



**1106 Oak Park Ln, Friendswood TX 77546 – Buyer Information**

**1. Listing Broker Contact Information:**

*Patrick M Dando*

2223 Green Tee Dr

Pearland, TX 77581

Broker License #521496

(713) 951-9300 office

(713) 951-9301 fax

(832) 298-0555 cell

(832) 704-6524 alternate cell

[patrick@hpr-llc.com](mailto:patrick@hpr-llc.com)

**2. Showings:**

All showings are accompanied by the Sellers Broker. Please call or text (text is preferred) for all appointments.

**3. Documents:**

- Information Brokerage Services
- TREC Consumer Protection
- Seller's Disclosure Notice
- T-47 Residential Real Property Affidavit
- Survey
- Survey with Outdoor Kitchen

**4. Exclusions:**

- Refrigerator in Laundry Room

**5. Utility and HOA Contact Information:**

- Electric: Texpo Energy/Zach Axelrod – (713) 443-5610
- Gas: Centerpoint – (713) 659-2111
- Water/Sewer/Trash: City of Friendswood – (281) 996-3232
- Phone/Cable/Internet: AT&T – (800) 288-2020
- HOA – Forest HOA – (832) 864-1200

- \$250.00 Transfer Fee\*

- \$500.00 Annual Fee\*

*\*Please verify HOA Fees.*

- Pool Service: Miller Pools – 713.944.4444

- Landscaping Company - \_\_\_\_\_

- Mosquito System Service - \_\_\_\_\_

Please do not hesitate to reach me at (832) 298-0555 if you have any questions.

Sincerely,

A handwritten signature in blue ink that reads "Patrick M. Dando". The signature is written in a cursive style with a large initial "P" and a long horizontal stroke at the end.

Patrick M Dando



## Information About Brokerage Services

Texas law requires all real estate licensees to give the following information about brokerage services to prospective buyers, tenants, sellers and landlords.

### TYPES OF REAL ESTATE LICENSE HOLDERS:

- # **A BROKER** is responsible for all brokerage activities, including acts performed by sales agents sponsored by the broker.
- # **A SALES AGENT** must be sponsored by a broker and works with clients on behalf of the broker.

### A BROKER'S MINIMUM DUTIES REQUIRED BY LAW (A client is the person or party that the broker represents):

- # Put the interests of the client above all others, including the broker's own interests;
- # Inform the client of any material information about the property or transaction received by the broker;
- # Answer the client's questions and present any offer to or counter-offer from the client; and
- # Treat all parties to a real estate transaction honestly and fairly.

### A LICENSE HOLDER CAN REPRESENT A PARTY IN A REAL ESTATE TRANSACTION:

**AS AGENT FOR OWNER (SELLER/LANDLORD):** The broker becomes the property owner's agent through an agreement with the owner, usually in a written listing to sell or property management agreement. An owner's agent must perform the broker's minimum duties above and must inform the owner of any material information about the property or transaction known by the agent, including information disclosed to the agent or subagent by the buyer or buyer's agent.

**AS AGENT FOR BUYER/TENANT:** The broker becomes the buyer/tenant's agent by agreeing to represent the buyer, usually through a written representation agreement. A buyer's agent must perform the broker's minimum duties above and must inform the buyer of any material information about the property or transaction known by the agent, including information disclosed to the agent by the seller or seller's agent.

**AS AGENT FOR BOTH - INTERMEDIARY:** To act as an intermediary between the parties the broker must first obtain the written agreement of each party to the transaction. The written agreement must state who will pay the broker and, in conspicuous bold or underlined print, set forth the broker's obligations as an intermediary. A broker who acts as an intermediary:

- # Must treat all parties to the transaction impartially and fairly;
- # May, with the parties' written consent, appoint a different license holder associated with the broker to each party (owner and buyer) to communicate with, provide opinions and advice to, and carry out the instructions of each party to the transaction.
- # Must not, unless specifically authorized in writing to do so by the party, disclose:
  - o that the owner will accept a price less than the written asking price;
  - o that the buyer/tenant will pay a price greater than the price submitted in a written offer; and
  - o any confidential information or any other information that a party specifically instructs the broker in writing not to disclose, unless required to do so by law.

**AS SUBAGENT:** A license holder acts as a subagent when aiding a buyer in a transaction without an agreement to represent the buyer. A subagent can assist the buyer but does not represent the buyer and must place the interests of the owner first.

### TO AVOID DISPUTES, ALL AGREEMENTS BETWEEN YOU AND A BROKER SHOULD BE IN WRITING AND CLEARLY ESTABLISH:

- # The broker's duties and responsibilities to you, and your obligations under the representation agreement.
- # Who will pay the broker for services provided to you, when payment will be made and how the payment will be calculated.

**LICENSE HOLDER CONTACT INFORMATION:** This notice is being provided for information purposes. It does not create an obligation for you to use the broker's services. Please acknowledge receipt of this notice below and retain a copy for your records.

