

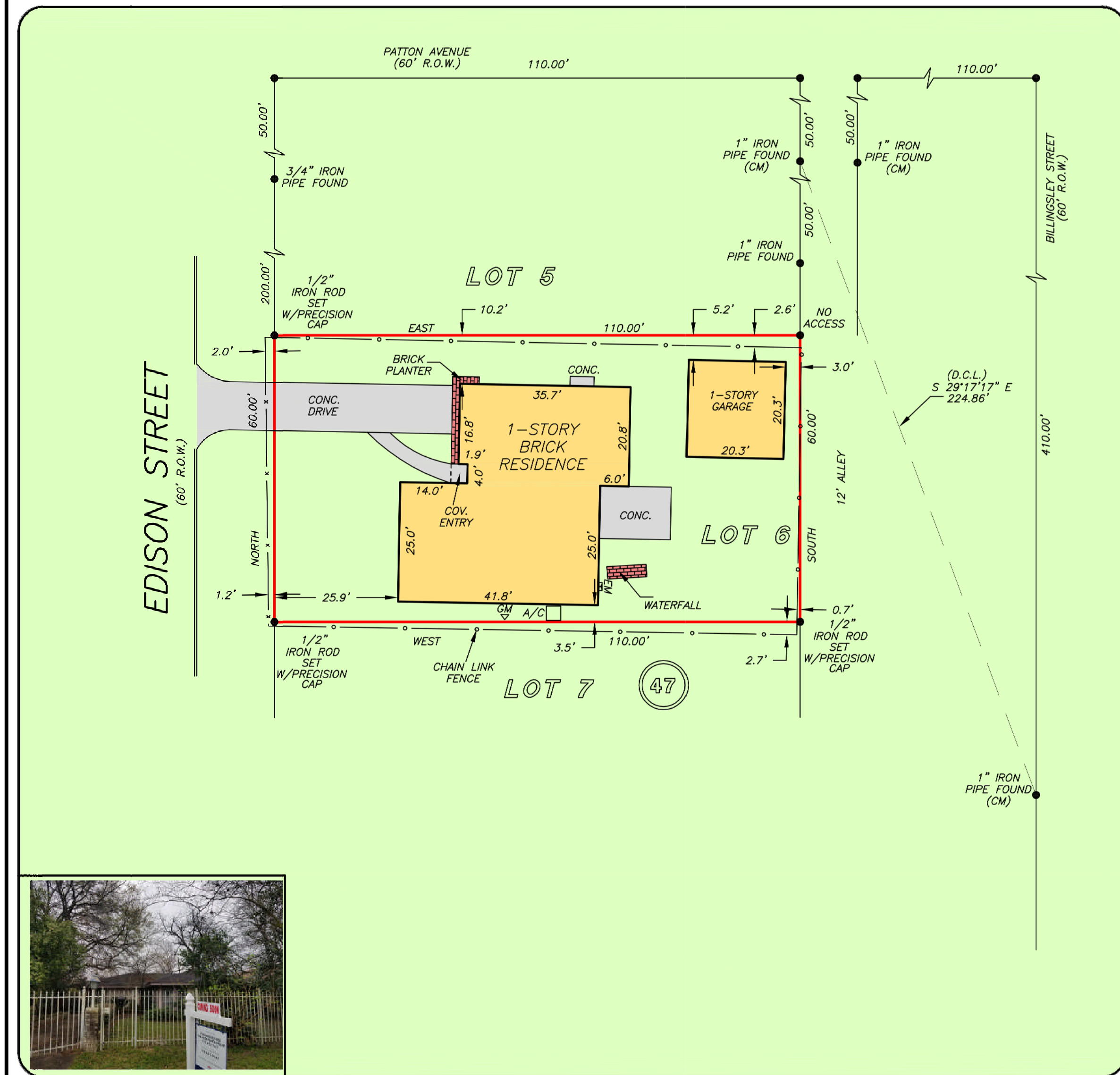
RESIDENCE:	PROJECT DESCRIPTION:
LEGAL DESCRIPTION: <u>LOT 6, BLOCK 47 IRVINGTON ADDITION</u>	AREA: <u>412 SQFT</u>
ADDRESS / LOCATION: <u>4024 EDISON</u>	LOT AREA: <u>1560 SQFT</u>
CITY / STATE: <u>HOUSTON, TEXAS 77006</u>	BEDROOMS: <u>STUDIO</u>
BUILDING CODES:	GARAGE: <u>N/A</u>
CITY CODE: <u>IRC, 2012 WITH CITY AMENDMENTS</u>	FRAME: <u>WOOD</u>
ELECTRICAL CODE: <u>NEC 2020</u>	STORIES: <u>1</u>
PLUMBING CODE: <u>UPC, 2012 WITH CITY AMENDMENTS</u>	BATH: <u>1</u>
MECHANICAL CODE: <u>UMC, 2012 WITH CITY AMENDMENTS</u>	FIREPLACE: <u>NO</u>
OTHER: <u>2015 INTERNATIONAL ENERGY CONSERVATION CODE (WITH AMENDMENTS) AND 2012 IFC</u>	EXTERIOR: <u>SIDING</u>

GF NO. CTH-SEDT-CTT20718532 CHICAGO TITLE  
 ADDRESS: 4024 EDISON STREET  
 HOUSTON, TEXAS 77009  
 BORROWER: JOHN O'MEARA

**LOT 6, BLOCK 47  
 IRVINGTON ADDITION  
 (A.K.A. IRVINTON ADDITION)**

ACCORDING TO THE MAP OR PLAT THEREOF RECORDED  
 IN VOLUME 56, PAGE 93 OF THE DEED RECORDS  
 OF HARRIS COUNTY, TEXAS

SCALE: 1" = 30'



THIS PROPERTY DOES NOT LIE WITHIN THE 100 YEAR FLOOD PLAIN AS PER FIRM PANEL NO. 48201C 0690 IN MAP REVISION: 01/06/2017 ZONE X BASED ONLY ON VISUAL EXAMINATION OF MAPS. INACCURACIES OF FEMA MAPS PREVENT EXACT DETERMINATION WITHOUT DETAILED FIELD STUDY

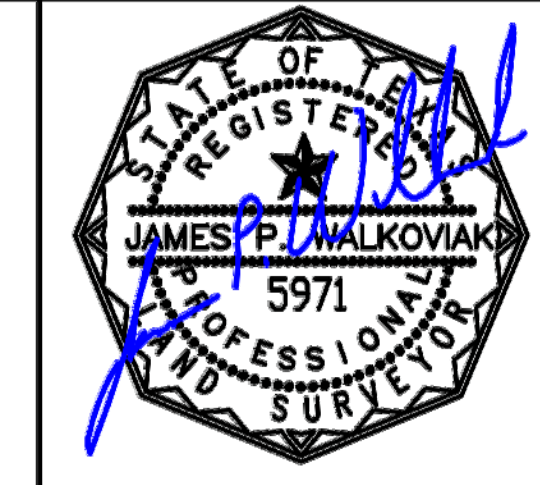
A SUBSURFACE INVESTIGATION WAS BEYOND THE SCOPE OF THIS SURVEY

D.C.L.=DIRECTIONAL CONTROL LINE  
 RECORDED BEARING: VOL. 56, PG. 93, H.C.D.R.

DRAWN BY: MM

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND, THAT THIS PLAT CORRECTLY REPRESENTS THE FACTS FOUND AT THE TIME OF SURVEY AND THAT THERE ARE NO ENCRoACHMENTS APPARENT ON THE GROUND, EXCEPT AS SHOWN HEREON. THIS SURVEY IS CERTIFIED FOR THIS TRANSACTION ONLY AND ABSTRACTING PROVIDED IN THE ABOVE REFERENCED TITLE COMMITMENT WAS RELIED UPON IN PREPARATION OF THIS SURVEY.

JAMES P. WALKOWIAK  
 PROFESSIONAL LAND SURVEYOR  
 NO. 5971  
 JOB NO. 20-01835  
 MARCH 03, 2020



**ANNIE ORTIZ**  
346-406-5973

1-800-LANDSURVEY  
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 980 THREADNEEDLE STREET SUITE 150 HOUSTON, TEXAS 77079 1777 NE LOOP 410 SUITE 600 SAN ANTONIO, TEXAS 78217  
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N.C.B.D.C.  
 NATIONAL COUNCIL OF  
 CERTIFIED SURVEYORS

Andra Judge  
 Surveyor No. 66280

**ROBERT O'MERA  
 RJO CONSTRUCTION  
 GARAGE APARTMENT  
 REMODEL PROJECT  
 4024 EDISON, HOUSTON TEXAS**

SHEETS:

A1.00	SURVEY AND NOTES
A2.00	FLOOR PLAN, ELEVATIONS, SECTIONS, DETAILS
E1.00	ELECTRICAL PLAN
S1.00	FRAMING PLANS AND DETAILS

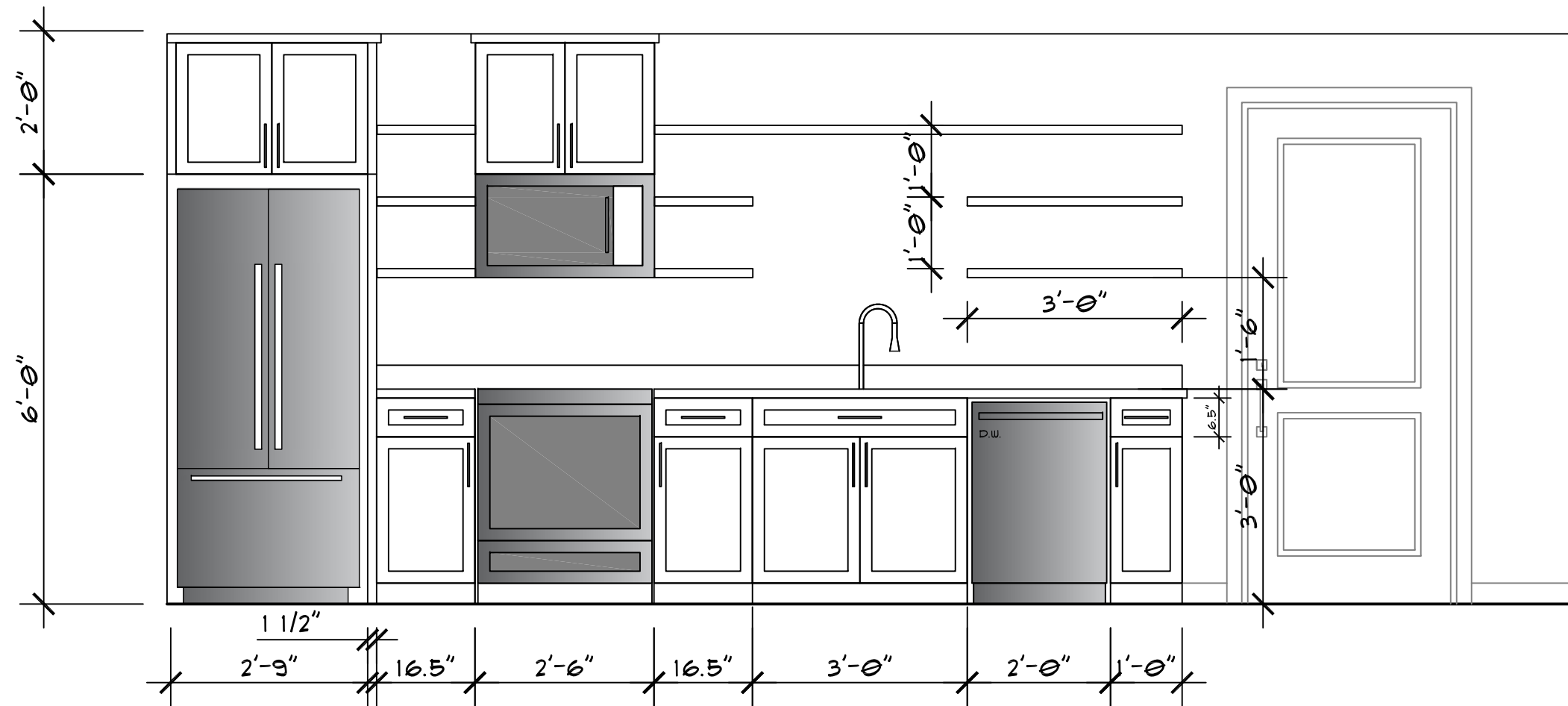
REVISION:

