may have been built in compliance with applicable regulations at the time of construction and may have first floors that lie below the base flood elevation, but flood insurance rates for such homes may be significant.

Information about Special Flood Hazard Areas concerning

- (b) It is possible that modifications were made to a ground floor enclosure after a home was first built. The modifications may or may not comply with applicable regulations and may or may not affect flood insurance rates.
 - (c) It is important for a buyer to determine if the first floor of a home is elevated at or above the base flood elevation. It is also important for a buyer to determine if the property lies in a floodway.
- (4) Ground floor enclosures that lie below the base flood elevation may be used only for: (i) parking; (ii) storage; and (iii) building access. Plumbing, mechanical, or electrical items in ground floor enclosures that lie below the base flood elevation may be prohibited or restricted and may not be eligible for flood insurance coverage. Additionally:
- (a) in A-Zones, the ground floor enclosures below the base flood elevation must have flow-through vents or openings that permit the automatic entry and exit of floodwaters;
 - (b) in V-Zones, the ground floor enclosures must have break-away walls, screening, or lattice walls; and
 - (c) in floodways, the remodeling or reconstruction of any improvements may be prohibited or otherwise restricted.

D. COMPLIANCE:

- (1) The above-referenced property may or may not comply with regulations affecting ground floor enclosures below the base flood elevation.
- (2) A property owner's eligibility to purchase or maintain flood insurance, as well as the cost of the flood insurance, is dependent on whether the property complies with the regulations affecting ground floor enclosures.
- (3) A purchaser or property owner may be required to remove or modify a ground floor enclosure that is not in compliance with city or county building requirements or is not entitled to an exemption from such requirements.
- (4) A flood insurance policy maintained by the current property owner does not mean that the property is in compliance with the regulations affecting ground floor enclosures or that the buyer will be able to continue to maintain flood insurance at the same rate.
- (5) Insurance carriers calculate the cost of flood insurance using a rate that is based on the elevation of the lowest floor.
 - (a) If the ground floor lies below the base flood elevation and does not meet federal, state, county, and city requirements, the ground floor will be the lowest floor for the purpose of computing the rate.
 - (b) If the property is in compliance, the first elevated floor will be the lowest floor and the insurance rate will be significantly less than the rate for a property that is not in compliance.
 - (c) If the property lies in a V-Zone the flood insurance rate will be impacted if a ground floor enclosure below the base flood elevation exceeds 299 square feet (even if constructed with break-away walls).

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Information about Special Flood Hazard Areas concerning _____

E. ELEVATION CERTIFICATE:

The elevation certificate is an important tool in determining flood insurance rates. It is used to provide elevation information that is necessary to ensure compliance with floodplain management laws. To determine the proper insurance premium rate, insurers rely on an elevation certificate to certify building elevations at an acceptable level above flood map levels. If available in your area, it is recommended that you obtain an elevation certificate for the property as soon as possible to accurately determine future flood insurance rates.

You are encouraged to: (1) inspect the property for all purposes, including compliance with any ground floor enclosure requirement; (2) review the flood insurance policy (costs and coverage) with your insurance agent; and (3) contact the building permitting authority if you have any questions about building requirements or compliance issues.

Receipt acknowledged by:

Signature Date

Signature Date

Southern Star Inspections, LLC

Property Inspection Report



504 Greenleaf Cir, Conroe, TX 77302

Inspection prepared for: Daniel Weatherman

Real Estate Agent: Karen Demetro - RE/MAX Compass

Date of Inspection: 1/29/2020 Time: 8:00 AM

Age of Home: 2014 Size: 3017 sqft

Weather: Sunny

Home is a two story with an attached two car garage. Realtor present at completion of the inspection.

Inspector: Travis Kepp

License #20608

Phone: 713-817-3957

Email: travis@southernstarinspections.com

www.SouthernStarInspections.com



PROPERTY INSPECTION REPORT

Prepared For: Daniel Weatherman
(Name of Client)

Concerning: 504 Greenleaf Cir, Conroe, TX 77302
(Address or Other Identification of Inspected Property)

By: Travis Kepp, License #20608 1/29/2020
(Name and License Number of Inspector) (Date)

PURPOSE, LIMITATIONS AND INSPECTOR / CLIENT RESPONSIBILITIES

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions. If any item or comment is unclear, you should ask the inspector to clarify the findings. It is important that you carefully read ALL of this information.

This inspection is subject to the rules ("Rules") of the Texas Real Estate Commission ("TREC"), which can be found at www.trec.texas.gov.

The TREC Standards of Practice (Sections 535.227-535.233 of the Rules) are the minimum standards for inspections by TREC licensed inspectors. An inspection addresses only those components and conditions that are present, visible, and accessible at the time of the inspection. While there may be other parts, components or systems present, only those items specifically noted as being inspected were inspected. The inspector is NOT required to turn on decommissioned equipment, systems, utility services or apply an open flame or light a pilot to operate any appliance. The inspector is NOT required to climb over obstacles, move furnishings or stored items. The inspection report may address issues that are code-based or may refer to a particular code; however, this is NOT a code compliance inspection and does NOT verify compliance with manufacturer's installation instructions. The inspection does NOT imply insurability or warrantability of the structure or its components. Although some safety issues may be addressed in this report, this inspection is NOT a safety/code inspection, and the inspector is NOT required to identify all potential hazards.

In this report, the inspector shall indicate, by checking the appropriate boxes on the form, whether each item was inspected, not inspected, not present or deficient and explain the findings in the corresponding section in the body of the report form. The inspector must check the Deficient (D) box if a condition exists that adversely and materially affects the performance of a system or component or constitutes a hazard to life, limb or property as specified by the TREC Standards of Practice. General deficiencies include inoperability, material distress, water penetration, damage, deterioration, missing components, and unsuitable installation. Comments may be provided by the inspector whether or not an item is deemed deficient. The inspector is not required to prioritize or emphasize the importance of one deficiency over another.

Some items reported may be considered life-safety upgrades to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards or Deficiencies below.

THIS PROPERTY INSPECTION IS NOT A TECHNICALLY EXHAUSTIVE INSPECTION OF THE STRUCTURE, SYSTEMS OR COMPONENTS. The inspection may not reveal all deficiencies. A real estate inspection helps to reduce some of the risk involved in purchasing a home, but it cannot eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is recommended that you obtain as much information as is available about this property, including any seller's disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for or by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspector's responsibility to confirm that information obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous or future reports.

ITEMS IDENTIFIED IN THE REPORT DO NOT OBLIGATE ANY PARTY TO MAKE REPAIRS OR TAKE OTHER ACTIONS, NOR IS THE PURCHASER REQUIRED TO REQUEST THAT THE SELLER TAKE ANY ACTION. When a deficiency is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods.

Promulgated by the Texas Real Estate Commission (TREC) P.O. Box 12188, Austin, TX 78711-2188 (512) 936-3000
<http://www.trec.texas.gov>.

Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions.

Examples of such hazards include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathrooms, kitchens, and exterior areas;
- malfunctioning arc fault protection (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined.

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered" because they were present prior to the adoption of codes prohibiting such conditions. While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate licensees also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms require a seller to remedy conditions revealed by an inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for the sale or purchase of the home.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

Important Reminders:

We appreciate the opportunity to conduct this inspection for you! Please carefully read your entire Inspection Report. Call us after you have reviewed your report, so we can go over any questions you may have. Remember, when the inspection is completed and the report is delivered, **we are still available to you for any questions you may have.**

Properties being inspected do not "Pass" or "Fail." - The following report is based on an inspection of the visible portion of the structure; inspection **may be limited** by vegetation and possessions. Depending upon the age of the property, some items like GFI outlets may not be installed; **this report will focus on safety and function, not current code.** This report identifies specific non-code, non-cosmetic concerns that the inspector feels may need further investigation or repair.