Licensed Broker /Broker Firm Name or Primary Assumed Business Name	License No.	Email	Phone
Designated Broker of Firm	License No.	Email	Phone
Licensed Supervisor of Sales Agent/ Associate	License No.	Email	Phone
<b>Patrick Dando</b>	521496	<b>patrick@hpr-llc.com</b>	<b>713-951-9300</b>
Sales Agent/Associate's Name	License No.	Email	Phone
	<i>[Signature]</i>	<i>[Signature]</i>	
	Buyer/Tenant/Seller/Landlord Initials	Date	

Regulated by the Texas Real Estate Commission

TXR-2501

Houston Partners Realty, LLC, 11700 Space Center Blvd, St 104 Houston TX 77059

Patrick Dando

Information available at [www.trec.texas.gov](http://www.trec.texas.gov)

IABS 1-0 Date

Phone: 713-951-9300

Fax: 713-951-9301

1106 Oak Park Ln

Produced with Lone Wolf Transactions (zipForm Edition) 231 Shearson Cr. Cambridge, Ontario, Canada N1T 1J5 [www.lwolf.com](http://www.lwolf.com)

**THE TEXAS REAL ESTATE COMMISSION (TREC) REGULATES  
REAL ESTATE BROKERS AND SALES AGENTS, REAL ESTATE INSPECTORS,  
HOME WARRANTY COMPANIES, EASEMENT AND RIGHT-OF-WAY AGENTS,  
AND TIMESHARE INTEREST PROVIDERS**

**YOU CAN FIND MORE INFORMATION AND  
CHECK THE STATUS OF A LICENSE HOLDER AT**

**WWW.TREC.TEXAS.GOV**

**YOU CAN SEND A COMPLAINT AGAINST A LICENSE HOLDER TO TREC  
A COMPLAINT FORM IS AVAILABLE ON THE TREC WEBSITE**

**TREC ADMINISTERS TWO RECOVERY FUNDS WHICH MAY BE USED TO SATISFY A CIVIL  
COURT JUDGMENT AGAINST A BROKER, SALES AGENT, REAL ESTATE INSPECTOR, OR  
EASEMENT OR RIGHT-OF-WAY AGENT, IF CERTAIN REQUIREMENTS ARE MET.**

**REAL ESTATE INSPECTORS ARE REQUIRED TO MAINTAIN ERRORS AND OMISSIONS  
INSURANCE TO COVER LOSSES ARISING FROM THE PERFORMANCE OF A REAL ESTATE  
INSPECTION IN A NEGLIGENT OR INCOMPETENT MANNER.**

**PLEASE NOTE: INSPECTORS MAY LIMIT LIABILITY THROUGH PROVISIONS IN THE CONTRACT  
OR INSPECTION AGREEMENT BETWEEN THE INSPECTOR AND THEIR CLIENTS. PLEASE BE  
SURE TO READ ANY CONTRACT OR AGREEMENT CAREFULLY. IF YOU DO NOT UNDERSTAND  
ANY TERMS OR PROVISIONS, CONSULT AN ATTORNEY.**

**IF YOU HAVE QUESTIONS OR ISSUES ABOUT THE ACTIVITIES OF  
A LICENSE HOLDER, THE COMPLAINT PROCESS, OR THE  
RECOVERY FUNDS, PLEASE VISIT THE WEBSITE OR CONTACT TREC AT**



**TEXAS REAL ESTATE COMMISSION**

**P.O. BOX 12188**

**AUSTIN, TEXAS 78711-2188**

**(512) 936-3000**



## SELLER'S DISCLOSURE NOTICE

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Section 5.008, Property Code requires a seller of residential property of not more than one dwelling unit to deliver a Seller's Disclosure Notice to a buyer on or before the effective date of a contract. **This form complies with and contains additional disclosures which exceed the minimum disclosures required by the Code.**

CONCERNING THE PROPERTY AT 1106 Oak Park Ln  
Friendswood, TX 77546-3658

THIS NOTICE IS A DISCLOSURE OF SELLER'S KNOWLEDGE OF THE CONDITION OF THE PROPERTY AS OF THE DATE SIGNED BY SELLER AND IS NOT A SUBSTITUTE FOR ANY INSPECTIONS OR WARRANTIES THE BUYER MAY WISH TO OBTAIN. IT IS NOT A WARRANTY OF ANY KIND BY SELLER, SELLER'S AGENTS, OR ANY OTHER AGENT.