MARK:	DATE:	DESCRIPTION:

PROJECT NUMBER: \_\_\_\_\_  
 CAD DRAWING FILE: \_\_\_\_\_  
 DRAWN BY: A.J.  
 CHECKED BY: A.J.  
 DATE: 01-18-21

SHEET TITLE:  
**SURVEY-NOTES**

SHEET:  
**A1.00**

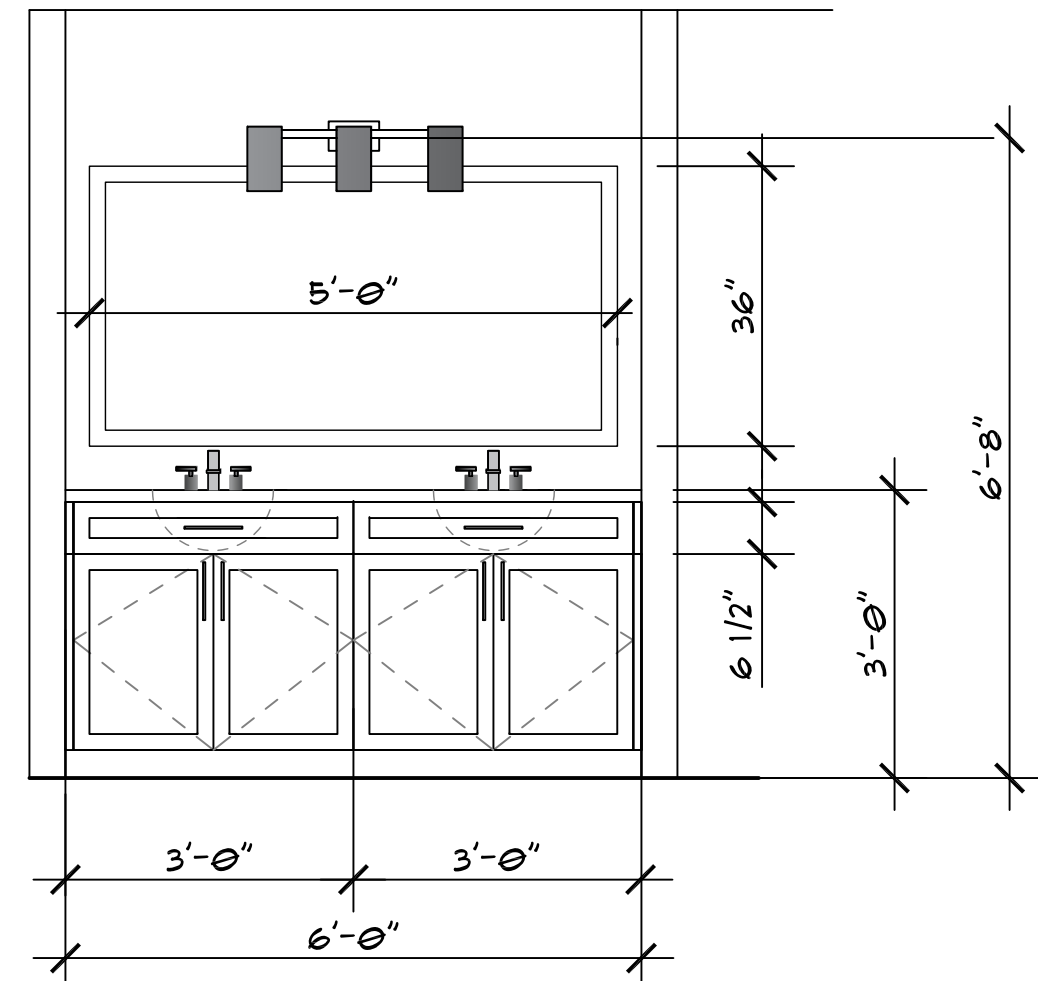


**INTERIOR ELEVATION 1**

SCALE: 1/2" = 1'-0"

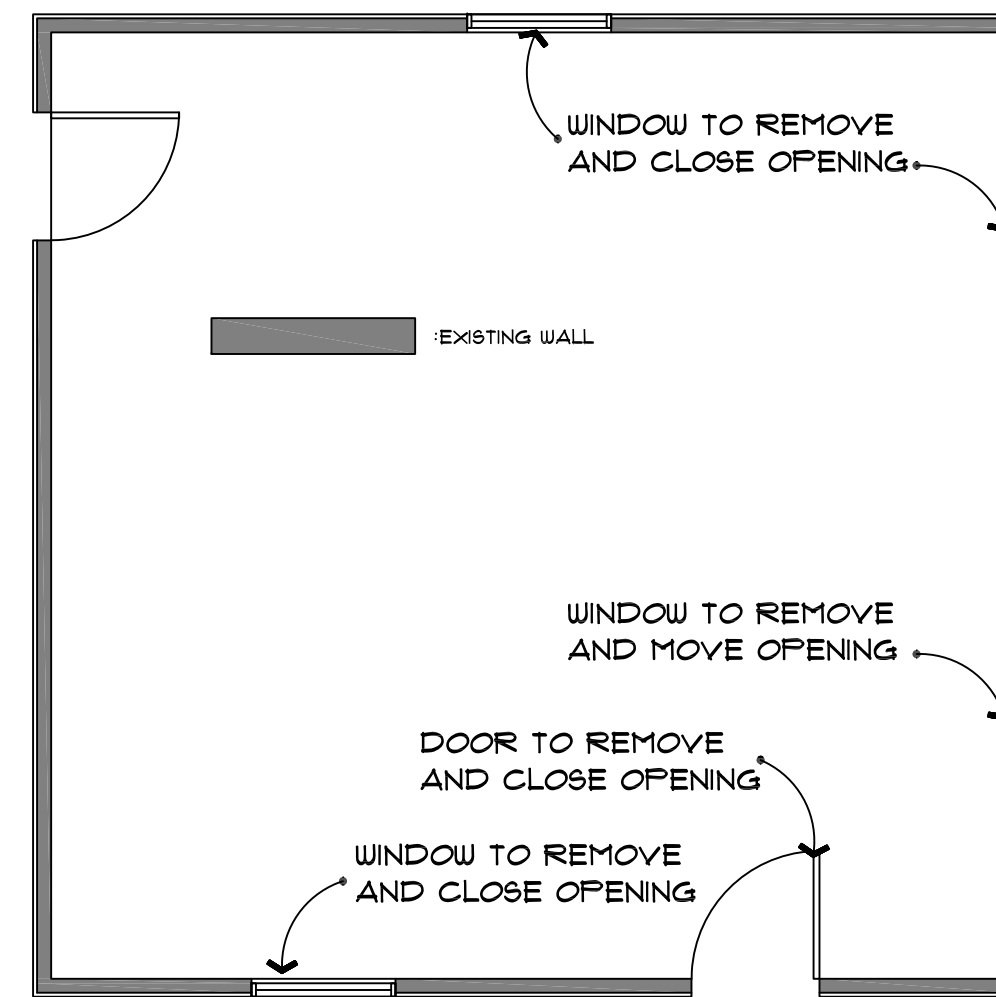
**WATERPROOFING AND MOISTURE CONTROL**

1. INSTALL METAL GUTTERS AND DOWNSPOUTS AT ALL HORIZONTAL FASCIAS SIZED TO COMPLY WITH LOCAL RAINFALL AVERAGES.
2. PROVIDE 24 GA. GALV. MTL FLASHING OVER ALL OPENING IN EXTERIOR WALL. SEAL HORIZONTAL AND VERTICAL DOORS AND WINDOW FLANGES TO SHEATHING WITH SELF ADHESIVE FLASHING.
3. CAULK PERIMETER ALL EXTERIOR WALL OPENINGS WITH SEALANT THAT REMAINS FLEXIBLE.
4. WHERE WOOD FRAMED WALLS ARE SUBJECTED TO WATER SPLASH, PROTECT FRAMING WITH WATERPROOF BUILDING PAPER.
5. FLASH ALL ROOF AND WALL INTERSECTIONS WITH 22 GA. GALV. MTL FLASHING.