For your safety, we recommend that licensed contractors evaluate and repair any critical concerns and defects. **This report is a snapshot in time. We recommend that you or your representative carry out a final walk-through inspection immediately before closing to check the condition of the property, using this report as a guide.**

Note: All directions given in this report (i.e. left, right, front, rear) are to be taken as if standing on the street facing the front of the building or, when appropriate, the system or component being inspected. Stored items, furniture, personal belongings, vehicles, etc. all obscure and impede the inspections process. When any of these items are present, client should assume that portions of the structure, systems and components were probably concealed or otherwise overlooked. Client should not assume that every deficiency was identified, recognized, or otherwise reported.

What We Inspect:

A Home Inspection is a **non-invasive visual examination** of a residential dwelling, performed for a fee, which is designed to identify observed material defects within specific components of said dwelling. Components may include any combination of mechanical, structural, electrical, plumbing, or other essential systems or portions of the home, as identified and agreed to by the Client and Inspector, prior to the inspection process.

A home inspection is intended to assist in evaluation of the overall condition of the dwelling. The inspection is based on observation of the visible and apparent condition of the structure and its components on the date of the inspection and **not the prediction of future conditions.**

A home inspection will not reveal every concern that exists or ever could exist, but only those material defects observed on the day of the inspection.

A material defect is a condition with a residential real property or any portion of it that would have a significant adverse impact on the value of the real property or that involves an unreasonable risk to people on the property. The fact that a structural element, system or subsystem is near, at or beyond the end of the normal useful life of such a structural element, system or subsystem is not by itself a material defect..

An Inspection report shall describe and identify in written format the inspected systems, structures, and components of the dwelling and shall identify material defects observed. **Inspection reports may contain recommendations regarding conditions reported or recommendations for correction, monitoring or further evaluation by professionals, but this is not required.**

This is NOT a Wood Destroying Insect Inspection. If requested, Southern Star Inspections provides reputable wood destroying insect inspectors for the client to contact for more information regarding their services.

Summary page info:

On the Summary Page you will find, in **RED**, a brief summary of any **CRITICAL** concerns of the inspection, as they relate to Safety and Function. Examples would be bare electrical wires, or active drain leaks. **If items are marked RED and/or "deficient", we recommend an evaluation of the entire system by a qualified technician or professional.** The complete list of items noted is found throughout the body of the report, including Normal Maintenance items.

For your safety and liability, we recommend that you hire only licensed contractors when having any work done. If any area has been remodeled or part of an addition, we recommend that you verify the permit and certificate of occupancy. This is important because our inspection does not guarantee the integrity of any work that was done without a permit. Depending upon your needs and those who will be on this property, items listed in the **body** of the report may also be a concern for you; be sure to read your Inspection Report in its entirety.

Note: If there are no comments in **RED** below, there were no **CRITICAL** system or safety concerns with this property at the time of inspection.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

I. STRUCTURAL SYSTEMS

A. Foundations

Type of Foundation(s):

• **Slab on Grade - Post Tension Cable**

Comments: This inspection is a visual review of the foundation and represents the opinion of the inspector, based solely on the inspector's personal experience with similar homes. The inspector does not pull up floor coverings, move furniture, measure elevations or propose repairs. The inspector does not enter crawl space areas less than 18". Minor settlement or "hairline" cracks in drives, walks or even foundations are normal to properties of any age. They should, however, be monitored for expansion and sealed as necessary. Homes built with slab and/or post tension cable foundation construction may have heating ductwork, plumbing, gas, and electrical lines running beneath the slab. As it is impossible to visually inspect these items, they are specifically excluded from the scope of this inspection. The opinion stated below in no way addresses future foundation movement or settlement. If items are marked in Red, marked as "Deficient", and/or you should you have any concern regarding the foundation, it is recommended you have a complete evaluation prior to close.

• **Performance Opinion:**

***IT IS IN MY OPINION that at the time of this inspection the visible areas of the foundation appears to be supporting the structure and immediate significant repair needs are not evident. The structure should be monitored for signs of differential foundation settlement, with corrective measures taken if excessive settlement occurs. Weather conditions, drainage and other adverse factors can effect structures and differential movements of foundations can occur because of them. The inspectors opinion is based on visual observations of accessible and un-obstructed areas of the structure at the time of the inspection. Future performance of the structure cannot be predicted by the inspector.**

• **Truncated cracks were observed at the corners of the foundation. These are known as "wedge" cracks that are typical in post tension cable foundations and are not negatively affecting the structure at the time of the inspection. Recommend repairing with a non-shrinking epoxy grout/mortar and monitor for excessive movement.**

• **Foundation is "honeycombed" on the rear elevation of the home. The foundation is structurally sound and this is a cosmetic issue only. A non-shrinking epoxy grout can be used to cover this area. Recommend leaving a gap at the top so evidence of wood destroying insects can be visible.**

• **Shrinkage cracks are present in the garage foundation. Minor settlement or "hairline" cracks in drives, walks or even foundations are normal to properties of any age. The cracks/fractures were tight and free of differential movement (no vertical displacement). These are primarily cosmetic and can be sealed to prevent water intrusion. Recommend monitoring for excessive movement.**

• **Post tension cable is not properly sealed at the left elevation foundation wall. It is recommended to seal/patch this with a non shrinking epoxy grout to prevent corrosion of cables. Check all.**

• **Exposed "fixed end" of the tension cable at the rear left corner of the foundation at the time of the inspection. It is recommended to seal/patch this with a non shrinking epoxy grout to prevent corrosion of cables/material. Check all.**

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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Wedge crack at rear right corner



Wedge crack at front left corner



Exposed aggregate at rear elevation



Exposed tension cable



Exposed fixed end of tension cable



Hairline cracks in garage

X			X
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B. Grading & Drainage

Comments: Grading and drainage are probably the most significant aspects of a property, simply because of the direct and indirect damage that moisture can have on structures. It is advisable to maintain at least four inches of clear area between the ground and masonry and six inches of clearance between ground and wood siding. Proper drainage is critical to the performance of the foundation. All grades should drop away from the structure at a rate of 6 inches per 10 feet. Sprinkler systems if not properly installed and adjusted to provide uniform and proper levels of moisture content in the soil, can lead to differential foundation movement. Determining flood plains is beyond the scope of this inspection. The seller/builder may have more information concerning this subject. If items are marked in Red, marked as "Deficient", and/or should you have any concern regarding the Grading or Drainage, it is recommended you have a complete evaluation of the drainage system prior to close.