Seller     is     is not occupying the Property. If unoccupied (by Seller), how long since Seller has occupied the Property?     (approximate date) or     never occupied the Property

**Section 1. The Property has the items marked below: (Mark Yes (Y), No (N), or Unknown (U).)**

*This notice does not establish the items to be conveyed. The contract will determine which items will & will not convey.*

Item	Y	N	U
Cable TV Wiring	✓		
Carbon Monoxide Det.		✓	
Ceiling Fans	✓		
Cooktop			
Dishwasher	✓		
Disposal	✓		
Emergency Escape Ladder(s)			✓
Exhaust Fans	✓		
Fences	✓		
Fire Detection Equip.	✓		
French Drain			✓
Gas Fixtures	✓		
Natural Gas Lines			

Item	Y	N	U
Liquid Propane Gas:		✓	
-LP Community (Captive)			
-LP on Property			
Hot Tub	✓		
Intercom System		✓	
Microwave	✓		
Outdoor Grill		✓	
Patio/Decking	✓		
Plumbing System			
Pool	✓		
Pool Equipment	✓		
Pool Maint. Accessories	✓		
Pool Heater	✓		

Item	Y	N	U
Pump: <u>   </u> sump <u>   </u> grinder			
Rain Gutters	✓		
Range/Stove	✓		
Roof/Attic Vents	✓		
Sauna		✓	
Smoke Detector	✓		
Smoke Detector - Hearing Impaired			✓
Spa	✓		
Trash Compactor		✓	
TV Antenna		✓	
Washer/Dryer Hookup	✓		
Window Screens	✓		
Public Sewer System			

Item	Y	N	U	Additional Information
Central A/C	✓			electric <u>   </u> gas <u>   </u> number of units: <u>(3)</u>
Evaporative Coolers		✓		number of units: <u>3</u>
Wall/Window AC Units		✓		number of units: <u>   </u>
Attic Fan(s)	✓			if yes, describe: <u>   </u>
Central Heat	✓			electric <u>   </u> gas <u>   </u> number of units: <u>   </u>
Other Heat				if yes, describe: <u>   </u>
Oven	✓			number of ovens: <u>2</u> electric <u>   </u> gas <u>   </u> other: <u>   </u>
Fireplace & Chimney	✓			wood <u>1</u> gas logs <u>   </u> mock <u>   </u> other: <u>   </u>
Carport			✓	<u>   </u> attached <u>   </u> not attached
Garage	<u>(3)</u>	✓		<u>   </u> attached <u>   </u> not attached
Garage Door Openers	✓			number of units: <u>3</u> number of remotes: <u>   </u>
Satellite Dish & Controls		✓		<u>   </u> owned <u>   </u> leased from: <u>   </u>
Security System	✓			<u>   </u> owned <u>   </u> leased from: <u>   </u>
Solar Panels		✓		owned <u>   </u> leased from: <u>   </u>
Water Heater	✓			electric <u>   </u> gas <u>   </u> other: <u>   </u> number of units: <u>   </u>
Water Softener		✓		owned <u>   </u> leased from: <u>   </u>
Other Leased Items(s)				if yes, describe: <u>   </u>

(TXR-1406) 09-01-19

Initialed by: Buyer:    ,  and Seller:    ,

Concerning the Property at \_\_\_\_\_

Underground Lawn Sprinkler	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/> automatic <input type="checkbox"/> manual areas covered:
Septic / On-Site Sewer Facility	<input type="checkbox"/>	<input checked="" type="checkbox"/>	if yes, attach Information About On-Site Sewer Facility (TXR-1407)

Water supply provided by:  city  well  MUD  co-op  unknown  other: \_\_\_\_\_

Was the Property built before 1978?  yes  no  unknown

(If yes, complete, sign, and attach TXR-1906 concerning lead-based paint hazards).

Roof Type: Shingle Age: \_\_\_\_\_ (approximate)

Is there an overlay roof covering on the Property (shingles or roof covering placed over existing shingles or roof covering)?  yes  no  unknown

Are you (Seller) aware of any of the items listed in this Section 1 that are not in working condition, that have defects, or are need of repair?  yes  no If yes, describe (attach additional sheets if necessary): \_\_\_\_\_

**Section 2. Are you (Seller) aware of any defects or malfunctions in any of the following? (Mark Yes (Y) if you are aware and No (N) if you are not aware.)**

Item	Y	N
Basement	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Ceilings	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Doors	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Driveways	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Electrical Systems	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Exterior Walls	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Item	Y	N
Floors	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Foundation / Slab(s)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Interior Walls	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Lighting Fixtures	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Plumbing Systems	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Roof	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Item	Y	N
Sidewalks	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Walls / Fences	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Windows	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Other Structural Components	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>

If the answer to any of the items in Section 2 is yes, explain (attach additional sheets if necessary): \_\_\_\_\_

**Section 3. Are you (Seller) aware of any of the following conditions? (Mark Yes (Y) if you are aware and No (N) if you are not aware.)**