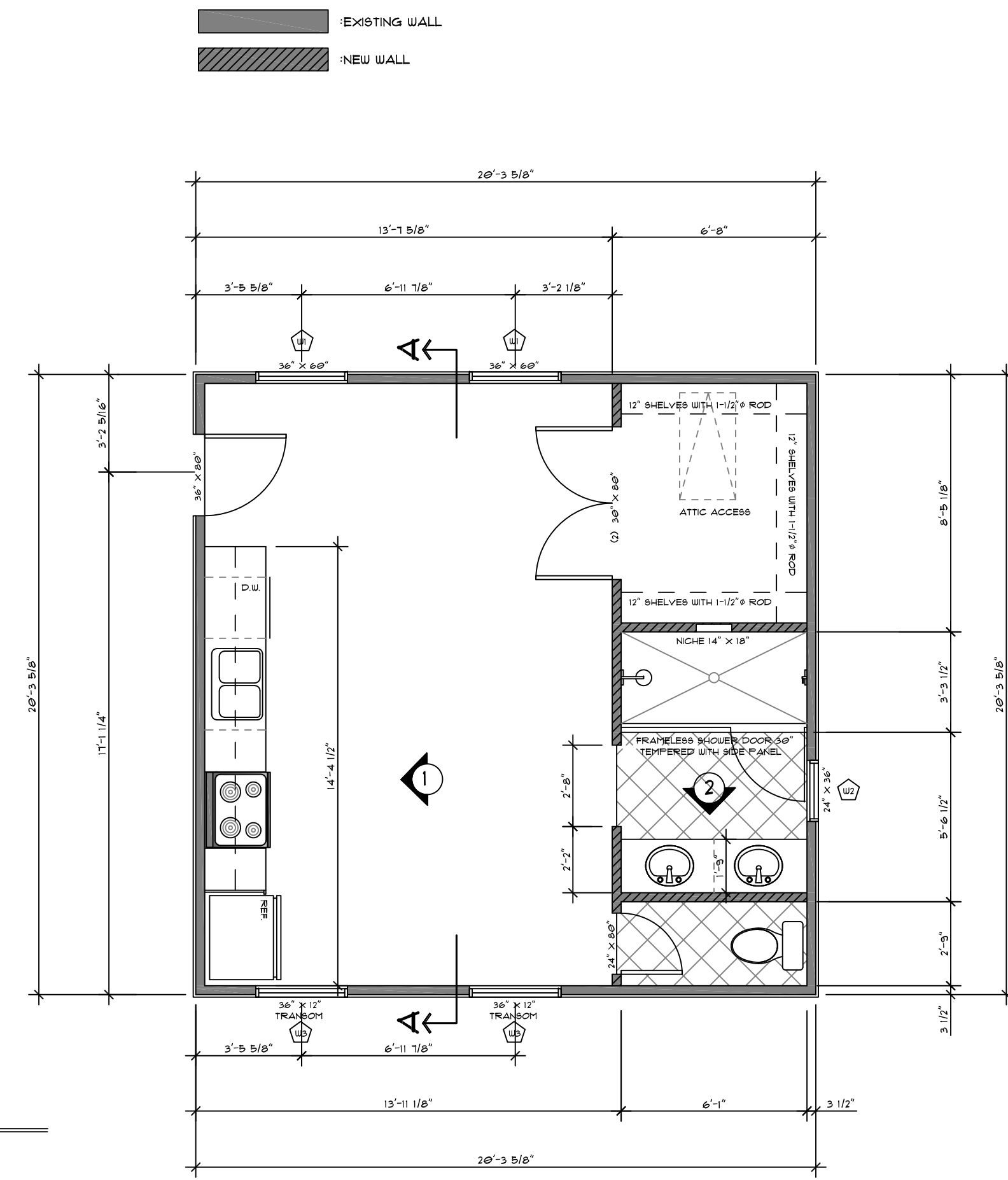
**INTERIOR ELEVATION 2**

SCALE: 1/2" = 1'-0"



**EXISTING FIRST FLOOR**

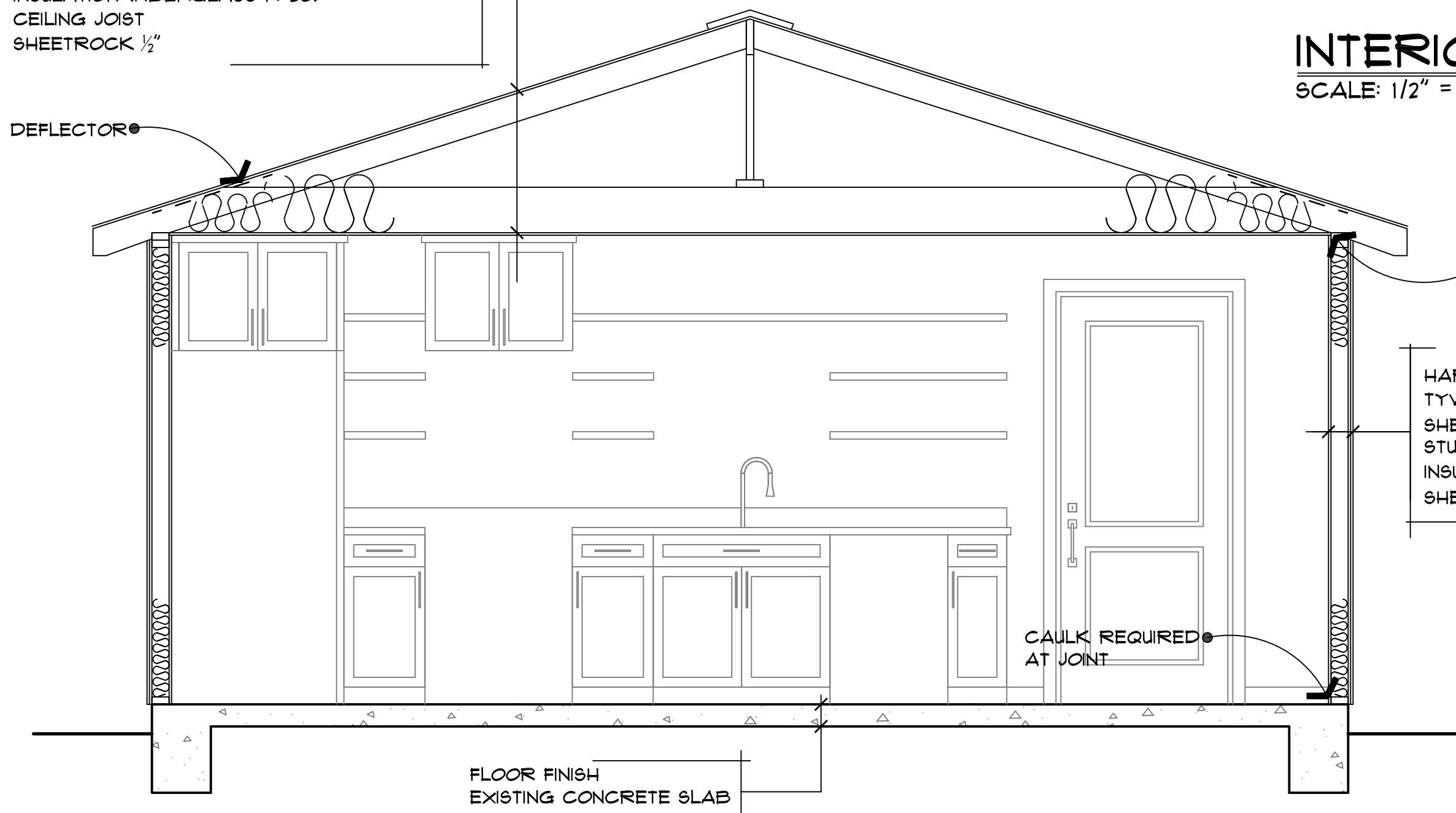
SCALE: 1/4" = 1'-0"



**PROPOSED FIRST FLOOR**

SCALE: 1/4" = 1'-0"

- ASPHALT SHINGLE #30
- ROOF UNDERLAYMENT (FELT PAPER 15# MIN.)
- OSB 5/8" TECHSHIELD
- RAFTER 2" X (SEE STRUCTURAL DWGS)
- INSULATION (FIBERGLASS R-30)
- CEILING JOIST
- SHEETROCK 1/2"



**SECTION A-A**

SCALE: 1/2" = 1'-0"

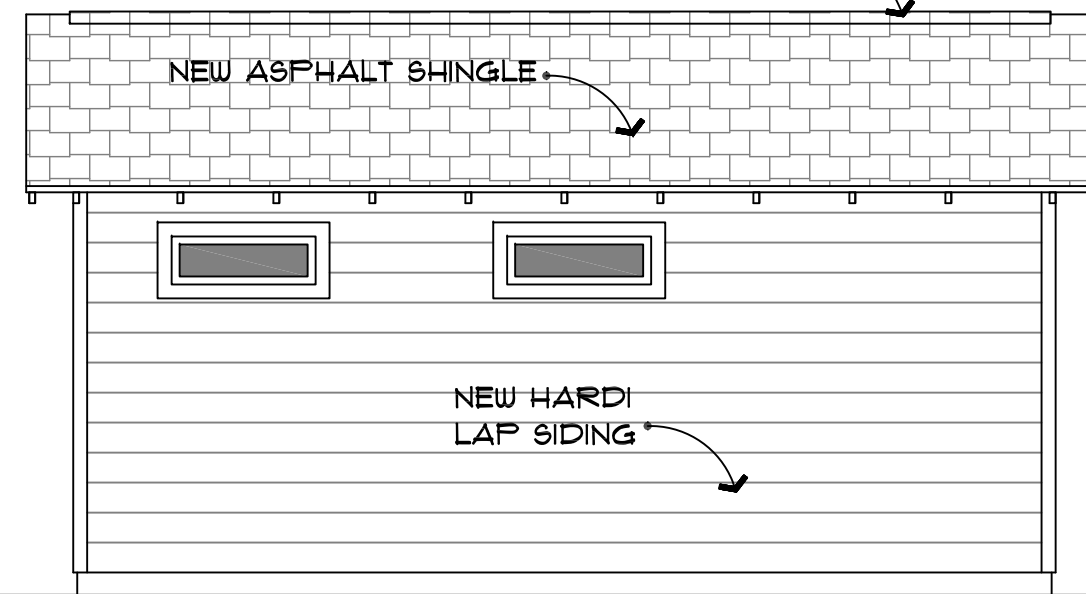
CAULK REQUIRED AT JOINT

- HARDI LAP SIDING
- TYVECK (WEATHER WRAP PAPER)
- SHEATHING 3/8" OR PLYWOOD 1/2"
- STUD 2" X 4" @ 24" O.C. (EXISTING)
- INSULATION (BATTS INSULATION FIBERGLASS R-13)
- SHEETROCK 1/2"