- **Gutters are not installed at the time of the inspection. Gutters are essential in preserving the integrity of the foundation and grading around it. Gutters help divert storm water away from the foundation in a uniform manor. Recommend installing a full home gutter system.**
- **Subsurface and/or french drains are not present at time of inspection.**
- **Excessive moisture and/or standing water was observed at the left elevation, rear right elevation, and the rear left elevation of the property at the time of the inspection. The grading should promote the flow of storm water away from the foundation and off the lot in a timely manner. Some options might be but not limited to: gutters, improved swale, surface drains, french drains, or sub surface drains.**

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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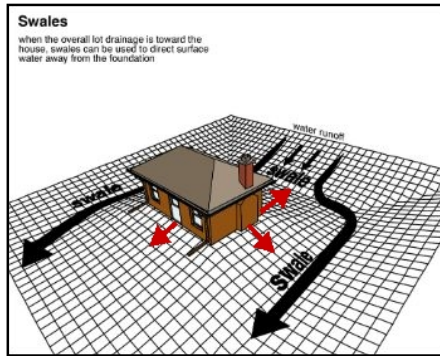
Excessive moisture at left elevation



Excessive moisture at rear right elevation



Excessive moisture at rear left elevation



Example of positive drainage/grading

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

X			X
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C. Roof Covering Materials

Type(s) of Roof Covering:

- **Asphalt shingles**

Viewed From:

- **Accessible areas of the roof**

Comments: As with all areas of the house, we recommend that you carefully examine the roof immediately prior to closing on the home. The inspector does not speculate on the remaining life expectancy of the roof covering. This inspection does not address future leaks nor does it certify that the roof is leak-free at time of the inspection. Adequate attic ventilation, solar/wind exposure, and organic debris all affect the life expectancy of a roof. The inspector did not determine the roof shingle fastener pattern by lifting a random sampling of shingles. It has been determined that lifting roof shingles can cause damage. Non accessible roofing surfaces are inspected from the ground with binoculars and attic only. Tiled roofing surfaces are not walked on. If items are marked in Red, marked as "Deficient", and/or should you have any concern regarding the roof covering material, it is recommended that you have a complete evaluation of the roof covering system prior to close.

- **Maintenance of roof covering is necessary on an annual or semi-annual basis. This generally consists of replacing loose or missing shingles, replacing ridge caps, and sealing exposed nails as necessary. Life expectancy of a composition roof can range from 15 - 25 years, depending on the quality of the material. Shingles labeled as 30-40 year life expectancy, last approximately 20-25 years in the Houston area. It is best to replace a roof when signs of cracking, curling edges, brittle shingles, or signs of granular loss are observed.**
- **Algae growth is present at several areas of the roof covering. This may appear about 5-6 years after a roof is installed and has a brown or black appearance. This type of algae is transported through the air and tends to collect and grow upon roofing material. Algae growth on roofs is typically visible as dark staining with light-colored streaks below galvanized metal flashing. Discoloration from algae growth is most common in the southern US and in coastal environments. Algae discoloration is difficult to remove from roofing surfaces, but may be lightened by applying a solution of chlorine bleach, trisodium phosphate, and water. Solutions for these ingredients may vary between shingle manufacturers and it's best not to make direct recommendations but to recommend a qualified contractor. High pressure washing systems should not be used to remove algae.**
- **Observed vegetation debris such as leaves and/or pine needles on the roof covering that should be removed as needed. Check all.**



Airborne algae present on shingles



Debris on roof covering

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

X			X
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D. Roof Structures and Attics

Approximate Average Depth of Insulation:

- **Insulation is approx. 10-12 inches deep**

Approximate Average Thickness of Vertical Insulation:

- **Unknown Depth. The inspector is unable to determine the depth of the insulation behind drywall**

Comments: Not all areas of an attic are visible due to lack of access. This is a limited inspection of what can be viewed from a safe platform. If items are marked in Red, marked as "Deficient", and/or should you have any concern regarding the roof structure, it is recommended you have a complete evaluation of the roof structure prior to close.

- **A debris catching area, known as a "trap", is present on this roof design at the front elevation of the home. Roofing may deteriorate more quickly at this location due to the built up of debris. Debris should be cleared in this location, including the gutter system on a regular basis.**
- **Viewed From: Accessible Areas of the Attic**
- **Some framing members within the garage and attic space of the home are not accessible and/or visible for inspection. From the accessible attic space, the roof structure appeared to be constructed and functioning as intended at the time of the inspection.**
- **Roof deflection observed at the front elevation of the home at the time of the inspection. This is most likely due to damaged rafter and/or roof decking at this location.**



Monitor "trap" area in roof design



Roof deflection at front elevation

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

E. Walls (Interior and Exterior)*Wall Materials:*

- Exterior walls are Brick/Stone/Siding Material
- Interior walls are made of Drywall

Comments: All exposed walls will be inspected. Furniture, personal items, and stored items are not moved by the inspector during the inspection. It is beyond the inspectors scope to determine the condition of the wall coverings except as they pertain to structural performance or moisture penetration. This inspection does not cover any issues that are considered to be environmental, such as, but not limited to, lead based paint, asbestos, radon, mold, mildew or funguses. All siding, but especially composition or hardboard siding must be closely monitored and seams must remain sealed (especially the lower courses at ground level). If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the walls, it is recommended a complete evaluation be conducted prior to close.

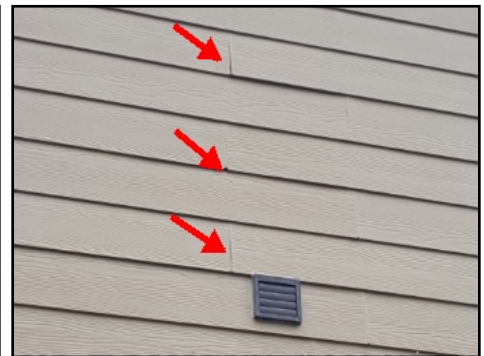
- Seal all gaps where the exterior cladding material intersects with one another to deter moisture and insect intrusion. Some areas include but not limited to: exterior siding to brick, stone to brick, brick to flashing. Check all.
- Seal around all gaps of electrical and/or plumbing penetrations through exterior walls to deter moisture and insect intrusion as needed. Some areas include but not limited to: exterior light fixtures, electrical outlets, hose bibs, plumbing clean outs, vent terminations, gas lines, and **A/C** refrigerant lines. Check all.
- Airborne mildew and/or algae growth present at various locations of the exterior siding material at the time of the inspection. Recommend removing with an approved cleaning agent as needed.
- Seal around all gaps of electrical and/or plumbing penetrations through cabinets and walls so not to lose conditioned air. Some areas include but not limited to: around plumbing pipes in cabinets, at electrical outlets and fixtures, vents.
- Minor drywall repair and paint touch ups are needed at various locations of the home. Check all.
- Deteriorated siding material/window trim at the upper rear elevation of the home. Minor caulk and paint touch ups needed at exterior of the home. Recommend sealing all gaps and/or voids in siding material. All exposed nail heads securing siding material to structure should be sealed as needed. Check all.
- Seal around all plumbing fixtures in showers and/or tubs. Recommend sealing all corners of shower tile and where tile meets tub/shower pan as needed. Check all.



Mildew growth at chimney siding



Deteriorated siding material at upper rear elevation



Seal gaps/voids in siding material

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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Seal all interior penetrations



Fixture base not sealed



Fixture base not sealed

X			
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F. Ceilings and Floors

Ceiling & Floor Materials:

- Ceiling is Drywall
- Flooring is Carpet/Tile

Comments: Not all interior floors are visible and/or accessible as they may be obstructed by floor coverings, furniture, stored items, construction debris, etc. It is beyond the scope of this inspection to remove any floor covering. The inspection is not required to determine the condition of the interior ceiling or floor covering except as they pertain to the structural performance and/or moisture penetration. This inspection does not cover any issues that are considered to be environmental, such as, but not limited to, lead based paint, asbestos, radon, mold, mildew or funguses. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the ceilings and floors, it is recommended a complete evaluation of the ceilings and floors be conducted prior to close.

- Minor drywall repair and paint touch ups needed at the ceiling throughout the home. Check all.
- Carpet flooring is loose at the entry to the upstairs secondary bedroom at the time of the inspection. This can be considered a trip hazard and is in need of repair. Check all.