Condition	Y	N
Aluminum Wiring	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Asbestos Components	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Diseased Trees: <u>oak wilt</u>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Endangered Species/Habitat on Property	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Fault Lines	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Hazardous or Toxic Waste	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Improper Drainage	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Intermittent or Weather Springs	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Landfill	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Lead-Based Paint or Lead-Based Pt. Hazards	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Encroachments onto the Property	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Improvements encroaching on others' property	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Located in Historic District	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Historic Property Designation	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Previous Foundation Repairs	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Previous Roof Repairs	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Previous Other Structural Repairs	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Previous Use of Premises for Manufacture of Methamphetamine	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Condition	Y	N
Radon Gas	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Settling	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Soil Movement	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Subsurface Structure or Pits	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Underground Storage Tanks	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Unplatted Easements	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Unrecorded Easements	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Urea-formaldehyde Insulation	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Water Damage Not Due to a Flood Event	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Wetlands on Property	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Wood Rot	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Active infestation of termites or other wood destroying insects (WDI)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Previous treatment for termites or WDI	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Previous termite or WDI damage repaired	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Previous Fires	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Termite or WDI damage needing repair	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Single Blockable Main Drain in Pool/Hot Tub/Spa*	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Concerning the Property at \_\_\_\_\_

If the answer to any of the items in Section 3 is yes, explain (attach additional sheets if necessary): \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\*A single blockable main drain may cause a suction entrapment hazard for an individual.

**Section 4. Are you (Seller) aware of any item, equipment, or system in or on the Property that is in need of repair, which has not been previously disclosed in this notice?**  yes  no If yes, explain (attach additional sheets if necessary): \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Section 5. Are you (Seller) aware of any of the following conditions?\* (Mark Yes (Y) if you are aware and check wholly or partly as applicable. Mark No (N) if you are not aware.)**

Y N

- Present flood insurance coverage (if yes, attach TXR 1414).
- Previous flooding due to a failure or breach of a reservoir or a controlled or emergency release of water from a reservoir.
- Previous flooding due to a natural flood event (if yes, attach TXR 1414).
- Previous water penetration into a structure on the Property due to a natural flood event (if yes, attach TXR 1414).
- Located  wholly  partly in a 100-year floodplain (Special Flood Hazard Area-Zone A, V, A99, AE AO, AH, VE, or AR) (if yes, attach TXR 1414).
- Located  wholly  partly in a 500-year floodplain (Moderate Flood Hazard Area-Zone X (shaded)).
- Located  wholly  partly in a floodway (if yes, attach TXR 1414).
- Located  wholly  partly in a flood pool.
- Located  wholly  partly in a reservoir.

If the answer to any of the above is yes, explain (attach additional sheets as necessary): \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

\*For purposes of this notice:

"100-year floodplain" means any area of land that: (A) is identified on the flood insurance rate map as a special flood hazard area, which is designated as Zone A, V, A99, AE, AO, AH, VE, or AR on the map; (B) has a one percent annual chance of flooding, which is considered to be a high risk of flooding; and (C) may include a regulatory floodway, flood pool, or reservoir.

"500-year floodplain" means any area of land that: (A) is identified on the flood insurance rate map as a moderate flood hazard area, which is designated on the map as Zone X (shaded); and (B) has a two-tenths of one percent annual chance of flooding, which is considered to be a moderate risk of flooding.

"Flood pool" means the area adjacent to a reservoir that lies above the normal maximum operating level of the reservoir and that is subject to controlled inundation under the management of the United States Army Corps of Engineers.

"Flood insurance rate map" means the most recent flood hazard map published by the Federal Emergency Management Agency under the National Flood Insurance Act of 1968 (42 U.S.C. Section 4001 et seq.).

"Floodway" means an area that is identified on the flood insurance rate map as a regulatory floodway, which includes the channel of a river or other watercourse and the adjacent land areas that must be reserved for the discharge of a base flood, also referred to as a 100-year flood, without cumulatively increasing the water surface elevation more than a designated height.

"Reservoir" means a water impoundment project operated by the United States Army Corps of Engineers that is intended to retain water or delay the runoff of water in a designated surface area of land.

Concerning the Property at \_\_\_\_\_

**Section 6. Have you (Seller) ever filed a claim for flood damage to the Property with any insurance provider, including the National Flood Insurance Program (NFIP)?**  yes  no If yes, explain (attach additional sheets as necessary): \_\_\_\_\_

\*Homes in high risk flood zones with mortgages from federally regulated or insured lenders are required to have flood insurance. Even when not required, the Federal Emergency Management Agency (FEMA) encourages homeowners in high risk, moderate risk, and low risk flood zones to purchase flood insurance that covers the structure(s) and the personal property within the structure(s).