CAULK REQUIRED AT JOINT

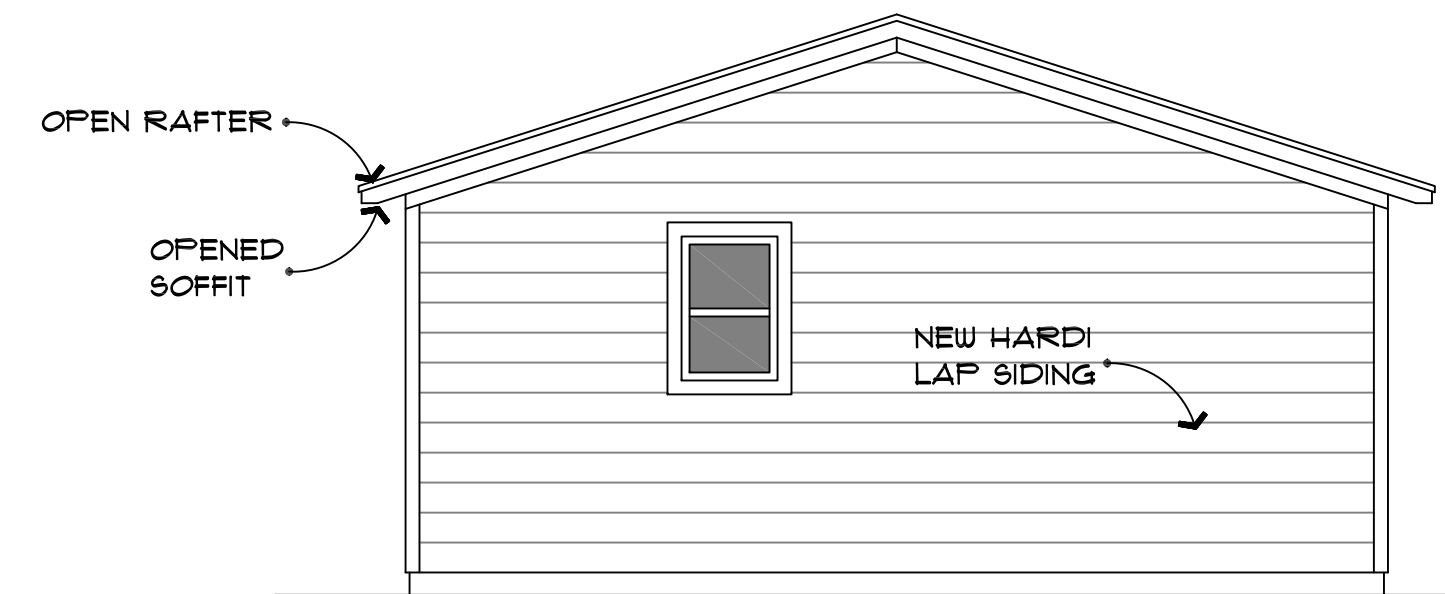
FLOOR FINISH  
EXISTING CONCRETE SLAB

RIDGE VENT  
(VENT SURE BY OWENS CORNING)



**NORTH ELEVATION**

SCALE: 1/4" = 1'-0"



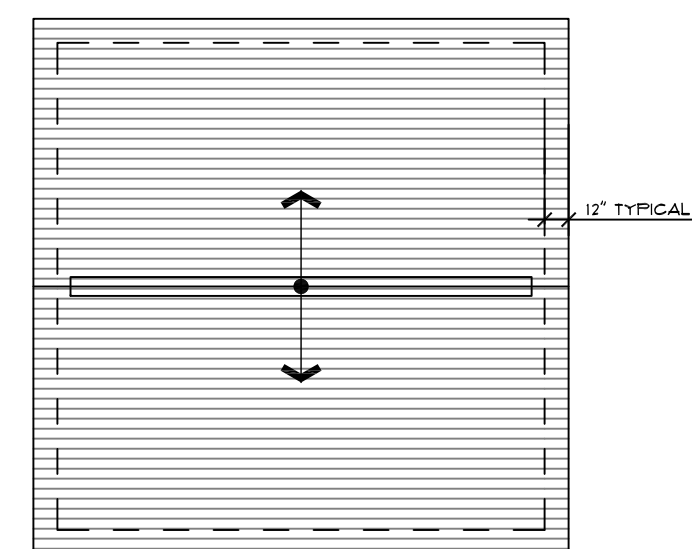
**EAST ELEVATION**

SCALE: 1/4" = 1'-0"

**WINDOW SCHEDULE**

MARK	SIZE	TYPE	HEADER HEIGHT	TEMPERED	COUNT	COMMENTS
⊕	36" X 60"	SINGLE HUNG	84"	NO	2	VNLY WINDOW "FLY GEM" COLOR WHITE
⊕	24" X 36"	SINGLE HUNG	84"	NO	1	VNLY WINDOW "FLY GEM" COLOR WHITE
⊕	36" X 12"	PICTURE	84"	NO	2	VNLY WINDOW "FLY GEM" COLOR WHITE

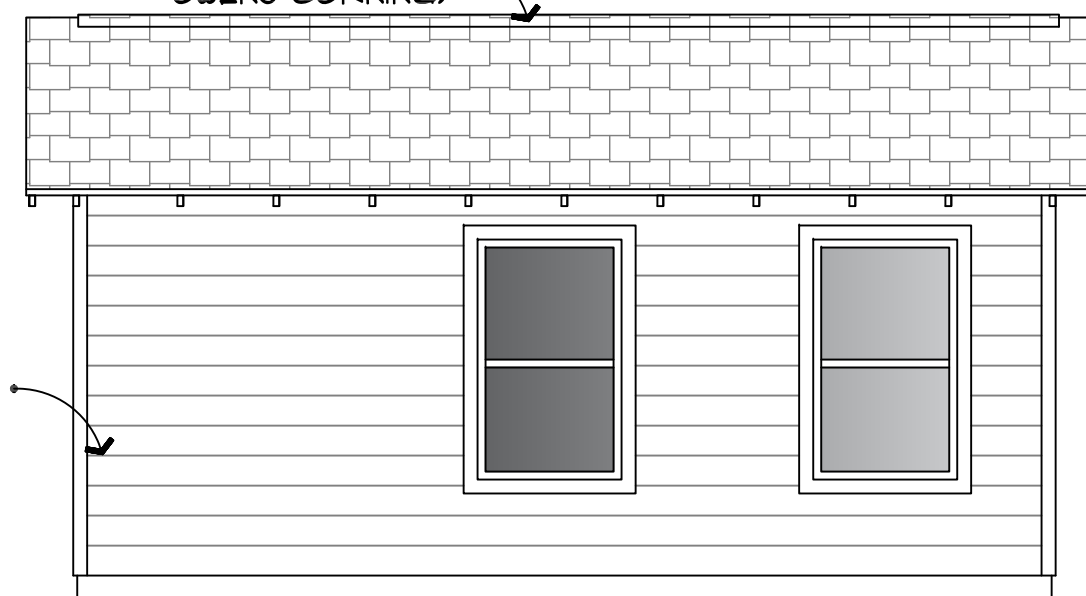
ALL WINDOWS MUST BE CURRENT ENERGY STAR RATED FOR SOUTHERN CLIMATE



**ROOF PLAN**

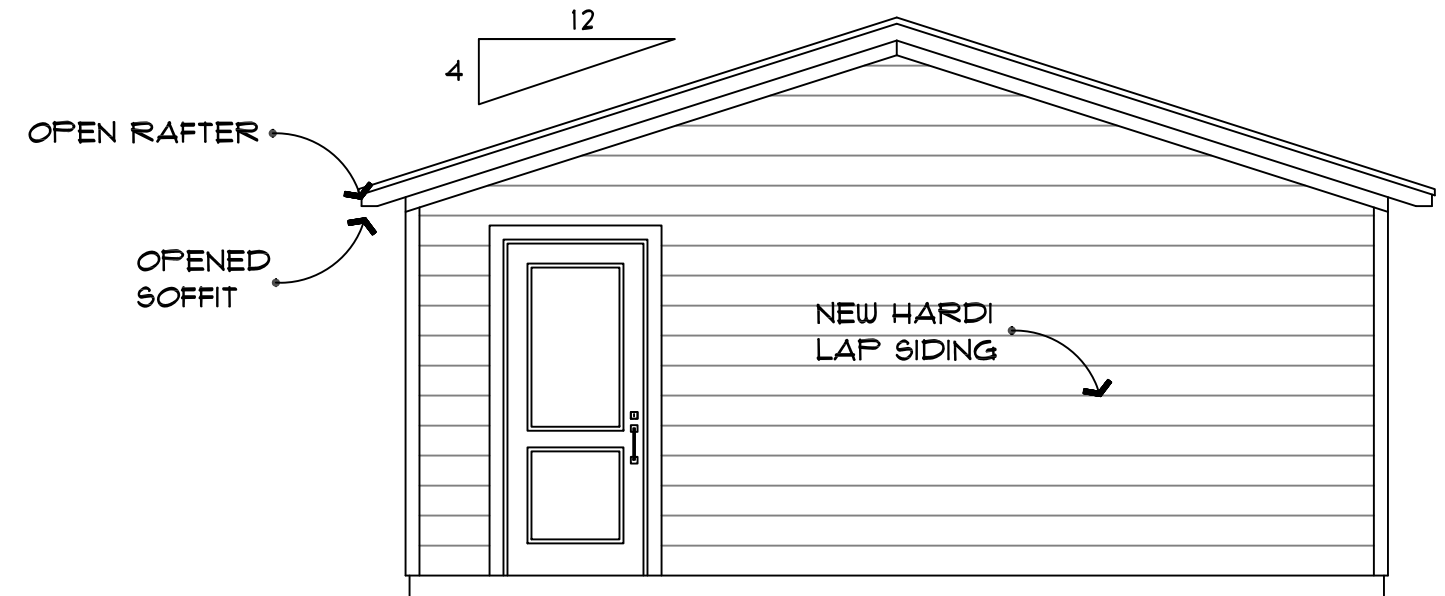
SCALE: 1/8" = 1'-0"

RIDGE VENT  
(VENT SURE BY OWENS CORNING)



**SOUTH ELEVATION**

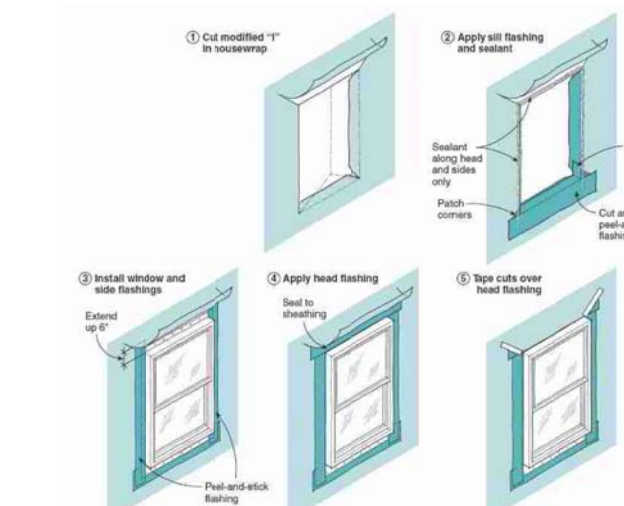
SCALE: 1/4" = 1'-0"



**WEST ELEVATION**

SCALE: 1/4" = 1'-0"