Settling crack at bedroom ceiling



Carpet flooring loose

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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G. Doors (Interior and Exterior)

Comments: It is common in the course of climate changes that some doors may bind mildly or that the latches may need adjustment. We recommend having all locks re-keyed after closing and before moving in to your new home. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the doors, it is recommended that a complete evaluation be conducted prior to close.

- **Door stop and/or hinge stops are not present at various locations of the home at the time of the inspection. Check all.**
- **Seal exterior door thresholds and at bottom of door jambs/trim to limit moisture/insect intrusion. Check all.**
- **Front door rubs on frame and is difficult to open and close.**
- **Missing strike plate at the master bathroom at the time of the inspection. Recommend adjusting doors so they are tight against strike plate when closed. Check all.**



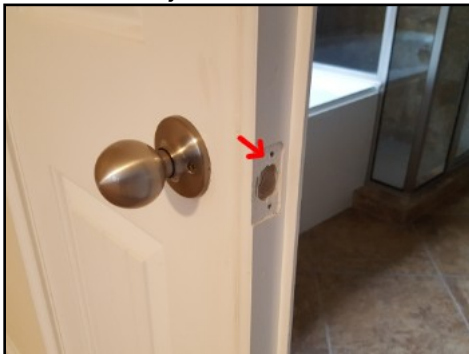
Keep door thresholds/jambs sealed



Seal door thresholds/jambs



Door rubs on frame/jamb



Missing strike plate



Door stop not present

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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H. Windows

Window Types:

- Window frames are made of Vinyl
- Windows are Single Hung

Comments: Inspection of storm windows, awnings, shutters, or other security device is beyond the scope of the inspector. Double pane window seals may be broken without having a visible amount of condensation build-up between the panes. Obviously fogged windows are noted when observed but a complete inspection is not possible due to some light conditions, installed screens, dirt on surfaces and/or rain at time of inspection. Recommend periodically sealing around all interior and exterior windows to deter moisture and insect intrusion. If items are marked in Red, marked "Deficient", and/or should you have concern regarding the windows, it is recommended that a complete evaluation of the windows be conducted prior to close.

- Recommend sealing around all interior and exterior windows to deter moisture and insect intrusion as needed. Check all.
- Windows that were tested functioned as intended at the time of the inspection.
- Seal failure appears to have occurred at the upper front left elevation window (upstairs secondary bedroom) at the time of the inspection. Check all.
- Vinyl window weep hole covers are missing and/or damaged (missing flapper) at various locations of the home. Check all.
- Upstairs front left bedroom window sill is not properly secure in place at the time of the inspection. Check all.



Seal exterior window frame at front elevation



Seal failure at upper front left elevation



Weep hole cover missing at rear elevation



Damaged weep hole cover at rear elevation



Example of window weep hole cover



Window sill not secure in place

I=Inspected

NI=Not Inspected

NP=Not Present

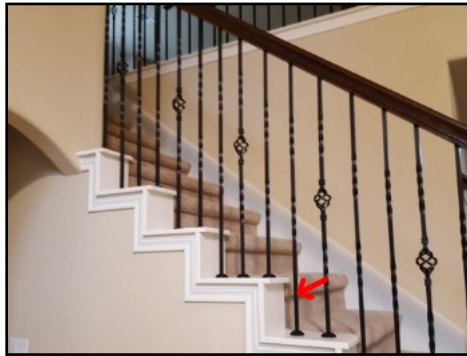
D=Deficient

I NI NP D

I. Stairways (Interior and Exterior)

Comments: This section may contain certain deficiencies related to railings, guardrails, handrails, etc. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the stairways, it is recommended that a complete evaluation of the stairways be conducted prior to close.

- **Stair treads and risers were installed and acting as intended at time of the inspection.**
- **The staircase/railing spindles and/or spindle bases are not properly secure in place at various locations at the time of the inspection. Check all.**



Staircase spindle not secure in place

J. Fireplaces and Chimneys

Locations:

- **Fireplace is located in the Living Room**

Types:

- **Natural Gas**
- **Fireplace is prefabricated**

Comments: It is beyond the scope for the inspector to test the Fireplace/Chimney for proper draft, conduct a smoke test or verify the integrity of the flue. The inspector is required to perform an inspection on the visible components of the fireplace/chimney only. Freestanding wood burning stoves are beyond the scope of the inspector. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the fireplace and chimney, it is recommended that a complete evaluation of the fireplace and chimney be conducted prior to close by a qualified contractor.

- **It is always recommended to have a professional chimney sweep and/or licensed contractor conduct a complete system evaluation of the fireplace and chimney prior to the first seasonal use.**
- **Recommend installing a blocking clamp (lock open device) to the fireplace damper. The blocking clamp is intended to prevent dangerous gases from entering into the living areas if the damper is not opened.**
- **Gas line entering fireplace is not sealed. Recommend sealing with a high temperature, non flammable material.**

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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Recommend installing damper blocking clamp



Example of blocking clamp for fireplace damper



Seal gas line through fireplace wall

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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K. Porches, Balconies, Decks, and Carports

Comments: It is beyond the scope of the inspector to report on detached structures or waterfront structures and equipment. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the exterior porches, decks, carports, etc, it is recommended a complete evaluation be conducted prior to close.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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L. Other

Materials:
 • Flatwork
 • Fence
Comments:

- Driveway flatwork panels are cracked at various locations at the time of the inspection.
- Fence pickets are damaged and/or cracked and are in need of repair at various locations of the property at the time of the inspection. Check all.



Left elevation of home



Right elevation of home



Rear elevation of home

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Crack in driveway flatwork



Cracks in driveway flatwork



Fence picket damaged at rear elevation

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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II. ELECTRICAL SYSTEMS

A. Service Entrance and Panels

Panel Locations:

- Main electrical panel and main breaker is located at the exterior rear right elevation of the home. The homeowner breaker panel is located in the garage.

Materials & Amp Rating:

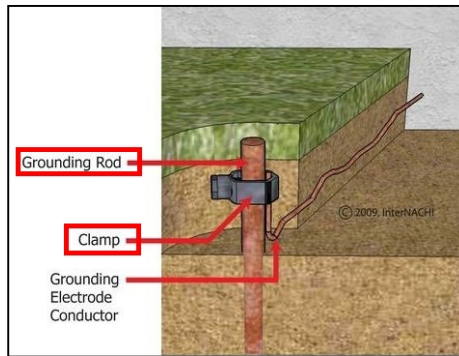
- Aluminum wiring
- Main panel is a Square D - 200 Amp Max
- Subpanel is a Square D - 200 Amp Max

Comments: The inspector is not required to determine the service capacity amps, voltage capacity, or the capacity of the system relative to present or future use or requirements. The inspector is not required to conduct voltage drop calculations or determine the accuracy of the breaker labeling. The electrical service panel will be opened and inspected unless a safety hazard presents itself. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the electrical service, it is recommended a complete evaluation be conducted prior to close.

- Service entrance is underground
- Ground rod is not flush with grade. Recommend lowering so that a total of 8' is in contact with grading.
- All components within the homeowner electrical/breaker panel appear to be properly installed and functioning as intended at the time of the inspection.