**Section 7. Have you (Seller) ever received assistance from FEMA or the U.S. Small Business Administration (SBA) for flood damage to the Property?**  yes  no If yes, explain (attach additional sheets as necessary): \_\_\_\_\_

**Section 8. Are you (Seller) aware of any of the following? (Mark Yes (Y) if you are aware. Mark No (N) if you are not aware.)**

**Y N**

- Room additions, structural modifications, or other alterations or repairs made without necessary permits, with unresolved permits, or not in compliance with building codes in effect at the time.
- Homeowners' associations or maintenance fees or assessments. If yes, complete the following:  
 Name of association: Spectrum  
 Manager's name: \_\_\_\_\_ Phone: \_\_\_\_\_  
 Fees or assessments are: \$ \_\_\_\_\_ per \_\_\_\_\_ and are:  mandatory  voluntary  
 Any unpaid fees or assessment for the Property?  yes (\$ \_\_\_\_\_)  no  
 If the Property is in more than one association, provide information about the other associations below or attach information to this notice.
- Any common area (facilities such as pools, tennis courts, walkways, or other) co-owned in undivided interest with others. If yes, complete the following:  
 Any optional user fees for common facilities charged?  yes  no If yes, describe: \_\_\_\_\_
- Any notices of violations of deed restrictions or governmental ordinances affecting the condition or use of the Property.
- Any lawsuits or other legal proceedings directly or indirectly affecting the Property. (Includes, but is not limited to: divorce, foreclosure, heirship, bankruptcy, and taxes.)
- Any death on the Property except for those deaths caused by: natural causes, suicide, or accident unrelated to the condition of the Property.
- Any condition on the Property which materially affects the health or safety of an individual.
- Any repairs or treatments, other than routine maintenance, made to the Property to remediate environmental hazards such as asbestos, radon, lead-based paint, urea-formaldehyde, or mold.  
 If yes, attach any certificates or other documentation identifying the extent of the remediation (for example, certificate of mold remediation or other remediation).
- Any rainwater harvesting system located on the Property that is larger than 500 gallons and that uses a public water supply as an auxiliary water source.
- The Property is located in a propane gas system service area owned by a propane distribution system retailer.
- Any portion of the Property that is located in a groundwater conservation district or a subsidence district.

If the answer to any of the items in Section 8 is yes, explain (attach additional sheets if necessary): \_\_\_\_\_





Concerning the Property at \_\_\_\_\_

**ADDITIONAL NOTICES TO BUYER:**

- (1) The Texas Department of Public Safety maintains a database that the public may search, at no cost, to determine if registered sex offenders are located in certain zip code areas. To search the database, visit <https://publicsite.dps.texas.gov/SexOffenderRegistry>. For information concerning past criminal activity in certain areas or neighborhoods, contact the local police department.
- (2) If the Property is located in a coastal area that is seaward of the Gulf Intracoastal Waterway or within 1,000 feet of the mean high tide bordering the Gulf of Mexico, the Property may be subject to the Open Beaches Act or the Dune Protection Act (Chapter 61 or 63, Natural Resources Code, respectively) and a beachfront construction certificate or dune protection permit may be required for repairs or improvements. Contact the local government with ordinance authority over construction adjacent to public beaches for more information.
- (3) If the Property is located in a seacoast territory of this state designated as a catastrophe area by the Commissioner of the Texas Department of Insurance, the Property may be subject to additional requirements to obtain or continue windstorm and hail insurance. A certificate of compliance may be required for repairs or improvements to the Property. For more information, please review *Information Regarding Windstorm and Hail Insurance for Certain Properties* (TXR 2518) and contact the Texas Department of Insurance or the Texas Windstorm Insurance Association.
- (4) This Property may be located near a military installation and may be affected by high noise or air installation compatible use zones or other operations. Information relating to high noise and compatible use zones is available in the most recent Air Installation Compatible Use Zone Study or Joint Land Use Study prepared for a military installation and may be accessed on the Internet website of the military installation and of the county and any municipality in which the military installation is located.
- (5) If you are basing your offers on square footage, measurements, or boundaries, you should have those items independently measured to verify any reported information.
- (6) The following providers currently provide service to the Property:

Electric:	<u>TEXPO ENERGY - Zach Axelrod</u>	phone #:	<u>713 <sup>443-</sup> <del>443-</del> 5610</u>
Sewer:	<u>Friendwood</u>	phone #:	_____
Water:	<u>Friendwood</u>	phone #:	_____
Cable:	<u>ATT TV - Streaming</u>	phone #:	_____
Trash:	<u>Friendwood</u>	phone #:	_____
Natural Gas:	<u>Center Point</u>	phone #:	_____
Phone Company:	<u>AT&amp;T</u>	phone #:	_____
Propane:	_____	phone #:	_____
Internet:	<u>AT&amp;T</u>	phone #:	_____

- (7) This Seller's Disclosure Notice was completed by Seller as of the date signed. The brokers have relied on this notice as true and correct and have no reason to believe it to be false or inaccurate. YOU ARE ENCOURAGED TO HAVE AN INSPECTOR OF YOUR CHOICE INSPECT THE PROPERTY.

The undersigned Buyer acknowledges receipt of the foregoing notice.