1. WINDOWS (ESCAPE AND RESCUE). R310.1 R310.2 AND R310.3 (EXCEPTION) 2018 IRC PLAN SHALL CLEARLY INDICATE THAT ALL ESCAPE OR RESCUE WINDOWS FROM SLEEPING ROOMS HAVE A MINIMUM NET CLEAR OPENING OF 57 SQUARE FEET. THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL NOT BE LESS THAN 20 INCHES, AND THE MINIMUM NET CLEAR HEIGHT DIMENSION SHALL NOT BE LESS THAN 24 INCHES. GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQUARE FEET.
2. WINDOWS ESCAPE AND RESCUE WINDOWS (SILL HEIGHT) R310.2.2 2018 IRC EMERGENCY ESCAPE AND RESCUE WINDOW SILL HEIGHT SHALL NOT BE MORE THAN 44" ABOVE THE FINISHED FLOOR.
3. ATTIC (ACCESS) R807.1 2018 IRC ATTIC ACCESS SHALL BE PROVIDED IN BUILDINGS WITH A COMBUSTIBLE CEILING ROOF CONSTRUCTION. AN ATTIC ACCESS OPENING SHALL BE PROVIDED TO ATTIC AREAS THAT EXCEED 30 SQFT AND HAVE A VERTICAL HEIGHT OF 30 INCHES OR GREATER. THE ROUGH OPENING SHALL NOT BE LESS THAN 22 INCHES BY 30" INCHES.
4. ATTIC STAIRWAY-004.10.3.3 2018 IRC (AMENDMENTS) AN ATTIC IN WHICH A WARM-AIR FURNACE IS INSTALLED SHALL BE PROVIDED WITH A PULL-DOWN STAIRWAY WITH A CLEAR OPENING OF NOT LESS THAN 22 INCHES IN WIDTH AND A LOAD CAPACITY OF NOT LESS THAN 350 POUNDS AND AN OBSTRUCTED PASSAGEWAY AS LARGE AS THE LARGEST PIECE OF THE FURNACE AND IN NO CASE LESS THAN 30X30 CONTINUOUS FROM THE OPENING TO THE FURNACE AND ITS CONTROLS.
5. STAIR (UNDER STAIR PROTECTION) 302.7 2018 IRC AMENDMENTS PROVIDE UNDER STAIR PROTECTION TO ENCLOSE ACCESSIBLE SPACE WITH 1/2" INCH GYPSUM BOARD.
6. STAIR (RISE, RUN) R311.7.5 2018 IRC STAIR MAXIMUM RISER HEIGHT SHALL BE 7 3/4" INCHES AND THE MINIMUM WIDTH FOR TREADS SHALL BE 10 INCHES.
7. LANDINGS AT DOORS R311.3.1 2018 IRC. THE FLOOR OR LANDING AT THE EXTERIOR DOOR SHALL NOT BE MORE THAN 1.5 INCHES LOWER THAN THE TOP OF THE THRESHOLD WHERE THE DOOR(S) SWING IN THE DIRECTION OF TRAVEL.



**WINDOW FLASHING**

N.T.S.

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RJO CONSTRUCTION  
GARAGE APARTMENT  
REMODEL PROJECT  
4024 EDISON, HOUSTON TEXAS

N.C.B.D.C.  
NATIONAL COUNCIL OF  
CERTIFICATION

Andre Julian  
certification no. 48-788

REVISION:

MARK:	DATE:	DESCRIPTION:

PROJECT NUMBER:  
CAD DRAWING FILE:  
DRAWN BY: A.J.  
CHECKED BY: A.J.  
DATE: 01-18-21

SHEET TITLE:  
**PLANS-ELEVATIONS-SECTION AND DETAILS**

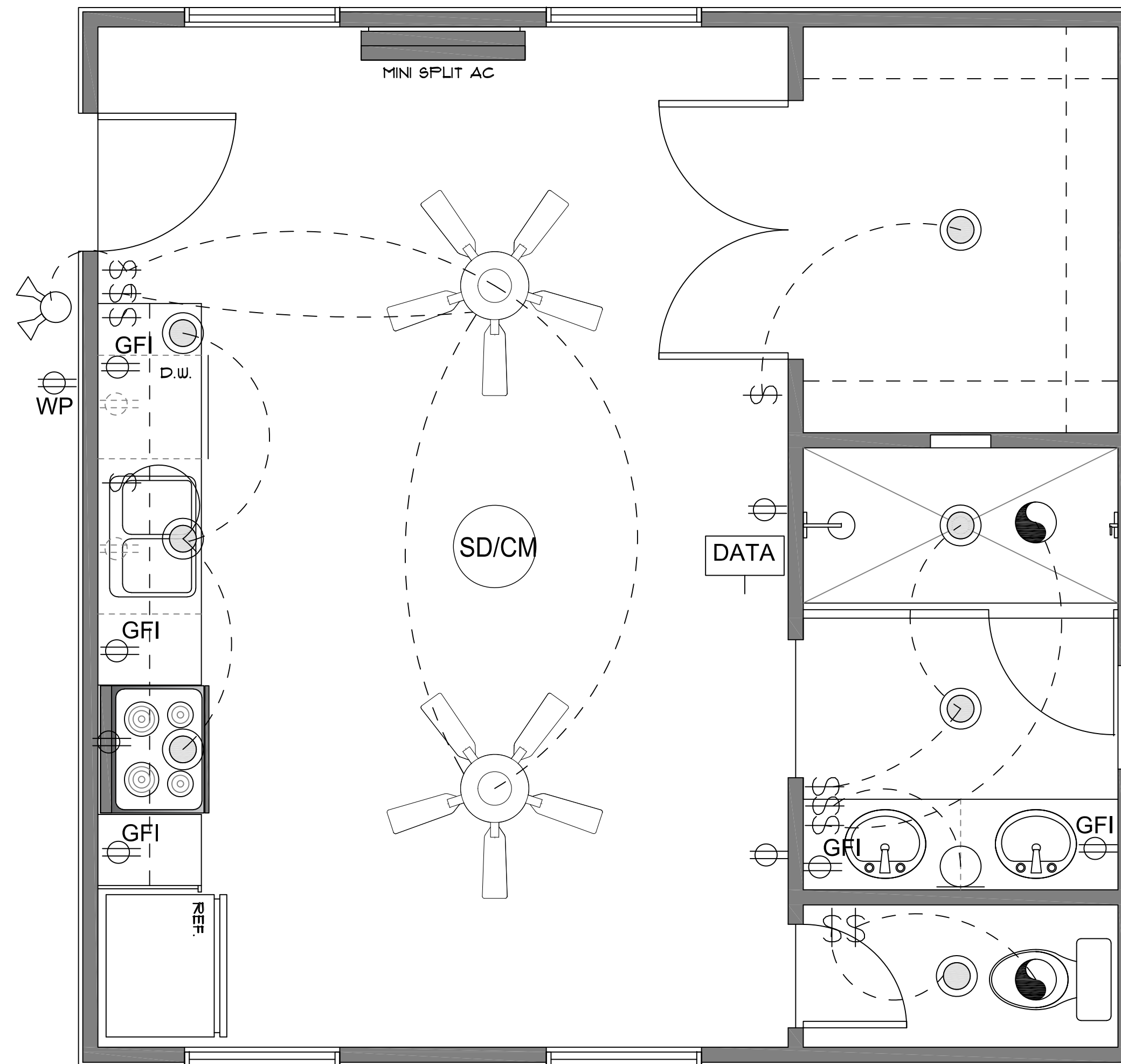
SHEET:  
**A2.00**

# ELECTRICAL LEGEND:

	110 VOLT RECEPTACLE		RECESSED LOW-VOLTAGE SPOTLIGHT
	110 VOLT W/ GROUND FAULT INTERRUPTION		WALL MOUNTED LIGHT FIXTURE
	110 VOLT @ CTRTOP (+39" HORIZONTAL)		WEATHER-PROTECTED WALL MOUNTED LIGHT FIXTURE
	110 VOLT WEATHER-PROTECTED RECEPTACLE		PULL-CHAIN WALL MOUNTED LIGHT FIXTURE
	110 VOLT 4-PLEX		SECURITY LIGHT WITH MOTION DETECTOR
	110 VOLT 1/2 SWITCHED		WALL RECESSED STAIR LIGHT
	220 VOLT RECEPTACLE		CLG-MTD, EXHAUST FAN
	110 VOLT FLOOR MOUNTED		WALL-MTD, EXHAUST FAN
	CABLE, TELEPHONE, INTERNET PORT		DOOR BELL CHIME
	SINGLE POLE SWITCH		DOOR BELL BUTTON
	THREE WAY SWITCH		GARAGE DOOR OPENER (PROVIDE SWITCH TO OUTLET)
	FOUR WAY SWITCH		ELECTRICAL PANEL
	DIMMER SWITCH		ELECTRICAL METER
	THREE WAY SWITCH W/ DIMMER		UNDER CABINET LIGHT
	FOUR WAY SWITCH W/ DIMMER		LED COVE LIGHT
	PUSH BUTTON		UNDER CABINET PLUG MOLD
	SMOKE DETECTOR		1'X2' FLUORESCENT LIGHT
	THERMOSTAT		1'X4' FLUORESCENT LIGHT
	FLUORESCENT CLG. MOUNTED FIXTURE		1'X6' FLUORESCENT LIGHT
	WEATHER PROTECTED CLG. MTD. FIXT.		CEILING FAN
	KEYLESS CEILING MOUNTED FIXTURE		CEILING FAN WITH LIGHT KIT
	HANGING / CEILING FIXTURE		MANUAL ALARM BOX WITH INSTALLATION HEIGHT
	RECESSED FIXTURE		EXIT LIGHT WITH INSTALLATION HEIGHT
	VAPOR-PROOF RECESSED FIXTURE		SECURITY KEYPAD
	WEATHER-PROTECTED RECESSED FIXT.		GATE AUTO LOCK & RELEASE
	RECESSED SPOTLIGHT		CHANDELIER (PER OWNERS SPECS)
	SMOKE DETECTOR, CARBON MONOXIDE COMBO		

## ELECTRICAL NOTES

- SMOKE DETECTORS REQUIRE A 110V CONNECTION TO HOUSE & SHALL BE HARD-WIRED & INTER-CONNECTED WITH BATTERY BACK-UP PER R314.4 OF 2012 IRC.
- PROVIDE GFCI OUTLETS WITHIN 24" OF SINKS IN GARAGES AND ALL OTHER WEATHERPROOF OUTLETS.
- INSTALL ALL COUNTER ELECTRICAL OUTLETS AT 40" AFF.
- INSTALL ALL FLOOR ELECTRICAL OUTLETS AT 12" AFF.
- PROVIDE LIGHTING IN ATTIC. LOCATE SWITCH NEAR (IF NOT OUTSIDE) ATTIC ACCESS.
- PROVIDE ELECTRICAL OUTLETS IN THE ATTIC OR MECHANICAL ROOM FOR HVAC EQUIPMENT & WATER HEATER. (PROVIDE GAS LINE FOR WATER HEATER)
- PROVIDE EXHAUST VENT AT ALL UTILITY ROOMS. IF THESE ROOMS HAVE A MEANS OF NATURAL VENTILATION TO OUTSIDE, EXHAUST VENT IS NOT NECESSARY. ALL FAN SHOULD BE ON TIMER.
- ALL EXHAUST VENT SHALL EXIT THROUGH THE ROOF DECKING AT A MINIMUM DISTANCE OF 5'-0" FROM ANY PROPERTY LINE. DRYER AND FIREPLACE VENTS MAY EXIT A NON-FIRE RATED EXTERIOR WALL.
- WHEN GARAGE DOOR OPENERS ARE INSTALLED, PROVIDE LOW VOLTAGE CIRCUIT SHUTOFF AND REVERSE SENSORS AT BOTH SIDES OF OVERHEAD DOOR.
- ELECTRICAL PANELS AND METERS 110.26A1 NEC 2020 SECTION 110.26A OF THE NATIONAL ELECTRIC CODE REQUIRES 36 INCHES CLEAR SPACE IN FRONT OF ELECTRICAL EQUIPMENT. THE CLEARANCE MUST BE 20 INCHES WIDE.