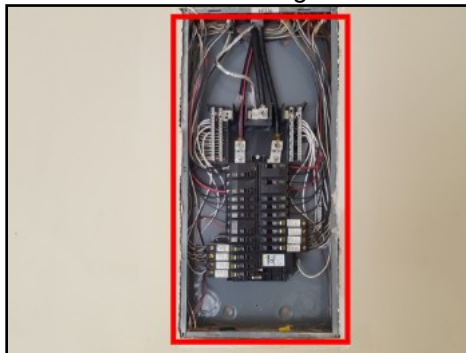
Ground rod not flush with grade



Rod flush with grade



Homeowner main breaker location



Homeowner breaker panel in garage

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

B. Branch Circuits, Connected Devices, and Fixtures

Type of Wiring:

- **Copper wiring**

- **200 Amp breaker for the main electrical panel**

Comments: Ground Fault Circuit Interrupter (GFCI) outlets are required in the garage, bathrooms, kitchen, and all exterior outlets/wet areas. If home was constructed before this rule was implemented, it is not required to upgrade but is highly recommended. Items not inspected include but are not limited to: cable, telephone, computer, speaker, photocells, low voltage, intercom systems, electric gates and doors, yard and tree lighting. Smoke detectors are tested by pressing the test button on each detector. Smoke detectors are not tested for actual "smoke" detection. Smoke alarms are not checked when a security system is in place. If items are marked in Red, marked as "Deficient", and/or should you have concern with the branch circuits or fixtures, it is recommended a complete evaluation be conducted prior to close.

- **Doorbell operated normally at the time of the inspection.**
- **Smoke detectors were not manually tested due to the security system being present at the time of the inspection. In some cases the security company monitors the smoke detectors. Recommend changing batteries and testing the smoke detectors upon move in.**
- **Receptacles are loose at various locations of the home. LOCATIONS include but are not limited to: front entry hallway, kitchen backsplash, garage, master bedroom, upstairs hallway, upstairs secondary bedroom. Check all.**
- **Light fixtures over the showers/tubs are required to be rated for wet and/or damp areas. Inspector was not able to identify proper tag at the time of the inspection.**
- **Missing receptacle cover plate within the garage at the time of the inspection. Check all.**
- **Light fixture is not functioning and/or the light bulbs are expired/missing at various locations of the home. LOCATIONS include but are not limited to: under cabinet light, utility room, master bedroom closet. Recommend changing bulbs and checking function of light fixture. Check all.**
- **Under cabinet light fixture near the kitchen pantry is missing at the time of the inspection. Check all.**
- **Kitchen pantry light fixture is missing the protective globe at the time of the inspection. Check all.**
- **Living room three way circuit is not wired properly at the time of the inspection. The two switches have to be a certain position for them to function properly. Light switches should work independently of one another.**
- **Furnace wire connection junction box is missing cover plate at the time of the inspection.**



Missing receptacle cover plate



Light fixture inoperable



Light fixture not present

I=Inspected

NI=Not Inspected

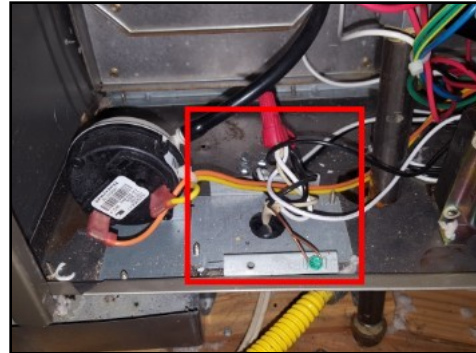
NP=Not Present

D=Deficient

I	NI	NP	D
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Missing light fixture protective globe



Junction box missing cover

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

A. Heating Equipment

Type of Systems:

- **Central Forced-Air**
- **Furnace/Air Handler is located within the attic space**

Energy Sources:

- **Natural Gas**

Comments: Inspection of the HVAC equipment is by operation of system only. Checking humidifiers, electronic air filters, and proper air flow is not included in this inspection. Full evaluation of the gas heat exchanger requires dismantling of the furnace and is beyond the scope of this inspection. If the units have not been serviced in the last 12 months, we recommend having the units serviced by a licensed technician. We recommend the heating system be completely serviced before each heating season. Filters should be changed at regular intervals. Heat pump systems are not tested when ambient temperatures are above 65 degrees Fahrenheit to avoid damaging the system. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the heating equipment, it is recommended that a complete evaluation of the heating equipment be conducted prior to close.

- **Furnace - Carrier**
- **model# = 58PHA110-20**
- **serial# = 4314A17639**
- **manufacture year = 2014**
- **Heating equipment functioned properly at time of inspection. It is always recommended to have a licensed HVAC technician conduct a complete system evaluation of the HVAC equipment prior to the first use of the season. Recommend following the manufacture care and maintenance instructions.**



Furnace/Air handler located in attic space



Furnace burner ports

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

 B. Cooling Equipment

Type of Systems:

- **Central Forced-Air**

- **A/C condensing unit is located on the right elevation of the home**

Comments: Inspection of the HVAC equipment is by operation of system only. Testing for leaks, efficiency, or disassembling equipment are not within the scope of the inspection. Cooling equipment is not checked when the outside temperature is below 60 °F because of possible damage to the compressor. Humidifiers, motorized dampers, electronic air filters and programmable thermostats are not inspected. Window air conditioning units are not tested. We recommend the cooling system be completely serviced before each cooling season and the primary condensate drain line be flushed with a chlorine bleach/water solution every 2 months during the cooling season to prevent clogging. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the cooling equipment it is recommended that a complete evaluation of the cooling equipment be conducted prior to close.

- **A/C - Carrier**

- **model# = CA16NA060-A**

- **serial# = 0915E06059**

- **manufacture year = 2015**

- **Recommend a storm water splash guard be installed at roof edge to divert water away from the A/C condensing unit.**

- **Primary condensation drain line is terminated to a bathroom vanity drain and the secondary drain line is terminated to the exterior of the home through the exterior wall. If condensation is seen dripping from the secondary drain line it is recommended to turn off the system and contact a licensed HVAC technician.**

- ***Visual inspection of the cooling equipment components only. The A/C system is not tested for proper operation when the outside air temperature is 65 degrees or less. The colder temperature makes it difficult to determine proper function and can potentially damage components of an air conditioner. It is always recommended to have a licensed HVAC technician conduct a complete system evaluation of the HVAC equipment prior to the first use of the season. Recommend following the manufacture care and maintenance instructions.**



Recommend splash guard over condensing unit



Secondary A/C drain line at rear elevation



Primary A/C drain line

I=Inspected

NI=Not Inspected

NP=Not Present

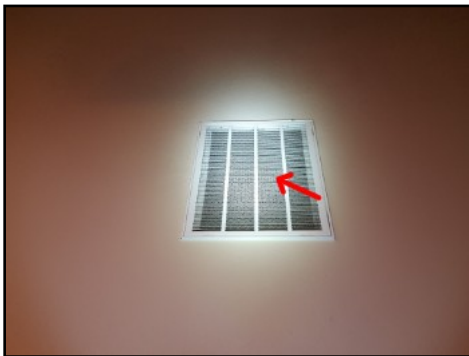
D=Deficient

I	NI	NP	D
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Comments: The purpose of this inspection is to determine the ability of the ductwork to reasonably distribute conditioned air throughout the home. Ductwork is checked for significant visible deficiencies. Ducts that are concealed by insulation, enclosed in chases and walls are not accessible to the inspector and are not checked for damage. This is not an inspection of air quality. If items are marked in Red, marked as "Deficient", and/or you should have concern regarding the ducts and vents, it is recommended that a complete evaluation be conducted prior to close.