Signature of Buyer \_\_\_\_\_ Date \_\_\_\_\_ Signature of Buyer \_\_\_\_\_ Date \_\_\_\_\_  
 Printed Name: \_\_\_\_\_ Printed Name: \_\_\_\_\_

**T-47 RESIDENTIAL REAL PROPERTY AFFIDAVIT  
(MAY BE MODIFIED AS APPROPRIATE FOR COMMERCIAL TRANSACTIONS)**

Date: \_\_\_\_\_ GF No. \_\_\_\_\_

Name of Affiant(s): Joseph Underwood and Shannon Underwood

Address of Affiant: 1106 Oak Park Ln, Friendswood, TX 77546-3658

Description of Property: THE FOREST SEC 12 (2002) ABST 20, BLOCK 1, LOT 3, ACRES 0.386

County Galveston, Texas

"Title Company" as used herein is the Title Insurance Company whose policy of title insurance is issued in reliance upon the statements contained herein.

Before me, the undersigned notary for the State of TEXAS, personally appeared Affiant(s) who after by me being sworn, stated:

1. We are the owners of the Property. (Or state other basis for knowledge by Affiant(s) of the Property, such as lease, management, neighbor, etc. For example, "Affiant is the manager of the Property for the record title owners."):

\_\_\_\_\_

2. We are familiar with the property and the improvements located on the Property.

3. We are closing a transaction requiring title insurance and the proposed insured owner or lender has requested area and boundary coverage in the title insurance policy(ies) to be issued in this transaction. We understand that the Title Company may make exceptions to the coverage of the title insurance as Title Company may deem appropriate. We understand that the owner of the property, if the current transaction is a sale, may request a similar amendment to the area and boundary coverage in the Owner's Policy of Title Insurance upon payment of the promulgated premium.

4. To the best of our actual knowledge and belief, since \_\_\_\_\_ there have been no:
- a. construction projects such as new structures, additional buildings, rooms, garages, swimming pools or other permanent improvements or fixtures;
  - b. changes in the location of boundary fences or boundary walls;
  - c. construction projects on immediately adjoining property(ies) which encroach on the Property;
  - d. conveyances, replattings, easement grants and/or easement dedications (such as a utility line) by any party affecting the Property.

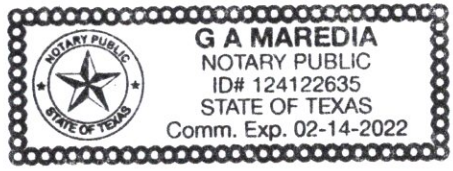
EXCEPT for the following (If None, Insert "None" Below): Outlook Kitchen

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

5. We understand that Title Company is relying on the truthfulness of the statements made in this affidavit to provide the area and boundary coverage and upon the evidence of the existing real property survey of the Property. This Affidavit is not made for the benefit of any other parties and this Affidavit does not constitute a warranty or guarantee of the location of improvements.

6. We understand that we have no liability to Title Company that will issue the policy(ies) should the information in this Affidavit be incorrect other than information that we personally know to be incorrect and which we do not disclose to the Title Company.

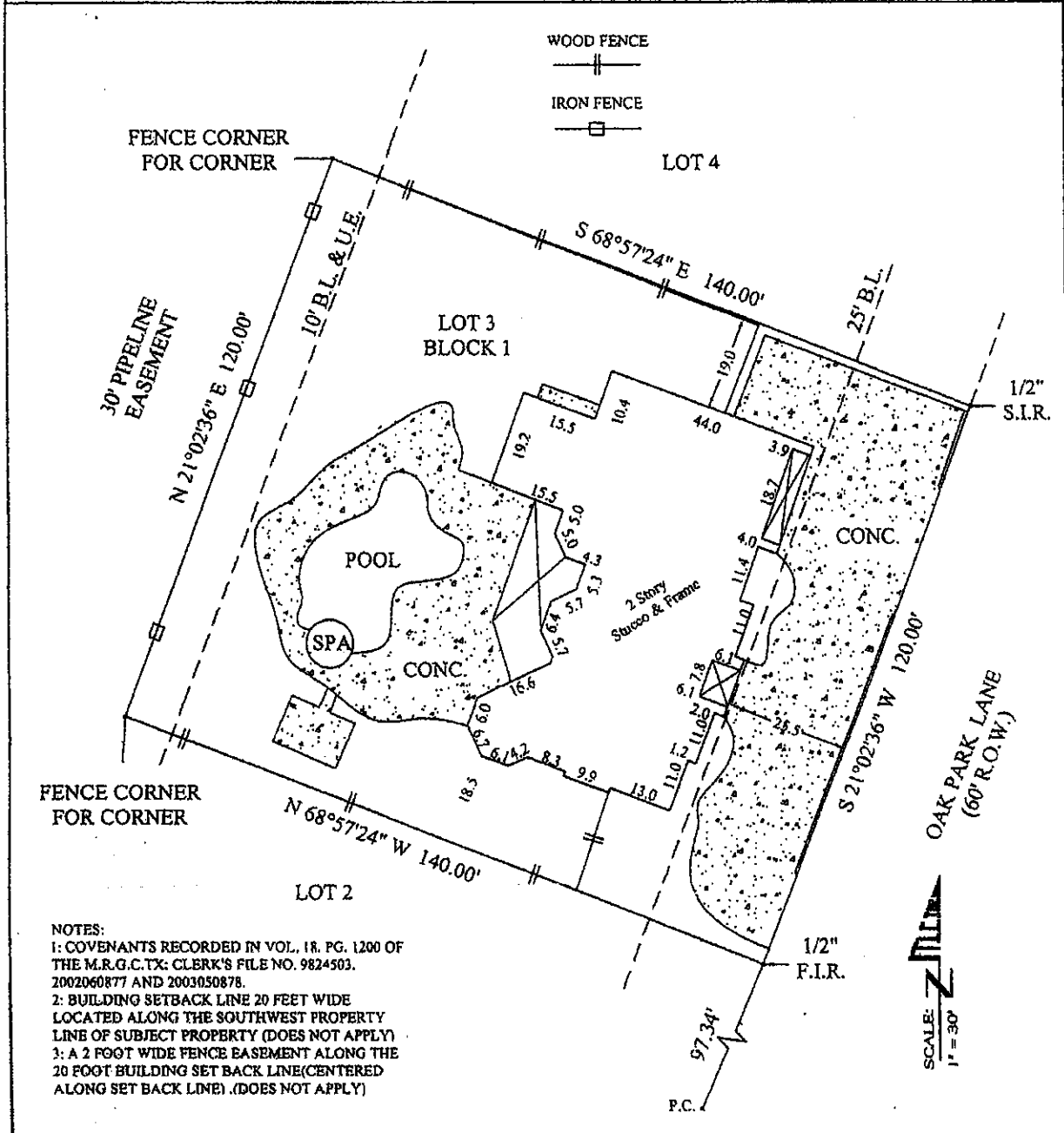
[Signature]  
Joseph Underwood  
[Signature]  
Shannon Underwood