## ELECTRICAL PLAN PROPOSED

SCALE: 1/2" = 1'-0"

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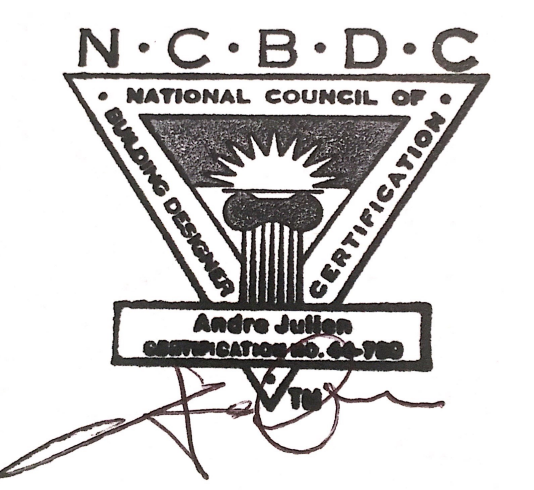
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GARAGE APARTMENT  
REMODEL PROJECT  
4024 EDISON, HOUSTON TEXAS



REVISION:		
MARK:	DATE:	DESCRIPTION:

PROJECT NUMBER:
CAD DRAWING FILE:
DRAWN BY: A.J.
CHECKED BY: A.J.
DATE: 01-18-21

SHEET TITLE:
<b>ELECTRICAL PLAN</b>

SHEET:
<b>E1.00</b>

**ROOF NOTES:**

1. ALL RAFTERS SHALL BE 2 X 6 @ 24" O.C. UNLESS NOTED OTHERWISE. COLLAR TIES SHALL BE 2 X 6 MIN. AT 32" O.C. LOCATED IN THE UPPER THIRD OF THE ATTIC AREA.
2. CONTRACTOR SHALL INSTALL ADEQUATE ATTIC VENTILATION BASED ON AN AREA 1/300 OF THE SPACE VENTILATED, PROVIDE 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTS IN THE UPPER PORTION OF THE ATTIC SPACE AT LEAST 36" ABOVE THE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR VENTS. CONTRACTOR TO INSTALL SOLAR ATTIC VENTS AS REQUIRED.
3. RAFTERS SHALL BE BRACED WITH PURLINS THE SAME SIZE AS THE RAFTERS THEY ARE SUPPORTING. PURLINS SHALL BE BRACED WITH MINIMUM 2 - 2 X 4 T-BRACES AT 48" O.C. MAX. ALL RAFTER SPLICES SHALL BE BRACED DOWN TO A LOAD BEARING WALL.
4. ALL HIPS, RIDGES, AND VALLEYS SHALL BE ONE MILL SIZE LARGER THAN THE LARGEST RAFTER THEY ARE SUPPORTING. PROVIDE 2 - 2 X 4 MIN. JACK POST SUPPORT DOWN TO LOAD BEARING WALL.
5. ALL BUILDING SHALL HAVE GUTTERS AND DOWNSPOUTS.

**HEADER:**

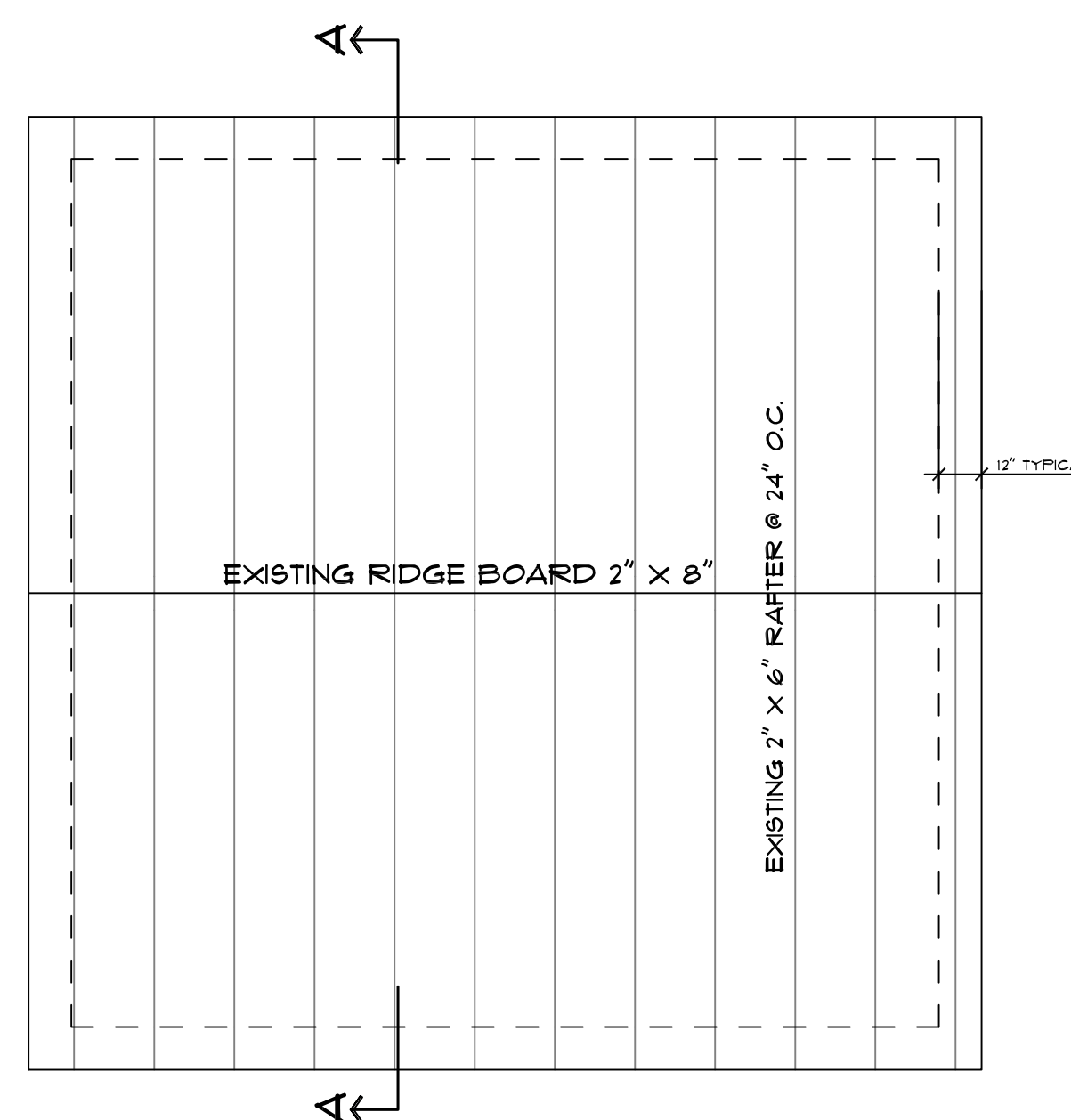
USE (2) 2" X 12" WITH 1/2" PLYWOOD (U.N.O.) FOR ALL FIRST FLOOR HEADER.

- (2) 2" X 6" MAXIMUM SPAN: 4'-6" L
- (2) 2" X 8" MAXIMUM SPAN: 6'-0" L
- (2) 2" X 10" MAXIMUM SPAN: 7'-0" L
- (2) 2" X 12" MAXIMUM SPAN: 9'-0" L

**NOTES:**

ALL EXTERIOR WALL TO BE CONTINUOUSLY SHEATHED WITH 1/2" OSB NAIL PATTERN 6/12 INCH EDGE/FIELD SPACING WITH 8 D NAILS 1/2" AB @ 48" C/C 1 INCH EMBEDMENT; 2 MIN. PER PLATE. ALL WOOD TO BE #2 SOUTHERN YELLOW PINE

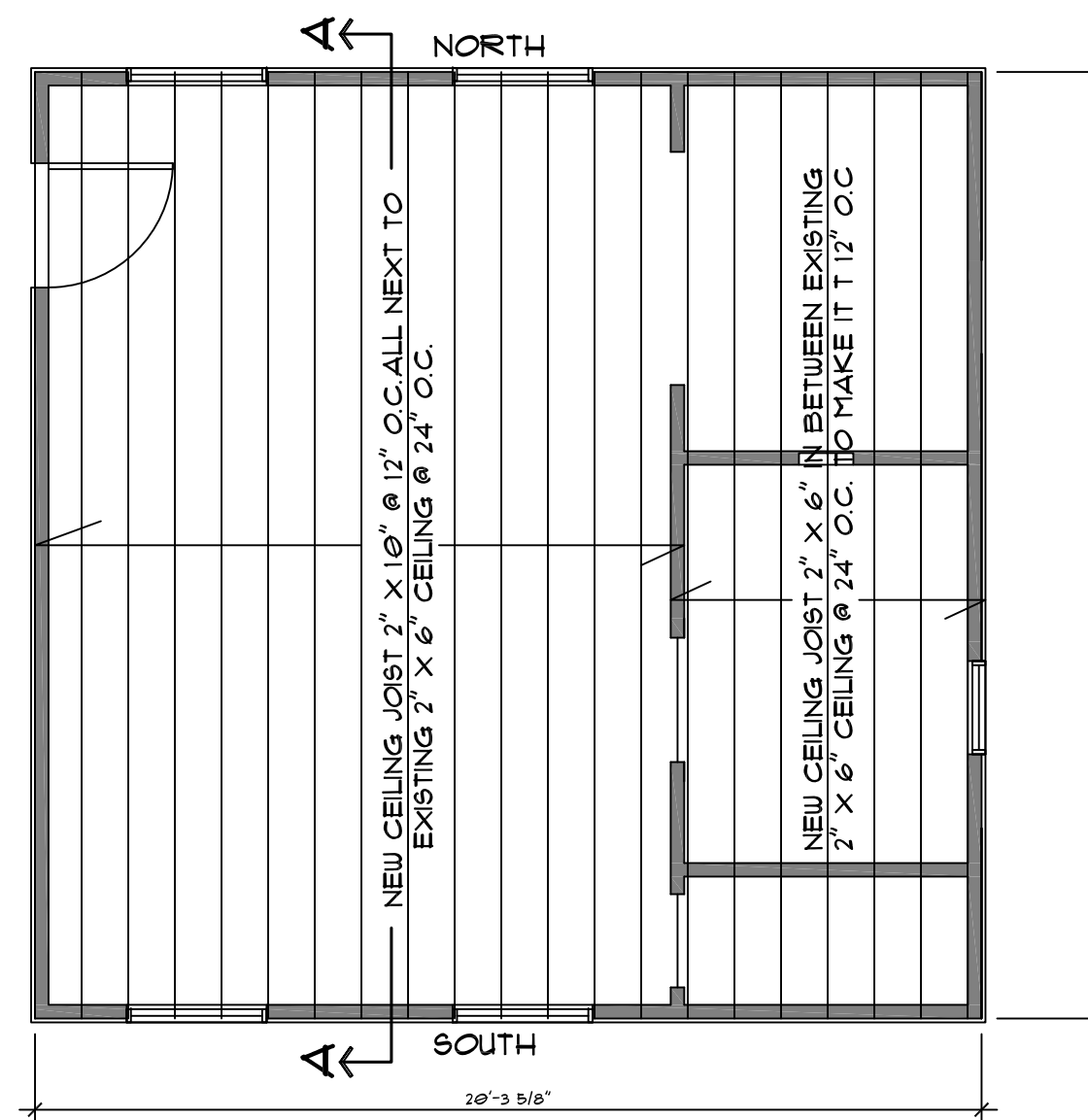
STRUCTURE IS DESIGNED TO WITHSTAND 110 MPH WIND SPEED WITH A 3 SEC. GUST AND PER IRC