- ***Visually inspected the accessible areas of the HVAC ductwork only.**
- **HVAC air filters are dirty at the time of inspection and may be straining the system. Recommend replacing air filters upon moving in and as required/needed. Check all.**



HVAC filter dirty



HVAC filter dirty

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

IV. PLUMBING SYSTEM

 A. Plumbing Supply, Distribution Systems and Fixtures

Location of Water Meter:

- **Front left of property**

Location of Main Water Supply Valve:

- **In the garage**

Comments: Plumbing is an important concern in any structure. Some problems may be undetectable due to being within the walls and/or underground, in floors or in the slab. Washing machine hot and cold and icemaker lines are not tested during inspection. Only visible plumbing components are inspected. Private water wells, septic systems, water softeners and filter systems are beyond the scope of this inspection. Shut off valves are not tested due to possibility of leaking or breaking after long periods of being inactive. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the water supply system, it is recommended a complete evaluation be conducted prior to close.

- **Type = PEX Piping**
- **Static Water Pressure Reading: Approx. 60 psi**
- **Water line to fridge is not tested during inspection for proper pressure. Recommend flushing of line upon move in. Leaks were not observed in visible areas at the time of the inspection.**
- **Operating the Hot and Cold water valves for the washing machine is not within the scope of the inspection. Leaks were not observed in the visible areas at the time of the inspection.**
- **Faucet at the kitchen sink is missing a "swing" stop, allowing faucet to rotate over the counter top. Recommend checking manufacture install requirements.**
- **There were no leaks observed at the accessible plumbing fixtures/piping at the time of the inspection.**
- **Missing back flow preventer at exterior hose bibs at the time of the inspection. Today's standards require Anti-siphon devices (back flow preventer) installed on all exterior hose bibs. Check all.**
- **Fixture handle is not properly secure in place at the powder bathroom vanity at the time of the inspection.**



Water meter location



Water pressure at front elevation



Main water shut off valve

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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Missing back flow preventer at hose bibs



Back flow preventer for hose bibs



Swing stop not present



Fixture handle not secure in place

X			X
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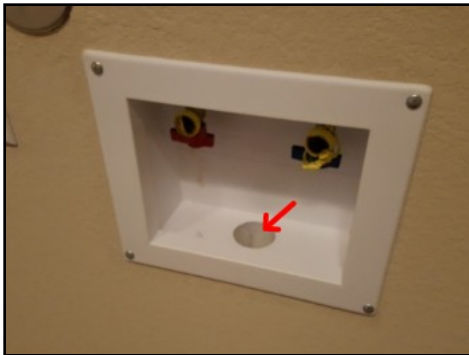
B. Drains, Wastes, and Vents

Comments: Drain lines for washing machines, icemakers, water conditioning systems, drain pumps or water ejection pumps are beyond the scope of this inspection. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the drains, wastes, or vents, it is recommended a complete evaluation be conducted prior to close.

- Type = **PVC**
- Some areas of the drains, wastes, and vents were not accessible at the time of the inspection. Access panels are not installed to view the bathtub drain assemblies. The inspector is unable to determine the integrity of the drain lines and fittings. If possible, it is recommended to install an access panel for periodic monitoring for leaks.
- Drain for washing machine was uncovered at time of inspection. Washing machine drain is not tested for flow and/or drainage. Recommend monitoring first drain cycle of washing machine.
- There were no leaks observed at the accessible plumbing drains at the time of the inspection.
- Main sewer line clean out was not located at the time of the inspection. Main sewer clean out is possibly blocked by vegetation and/or covered by mulch/grading. Recommend consulting with the seller and/or licensed plumber regarding exact location prior to closing on the home.
- Drain-stop is not present at the powder bathroom vanity at the time of the inspection.

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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Drain line uncovered in utility room



Drain-stop not present

C. Water Heating Equipment

Energy Source:

- Water heater(s) gas powered
- Water heaters are located in the attic space

Capacity:

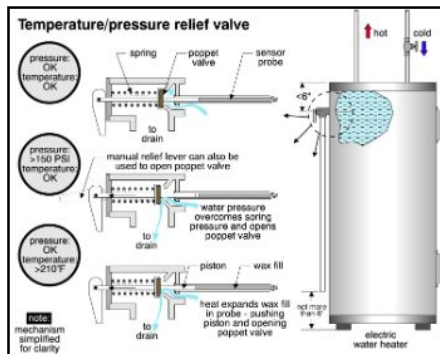
- Unit 1 is 40 Gallon
- Unit 2 is 40 Gallon

Comments: Emergency drain pan lines are not tested for proper drainage. The Temperature and Pressure Relief Valve(s) on water heater(s) are not operated. It is common for the valve to not properly re-seat after operation. It is advised that the Temperature and Pressure Relief Valve(s) be serviced according to the manufacturers instructions. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the water heater equipment, it is recommended a complete evaluation be conducted prior to close.

- Water Heater - American Water Heater Company
- model# = FVG6240S403NOV
- serial# = 1441J012566
- manufacture year = 2014
- Water Heater - American Water Heater Company
- model# = FVG6240S403NOV
- serial# = 1440J014462
- manufacture year = 2014
- The Temperature and Pressure Relief Valve(s) on the water heater(s) do not appear to be rusted or damaged at the time of the inspection. The **TPR Valves** are not tested at the time of the inspection due to the possibility of the valve not resetting in place. Recommend testing the valve once a year by owner or by a licensed plumber.
- Recommend following the manufacture care and maintenance instructions.



Drain line termination at left elevation



TPR Valve operation



Water heaters located in attic space

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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D. Hydro-Massage Therapy Equipment

Comments: Do not leave small children unattended in the unit or tub. Intake ports can have high suction which may catch hair and draw it into the intake/suction port, resulting in drowning. Hydro-Massage tubs, if not properly cleaned and maintained, can be the source of microbial and bacterial growth. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the equipment, it is recommended a complete evaluation be conducted prior to close.

- **A Hydro-Massage Therapy Tub was not present at the time of the inspection.**

E. Other

Comments: This is not a gas line pressure inspection or pressure test. Many of gas supply lines are buried underground or located in walls and buried under insulation. Inspector notes gas leaks and improper installation at accessible gas supply connections and or shut off valves. If items are marked in Red, marked as "Deficient", and/or should you have any concern regarding the gas supply, it is recommended a complete evaluation be conducted prior to close.

- ***Visual inspection of the Gas supply components only.**
- **Main gas meter and shut off valve is located on the left elevation of the home.**
- **Exposed exterior gas piping not protected from corrosion at the time of the inspection. Where passing through an outside wall, the exposed gas line should be protected against corrosion by coating or wrapping with an approved material. Recommend repairing and monitoring for further corrosion/deterioration.**
- **Sediment trap for the furnace gas line is installed against the attic floor decking making the cap difficult to be removed for future service.**



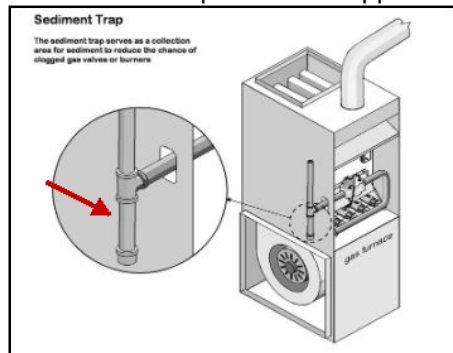
Gas meter and main shut off valve



Gas line not protected/wrapped



Sediment trap cap blocked



Sediment trap install at furnace

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

V. APPLIANCES

A. Dishwashers

Comments: Units are inspected in normal wash cycle only. We recommend operating the dishwasher in other cycles prior to closing. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the dishwasher, it is recommended that a complete evaluation be conducted prior to close.