SWORN AND SUBSCRIBED this 25<sup>th</sup> day of JUNE, 2021

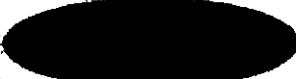

[Signature]  
Notary Public

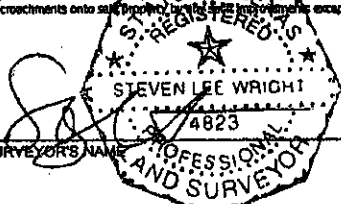
<b>ADDRESS</b> 1106 Oak Park Lane Friendswood, Texas 77546	<b>LEGAL DESCRIPTION: (AS FURNISHED)</b> Lot 3, Block 1, of Final Plat The Forest, Section Twelve, a subdivision in Galveston County, Texas, according to the Map or Plat thereof Recorded in Vol. 18, Page 1200 of the M.R.G.C.TX.
<b>SCALE: 1" = 30'</b>	<b>NOTES</b> 1: Restrictive Covenants and notes as follows.
The Certified Registered Professional Land Surveyor signing this survey shall verify the accuracy and reliability of the survey provided herein.	



- NOTES:**
- 1: COVENANTS RECORDED IN VOL. 18, PG. 1200 OF THE M.R.G.C.TX; CLERK'S FILE NO. 9824503, 2002060877 AND 2003050878.
  - 2: BUILDING SETBACK LINE 20 FEET WIDE LOCATED ALONG THE SOUTHWEST PROPERTY LINE OF SUBJECT PROPERTY (DOES NOT APPLY)
  - 3: A 2 FOOT WIDE FENCE EASEMENT ALONG THE 20 FOOT BUILDING SET BACK LINE (CENTERED ALONG SET BACK LINE) (DOES NOT APPLY)