**ROOF PLAN**

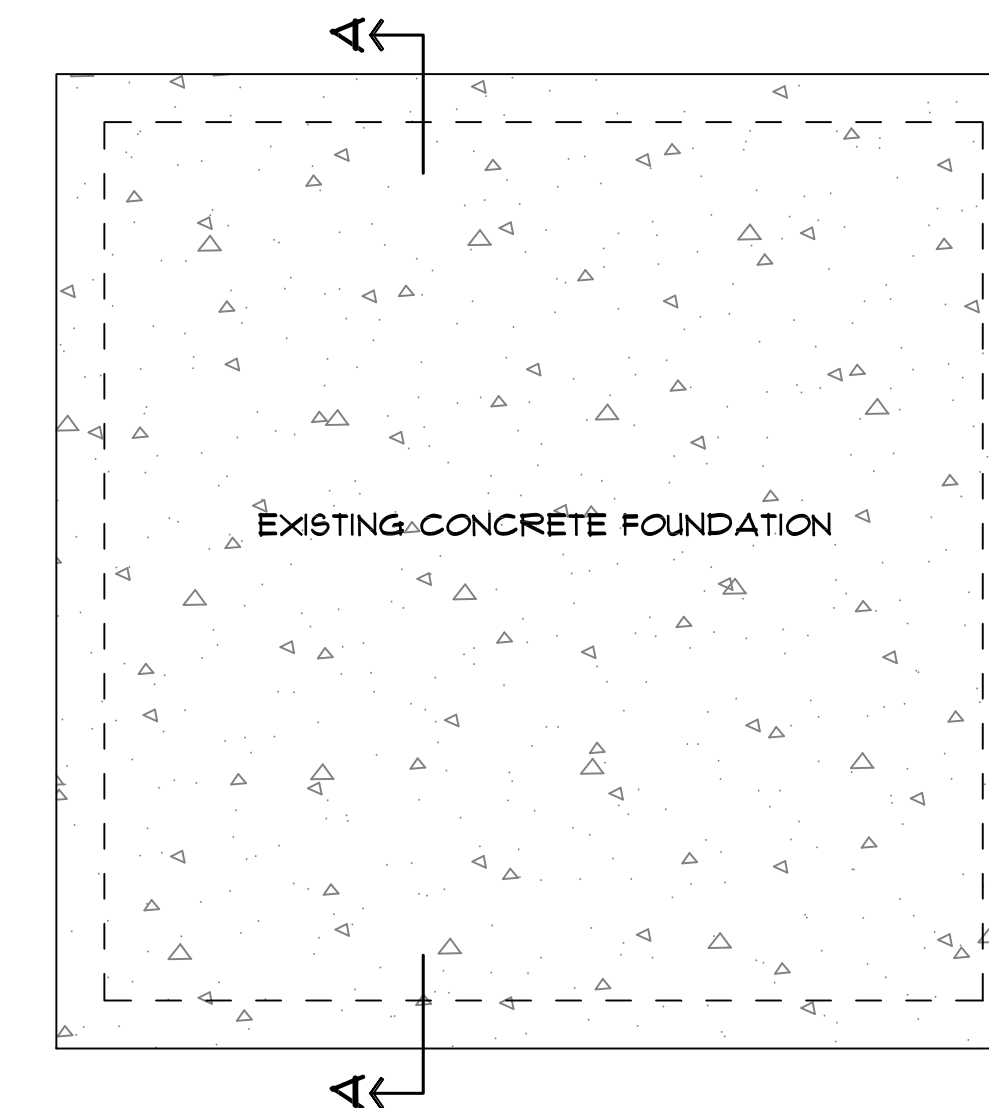
SCALE: 1/4" = 1'-0"

EXISTING 2" X 4" WALL STUD @ 24" O.C. ADD 2" X 4" IN BETWEEN EACH EXISTING STUD ON NORTH AND SOUTH WALL



**FIRST FLOOR FRAMING**

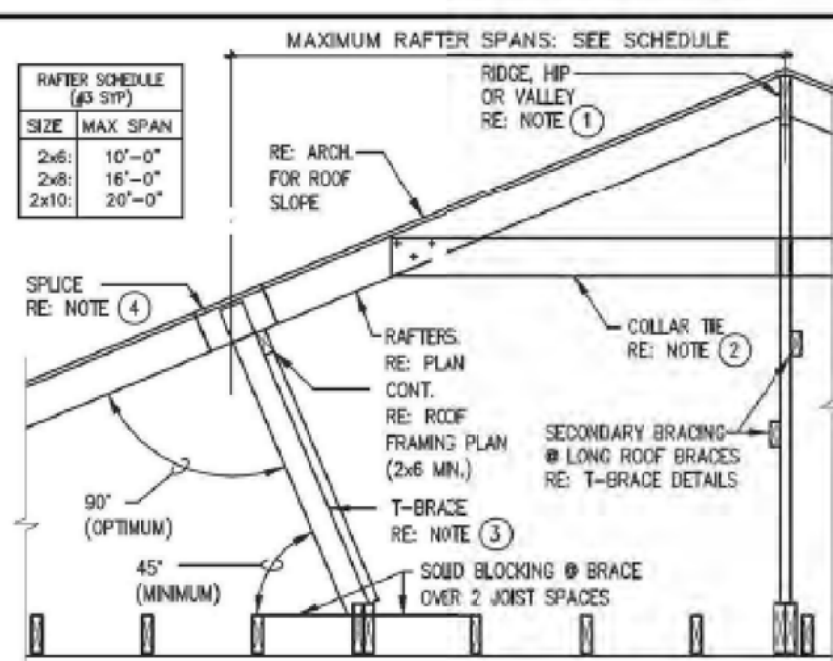
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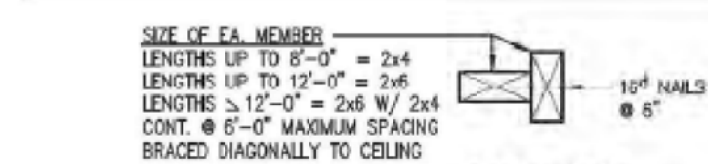
**EXISTING FOUNDATION**

SCALE: 1/4" = 1'-0"

**TYPICAL WOOD FRAMING DETAILS**



- CEILING JOISTS PERPENDICULAR TO RAFTERS**
- DETAIL KEYED NOTES**
1. RIDGE BEAM, HIP RAFTER, OR VALLEY RAFTER DEPTH SHALL BE THE LARGER OF THE FOLLOWING:
    - A. ONE SIZE DEEPER THAN THE LARGEST RAFTER FRAMING INTO IT (2 X LUMBER)
    - B. DEPTH OF CUT END OF RAFTERS.
  2. COLLAR TIES
    - A. LOCATED @ UPPER ONE THIRD (1/3) OF ROOF @ EVERY THIRD RAFTER OR 5'-0" (WHICHEVER SMALLER).
  3. T-BRACE
    - A. RE: TYPICAL DETAILS BELOW
    - B. MAXIMUM SPACING AS FOLLOWS:
      - 4'-0" @ 2x4 CONT. PURLIN
      - 6'-0" @ RIDGE BEAM, HIP OR VALLEY RAFTER
    - C. BRACE SHALL BEAR ON AN INTERIOR WALL, BEAM OR STRONG-BACK (DOUBLE, 2 SIZES LARGER THAN JOIST) RE: FRAMING PLAN.
  4. SPURCE
    - A. LOCATE SPURCE OVER A PURLIN, OR PROVIDE ADDITIONAL BRACE @ SPURCE
    - B. MINIMUM LAP = 12" NAIL W/ 4-16d NAILS.