- Dishwasher = LG Electronics
- model# = LDP6797ST
- serial# = 707KWFN9H139
- Dishwasher functioned as intended at the time of the inspection. Dishwasher was ran through a complete cycle and leaks were not present. Recommend following the manufacture care and maintenance instructions.

B. Food Waste Disposers

Comments: If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the food waste disposer, it is recommended a complete evaluation be conducted prior to close.

- Disposer = Badger
- model# = 1-87
- serial# = 14121994353
- Food Waste Disposer functioned at time of the inspection. Recommend following the manufacture care and maintenance instructions.
- Food Waste Disposer makes an irregular noise while powered on at the time of the inspection. This is most likely due to debris present within the unit at the time of the inspection.

C. Range Hood and Exhaust Systems

Comments: If items are marke in Red, marked as "Deficient", and/or should you have concern regarding the range exhaust vent, it is recommended that a complete evaluation be conducted prior to close.

- Microwave is located over range and acts as vent to range when vent is powered on. Unit is functioning as intended at time of the inspection. Recommend following the manufacture care and maintenance instructions.
- Range hood vent duct is not connected/sealed within the cabinet at the time of the inspection. Recommend adding proper sealant tape to vent duct to repair seal/close gap.



Vent duct not connected/sealed

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

 D. Ranges, Cooktops, and Ovens

Comments: Timers and clocks on ovens, ranges, and other household appliances are not checked for accuracy over long term operation. Self-cleaning cycle is not tested due to the extensive time necessary for operation. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the range and cooktop, it is recommended that a complete evaluation be conducted prior to close.

- **Double Oven = Frigidaire**
- **model# = FFET3025PSC**
- **serial# = AF51102904**
- **The Double Oven is electric.**
- **Ovens operated normally at the time of the inspection. Ovens were set to 350 degrees and temperature accuracy was within 25 degrees. Recommend following the manufacture care and maintenance instructions.**
- **Cooktop = Frigidaire**
- **model# = FGGC3045QSA**
- **serial# = 3F44802794**
- **The Cooktop is gas powered.**
- **The service valve for the cooktop gas line is located in the lower cabinet to the left of the unit.**
- **The cooktop functioned as intended at the time of the inspection. Recommend following the manufacture care and maintenance instructions.**
- **Double oven is not properly secure in place at the time of the inspection.**
- **The upper oven light is inoperable and/or expired at time of the inspection. Recommend changing bulb and testing function.**



Gas line service valve within cabinet



Double oven not secure in place



Oven light inoperable

 E. Microwave Ovens

Comments: Microwaves are tested for heating only using normal operating controls. Microwaves are not tested for leaks and/or efficiency. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the microwave, it is recommended that a complete evaluation prior to close.

- **Microwave = Frigidaire**
- **model# = FFMV164LSA**
- **serial# = KG42812880**
- **Microwave Oven operated normally at the time of the inspection. Recommend following the manufacture care and maintenance instructions.**

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

F. Mechanical Exhaust Vents and Bathroom Heaters

Comments: Exhaust fans must discharge to the building exterior through a proper exhaust vent dampered/weather protected hood. Terminating exhaust vents in attic is prohibited. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the exhaust fans, it is recommended that a complete evaluation be conducted prior to close.

- Exhaust fans terminated to the exterior as intended at the time of the inspection. Bathroom heaters were not present at the time of the inspection.
- Exhaust fan within master bathroom did not function at the time of the inspection.



Exhaust fan not functioning

G. Garage Door Operators

Door Type:

- Sectional door

Comments: It is important to keep all safety/pressure sensitivity components in proper adjustment and in good working order. Units should have electric eye sensors. It is recommended that you consider upgrading your unit if these are not present. Recommend reprogramming remote door opening controls upon move in. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the garage door system, it is recommended that a complete evaluation be conducted prior to close.

- Garage door opener operated normally at the time of the inspection. Recommend following the manufacture care and maintenance instructions.
- Eye beam system is present and operating as intended at the time of the inspection.

H. Dryer Exhaust Systems

Comments: Interior of vent pipes are not within the scope of an inspection, and are not tested for air flow. Inspection of Dryer Vent is of visual components only. If items are marked in Red, marked as "Deficient", and/or should you have concern regarding the dryer vent, it is recommended that a complete evaluation be conducted prior to close.

- *Visually inspected accessible areas of the dryer vent only. Dryer exhaust flow is not tested. Vent terminates at the exterior right elevation of the home. Recommend periodically cleaning lint from dryer vent pipe.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Dryer vent termination

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I. Other

Comments:

- Refrigerator - Samsung
- model# = RF261BEAESR
- serial# = JKkk4BBG300452P
- *Visual inspection of the refrigerator components only. Testing the refrigerator is beyond the scope of the inspector. The unit appeared to be installed and cooling as required at the time of the inspection. Recommend testing prior to closing on home to ensure the refrigerator functions properly. No leaks were observed.
- Washing machine and/or dryer were not present at the time of the inspection.

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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VI. OPTIONAL SYSTEMS

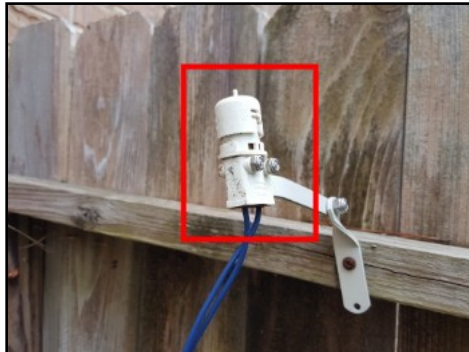
A. Landscape Irrigation (Sprinkler) Systems

Comments: Sprinkler systems if not properly installed and adjusted to provide uniform and proper levels of moisture content in the soil, can lead to differential foundation movement. If the sprinkler system is inspected as part of this inspection, system is tested in the manual mode only. Water spray from the sprinkler system should be directed away from the structure and any decks, fences, or outbuildings. It is unknown if a check valve is installed at the water meter to prevent the sprinkler water from entering the main potable water system. If items are marked in Red, marked as "Deficient", and/or should you have any concern regarding the sprinkler system, it is recommended a complete evaluation be conducted prior to close.

- ***Visual inspection of the irrigation system components only due to the damaged anti-siphon device at the time of the inspection.**
- **Sprinkler Control Box = Hunter**
Zones = Unknown
- **The irrigation main shut off valves and anti-siphon device is located on the left elevation of the home. The irrigation control panel is located in the garage.**
- **Testing the rain sensor is beyond the scope of the inspection.**
- **Coverage of sprinkler heads next to structure, driveway, sidewalks, and fencing should be adjusted so they do not spray directly on these areas.**
- **Irrigation anti-siphon device is cracked/damaged and leaking when valve is turned to open position. Recommend complete system evaluation and repairs made by a licensed irrigation technician prior to closing on the home.**



Main irrigation valves/anti-siphon device



Rain sensor not tested



Anti-siphon device cracked/leaking

B. Swimming Pools, Spas, Hot Tubs, and Equipment

Type of Construction:
Comments: If the swimming pool is inspected as part of this inspection, the swimming pool timers are inspected in the manual mode only.

- **Pool and or spa are not present at the time of the inspection.**

C. Outbuildings

Materials:
Comments:

- **Out buildings are not present at the time of the inspection.**

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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D. Private Water Wells (A coliform analysis is recommended)

Type of Pump:
 Type of Storage Equipment:
 Comments: If a private water well is present, a coliform analysis is recommended.
 • **Water well is not present at the time of the inspection.**

E. Private Sewage Disposal (Septic) Systems

Type of System:
 Location of Drain Field:
 Comments:
 • **Septic system is not present at the time of the inspection.**

F. Other

Comments:
 • **Insect repellent system is not within the scope of the inspection. Recommend consulting with the seller regarding the proper operation and maintenance schedule.**
 • **Alarm and/or security system is not within the scope of this inspection. Recommend consulting with the seller regarding proper operation and maintenance schedule.**
 • **Low voltage wiring and/or stereo equipment located at various locations of the home and attic space are not within the scope of this inspection. Recommend consulting with the seller regarding proper operation and maintenance schedule.**



Not within scope of inspection



Not within scope of inspection



Not within scope of inspection



Not within scope of inspection

Report Summary

STRUCTURAL SYSTEMS

Page 4 Item: A	Foundations	<ul style="list-style-type: none"> • Post tension cable is not properly sealed at the left elevation foundation wall. It is recommended to seal/patch this with a non shrinking epoxy grout to prevent corrosion of cables. Check all. • Exposed "fixed end" of the tension cable at the rear left corner of the foundation at the time of the inspection. It is recommended to seal/patch this with a non shrinking epoxy grout to prevent corrosion of cables/material. Check all.
Page 5 Item: B	Grading & Drainage	<ul style="list-style-type: none"> • Excessive moisture and/or standing water was observed at the left elevation, rear right elevation, and the rear left elevation of the property at the time of the inspection. The grading should promote the flow of storm water away from the foundation and off the lot in a timely manner. Some options might be but not limited to: gutters, improved swale, surface drains, french drains, or sub surface drains.
Page 7 Item: C	Roof Covering Materials	<ul style="list-style-type: none"> • Observed vegetation debris such as leaves and/or pine needles on the roof covering that should be removed as needed. Check all.
Page 8 Item: D	Roof Structures and Attics	<ul style="list-style-type: none"> • Roof deflection observed at the front elevation of the home at the time of the inspection. This is most likely due to damaged rafter and/or roof decking at this location.
Page 9 Item: E	Walls (Interior and Exterior)	<ul style="list-style-type: none"> • Deteriorated siding material/window trim at the upper rear elevation of the home. Minor caulk and paint touch ups needed at exterior of the home. Recommend sealing all gaps and/or voids in siding material. All exposed nail heads securing siding material to structure should be sealed as needed. Check all. • Seal around all plumbing fixtures in showers and/or tubs. Recommend sealing all corners of shower tile and where tile meets tub/shower pan as needed. Check all.
Page 11 Item: G	Doors (Interior and Exterior)	<ul style="list-style-type: none"> • Seal exterior door thresholds and at bottom of door jambs/trim to limit moisture/insect intrusion. Check all. • Front door rubs on frame and is difficult to open and close. • Missing strike plate at the master bathroom at the time of the inspection. Recommend adjusting doors so they are tight against strike plate when closed. Check all.
Page 12 Item: H	Windows	<ul style="list-style-type: none"> • Seal failure appears to have occurred at the upper front left elevation window (upstairs secondary bedroom) at the time of the inspection. Check all. • Vinyl window weep hole covers are missing and/or damaged (missing flapper) at various locations of the home. Check all. • Upstairs front left bedroom window sill is not properly secure in place at the time of the inspection. Check all.
Page 13 Item: I	Stairways (Interior and Exterior)	<ul style="list-style-type: none"> • The staircase/railing spindles and/or spindle bases are not properly secure in place at various locations at the time of the inspection. Check all.
Page 13 Item: J	Fireplaces and Chimneys	<ul style="list-style-type: none"> • Gas line entering fireplace is not sealed. Recommend sealing with a high temperature, non flammable material.
Page 14 Item: L	Other	<ul style="list-style-type: none"> • Fence pickets are damaged and/or cracked and are in need of repair at various locations of the property at the time of the inspection. Check all.

ELECTRICAL SYSTEMS

Page 17 Item: B	Branch Circuits, Connected Devices, and Fixtures	<ul style="list-style-type: none"> • Missing receptacle cover plate within the garage at the time of the inspection. Check all. • Light fixture is not functioning and/or the light bulbs are expired/missing at various locations of the home. LOCATIONS include but are not limited to: under cabinet light, utility room, master bedroom closet. Recommend changing bulbs and checking function of light fixture. Check all. • Under cabinet light fixture near the kitchen pantry is missing at the time of the inspection. Check all. • Kitchen pantry light fixture is missing the protective globe at the time of the inspection. Check all. • Living room three way circuit is not wired properly at the time of the inspection. The two switches have to be a certain position for them to function properly. Light switches should work independently of one another. • Furnace wire connection junction box is missing cover plate at the time of the inspection.
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HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

Page 21 Item: C	Duct System, Chases, and Vents	<ul style="list-style-type: none"> • HVAC air filters are dirty at the time of inspection and may be straining the system. Recommend replacing air filters upon moving in and as required/needed. Check all.
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PLUMBING SYSTEM

Page 22 Item: A	Plumbing Supply, Distribution Systems and Fixtures	<ul style="list-style-type: none"> • Missing back flow preventer at exterior hose bibs at the time of the inspection. Today's standards require Anti-siphon devices (back flow preventer) installed on all exterior hose bibs. Check all. • Fixture handle is not properly secure in place at the powder bathroom vanity at the time of the inspection.
Page 23 Item: B	Drains, Wastes, and Vents	<ul style="list-style-type: none"> • Main sewer line clean out was not located at the time of the inspection. Main sewer clean out is possibly blocked by vegetation and/or covered by mulch/grading. Recommend consulting with the seller and/or licensed plumber regarding exact location prior to closing on the home. • Drain-stop is not present at the powder bathroom vanity at the time of the inspection.
Page 25 Item: E	Other	<ul style="list-style-type: none"> • Exposed exterior gas piping not protected from corrosion at the time of the inspection. Where passing through an outside wall, the exposed gas line should be protected against corrosion by coating or wrapping with an approved material. Recommend repairing and monitoring for further corrosion/deterioration. • Sediment trap for the furnace gas line is installed against the attic floor decking making the cap difficult to be removed for future service.

APPLIANCES

Page 26 Item: B	Food Waste Disposers	<ul style="list-style-type: none"> • Food Waste Disposer makes an irregular noise while powered on at the time of the inspection. This is most likely due to debris present within the unit at the time of the inspection.
Page 26 Item: C	Range Hood and Exhaust Systems	<ul style="list-style-type: none"> • Range hood vent duct is not connected/sealed within the cabinet at the time of the inspection. Recommend adding proper sealant tape to vent duct to repair seal/close gap.
Page 27 Item: D	Ranges, Cooktops, and Ovens	<ul style="list-style-type: none"> • Double oven is not properly secure in place at the time of the inspection. • The upper oven light is inoperable and/or expired at time of the inspection. Recommend changing bulb and testing function.
Page 28 Item: F	Mechanical Exhaust Vents and Bathroom Heaters	<ul style="list-style-type: none"> • Exhaust fan within master bathroom did not function at the time of the inspection.

OPTIONAL SYSTEMS

Page 30 Item: A	Landscape Irrigation (Sprinkler) Systems	<ul style="list-style-type: none"> • Irrigation anti-siphon device is cracked/damaged and leaking when valve is turned to open position. Recommend complete system evaluation and repairs made by a licensed irrigation technician prior to closing on the home.
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