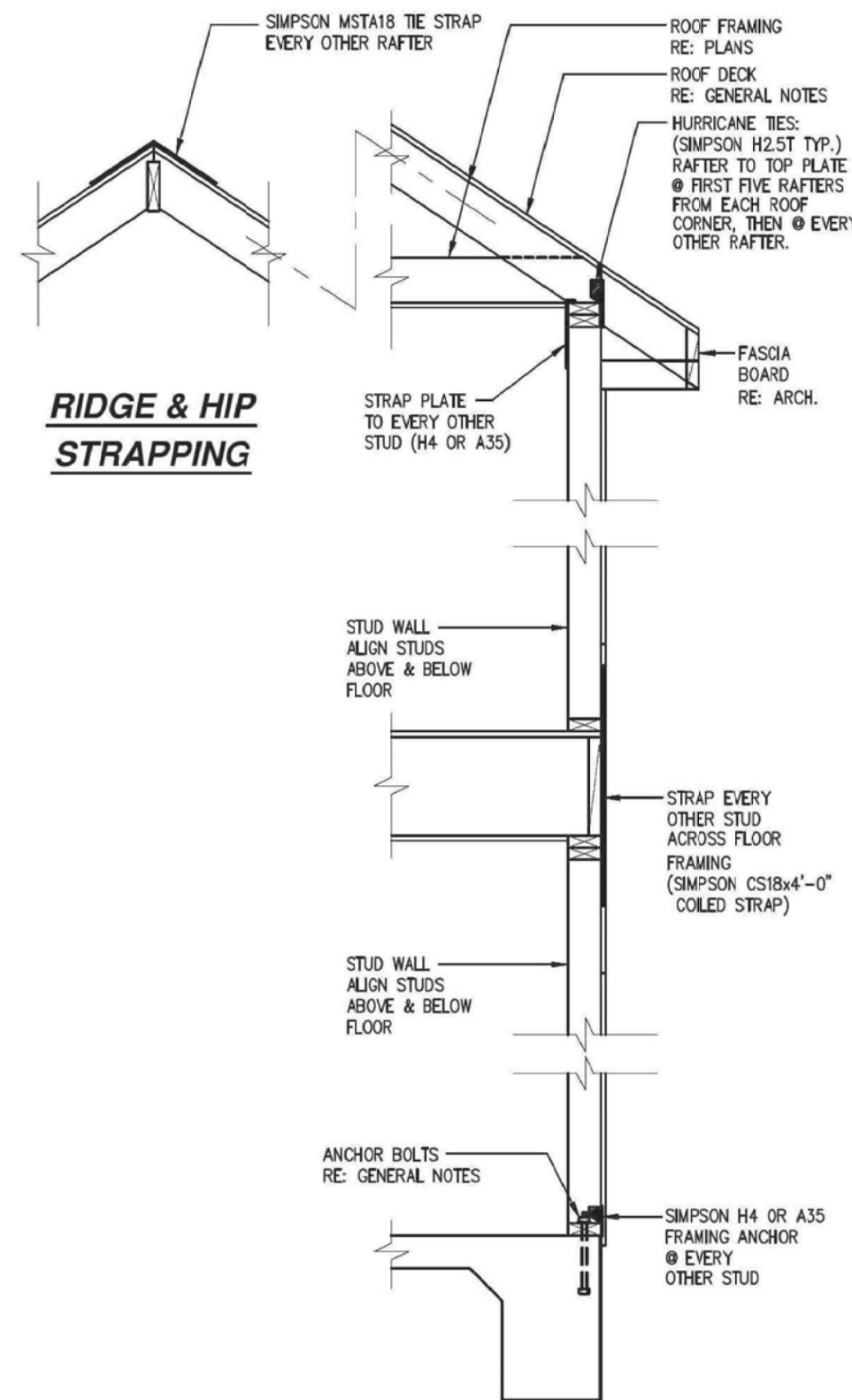


**TYPICAL ROOF T-BRACE DETAILS**

**TYPICAL ROOF BRACING DETAILS**

**RIDGE BEAM, HIP & VALLEY RAFTER, & PURLIN**

NOT TO SCALE



**RIDGE & HIP STRAPPING**

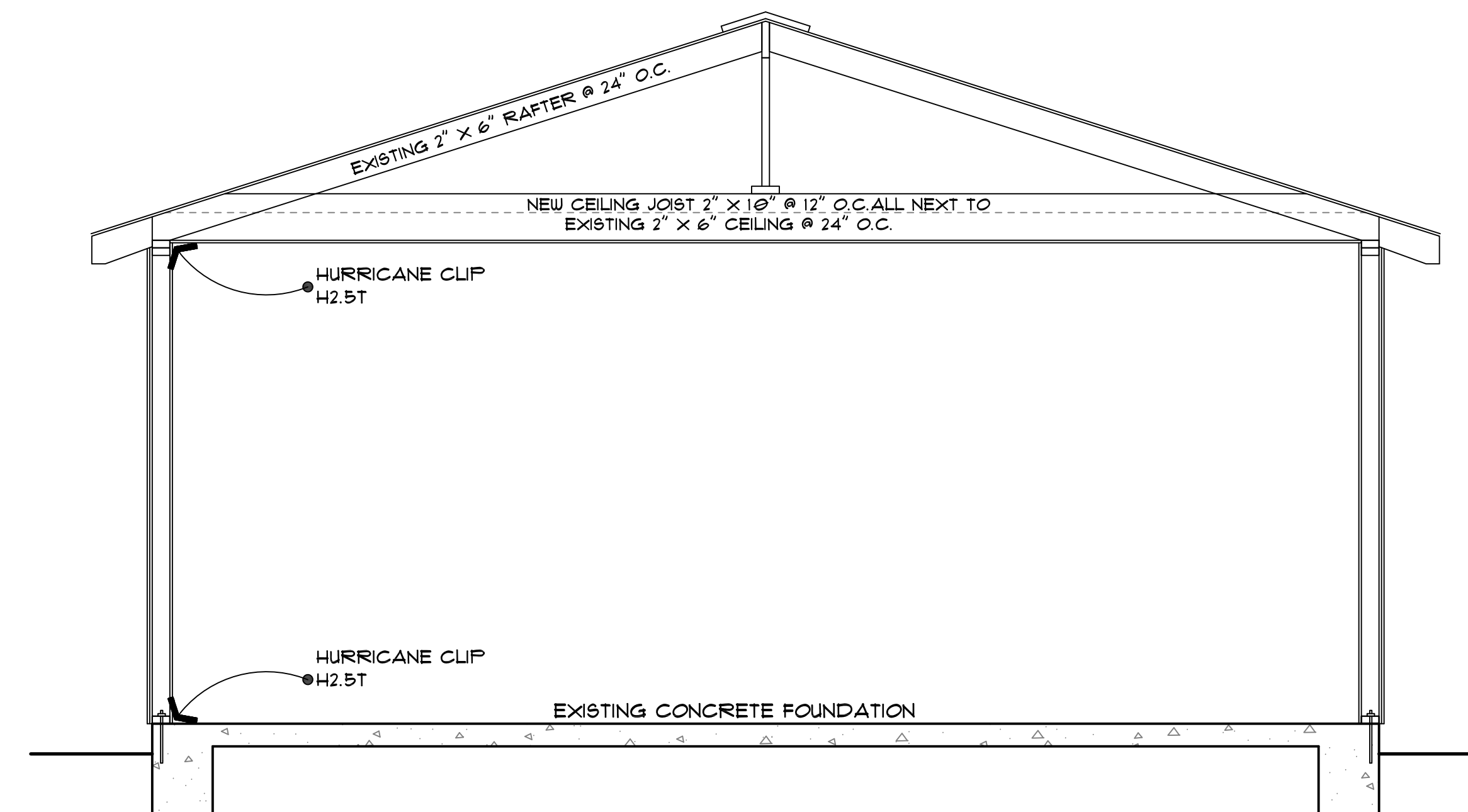
**TYPICAL WIND STRAPPING DETAILS**

NOT TO SCALE

**FASTENER SCHEDULE FOR STRUCTURAL MEMBERS**

TABLE R602.3(1)

DESCRIPTION OF BUILDING ELEMENTS	NUMBER & TYPE OF FASTENER <sup>a,b,c,d</sup>	SPACING OF FASTENERS
Joist to sill or girder, toe nail	3-8d	-
1"x6" subfloor or less to each joist, face nail	2-8d	-
2" subfloor to joist or girder, blind & face nail	2-16d	-
Sole plate to joist or blocking, face nail	16d	16" o.c.
Top or sole plate to stud, end nail	2-16d	-
Stud to sole plate, toe nail	3-8d or 2-16d	-
Double studs, face nail	10d	24" o.c.
Double top plates, face nail	10d	24" o.c.
Sole plate to joist or blocking at braced wall panels	3-16d	16" o.c.
Double top plates, minimum 48" offset of end joints, face nail in lapped area	8-16d	-
Blocking between joists or rafters to top plate, toe nail	3-8d	-
Rim joist to top plate, toe nail	8d	6" o.c.
Top plates, laps at corners & intersections, face nail	2-10d	-
Built-up header, two pieces with 1/2" spacer	16d	16" o.c. along each edge
Continued header, two pieces	16d	16" o.c. along each edge
Ceiling joists to plate, toe nail	3-8d	-
Continuous header to stud, toe nail	4-8d	-
Ceiling joist, laps over partitions, face nail	3-10d	-
Ceiling joist to parallel rafters, face nail	3-10d	-
Rafter to plate, toe nail	2-16d	-
1" brace to each stud & plate, face nail	2-8d	-
1"x6" sheathing to each bearing, face nail	2 staples, 1-3/4	-
1"x8" sheathing to each bearing, face nail	2-8d	-
1"x8" sheathing to each bearing, face nail	3 staples, 1-3/4	-
Wider than 1"x8" sheathing to each bearing, face nail	3-8d	-
Built-up corner studs	4 staples, 1-3/4	-
Built-up header	10d	24" o.c.
Built-up girders & beams, 2-inch lumber layers	10d	Nail each layer as follows: 32" o.c. at top & bottom & staggered. Two nails at ends & at each splice
2" planks	2-16d	At each bearing
Roof rafters to ridge, valley or hip rafters: toe nail	4-16d	-
face nail	3-16d	-
Rafter ties to rafters, face	3-8d	-
Wood structural panels, subfloor, roof & wall sheathing to framing, & particleboard wall sheathing to framing		
5/16 - 1/2	8d common nail (subfloor, wall) 8d common nail (roof) <sup>f</sup>	6 12 <sup>g</sup>
19/32 - 1	8d common nail	6 12 <sup>h</sup>
1-1/8 - 1-1/4	10d common nail or 8d deformed nail	6 12



**SECTION A-A**

SCALE: 1/2" = 1'-0"

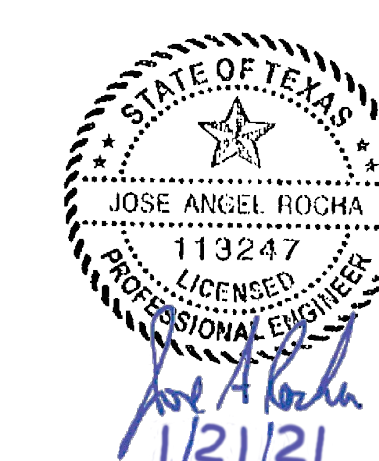
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Drawings and specifications are instruments of service shall remain property of STAC Construction and Designs. They are not to be used on any other project than the ones of intended on this drawing. Contractor is responsible for confirming and correlating dimensions at the job site.

**ROBERT OMERA**  
**RJO CONSTRUCTION**  
**GARAGE APARTMENT**  
**REMODEL PROJECT**  
4024 EDISON, HOUSTON TEXAS



REVISION:

MARK:	DATE:	DESCRIPTION:

PROJECT NUMBER:  
CAD DRAWING FILE:  
DRAWN BY: A.J.  
CHECKED BY: J.R.  
DATE: 01-18-21

SHEET TITLE:  
**FRAMING PLANS- DETAILS**

SHEET:  
**S1.00**