**BASIS OF BEARING: BEARING BASED OF THE RECORDED PLAT**

<b>SURVEYOR INFORMATION:</b>									
 Texas Valuers Texas Strong Elmos 1887 P.O. BOX 1817 PEARLAND, TEXAS 77666 FAX: (281) 428-8221 PHONE: (281) 997-1888 WWW.JUSTIRREMANANTLEY@GMAIL.COM 28 PEARLAND, TEXAS									
<b>CLIENT OF#:</b> 430985	<b>LEGEND</b>								
<b>SURVEY FILE #:</b> 06-216-06	A/D: AIR CONDITIONER BLDG.: BUILDING C.C.: CALCULATED C.B.: CHORD BEARING C.W.: CONCRETE BLOCK WALL C.L.: CENTERLINE CONG.: CONCRETE COV.: COVERED C.S.: CONCRETE SLAB (D.): DESCRIPTION D.W.: DRIVEWAY E.O.W.: EDGE OF WATER (M.): MEASURED P.C.: POINT OF CURVATURE P.C.P.: PERMANENT CONTROL POINT P.I.: POINT OF INTERSECTION P.O.B.: POINT OF BEGINNING P.O.C.: POINT OF COMMENCEMENT P.P.: POWER POLE P.R.: POINT OF REVERSE CURVATURE P.R.M.: PERMANENT REFERENCE MARK P.T.: POINT OF TANGENCY C.F.: CHAIN LINK FENCE W.F.: WOOD FENCE W.W.: HOOD-WIRE FENCE								
<b>SURVEY INVOICE #:</b> 51925	<b>SURVEYOR'S CERTIFICATE</b> I, Steven L. Wright, Texas Registered Professional Land Surveyor No. 4823, do hereby certify that the survey plat hereon is a true and accurate representation of the property hereon described, and do further certify that the survey accurately depicts the substantial improvements to said property as shown on the plat and that there are no encroachments onto said property, or the easement improvements except as shown hereon.  SURVEYOR'S NAME: STEVEN LEE WRIGHT DATED: 06-26-06 FOR THE FIRM:								
<b>SURVEYOR:</b> CS									
<b>DRAFTER:</b> C. Resandaz	<b>FLOOD ZONE</b> (FOR INFORMATIONAL PURPOSES ONLY) SUBJECT PROPERTY (SHOWN HEREON) APPEARS TO BE LOCATED IN FLOOD ZONE "X", AREA OF MINOR FLOODING, PER F.I.R.M. PANEL NUMBER 483480E, LAST REVISION DATE 8-24-99. THIS SURVEYOR MAKES NO WARRANTIES AS TO THE ACCURACY OF THE ABOVE INFORMATION. THE LOCAL F.E.M.A. AGENT SHOULD BE CONTACTED FOR VERIFICATION.								
<b>APPROVED:</b> S.L. Wright									
<b>CERTIFIED TO:</b> (AS FURNISHED)	<table border="1"> <tr> <td>DATE</td> <td>REVISION</td> <td>DATE</td> <td>REVISION</td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	DATE	REVISION	DATE	REVISION				
DATE	REVISION	DATE	REVISION						
<b>Chicago Title Company</b> Innovene USA, L.L.C.	<b>THIS SURVEY IS PREPARED FOR THE EXCLUSIVE USE AND BENEFIT OF THE PARTIES LISTED HEREON. LIABILITY TO THIRD PARTIES MAY NOT BE TRANSFERRED OR ASSIGNED.</b>								

<b>CLIENT OF#:</b> 430985	<b>LEGEND</b>	<b>SURVEYOR'S CERTIFICATE</b> I, Steven L. Wright, Texas Registered Professional Land Surveyor No. 4823, do hereby certify that the survey plat hereon is a true and accurate representation of the property hereon described, and do further certify that the survey accurately depicts the substantial improvements to said property as shown on the plat and that there are no encroachments onto said property, or the easement improvements except as shown hereon.  SURVEYOR'S NAME: STEVEN LEE WRIGHT DATED: 06-26-06 FOR THE FIRM:								
<b>SURVEY FILE #:</b> 06-216-06	A/D: AIR CONDITIONER BLDG.: BUILDING C.C.: CALCULATED C.B.: CHORD BEARING C.W.: CONCRETE BLOCK WALL C.L.: CENTERLINE CONG.: CONCRETE COV.: COVERED C.S.: CONCRETE SLAB (D.): DESCRIPTION D.W.: DRIVEWAY E.O.W.: EDGE OF WATER (M.): MEASURED P.C.: POINT OF CURVATURE P.C.P.: PERMANENT CONTROL POINT P.I.: POINT OF INTERSECTION P.O.B.: POINT OF BEGINNING P.O.C.: POINT OF COMMENCEMENT P.P.: POWER POLE P.R.: POINT OF REVERSE CURVATURE P.R.M.: PERMANENT REFERENCE MARK P.T.: POINT OF TANGENCY C.F.: CHAIN LINK FENCE W.F.: WOOD FENCE W.W.: HOOD-WIRE FENCE									
<b>SURVEY INVOICE #:</b> 51925	<b>FLOOD ZONE</b> (FOR INFORMATIONAL PURPOSES ONLY) SUBJECT PROPERTY (SHOWN HEREON) APPEARS TO BE LOCATED IN FLOOD ZONE "X", AREA OF MINOR FLOODING, PER F.I.R.M. PANEL NUMBER 483480E, LAST REVISION DATE 8-24-99. THIS SURVEYOR MAKES NO WARRANTIES AS TO THE ACCURACY OF THE ABOVE INFORMATION. THE LOCAL F.E.M.A. AGENT SHOULD BE CONTACTED FOR VERIFICATION.	<table border="1"> <tr> <td>DATE</td> <td>REVISION</td> <td>DATE</td> <td>REVISION</td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	DATE	REVISION	DATE	REVISION				
DATE			REVISION	DATE	REVISION					
<b>SURVEYOR:</b> CS	<b>THIS SURVEY IS PREPARED FOR THE EXCLUSIVE USE AND BENEFIT OF THE PARTIES LISTED HEREON. LIABILITY TO THIRD PARTIES MAY NOT BE TRANSFERRED OR ASSIGNED.</b>	<b>Chicago Title Company</b> Innovene USA, L.L.C.								

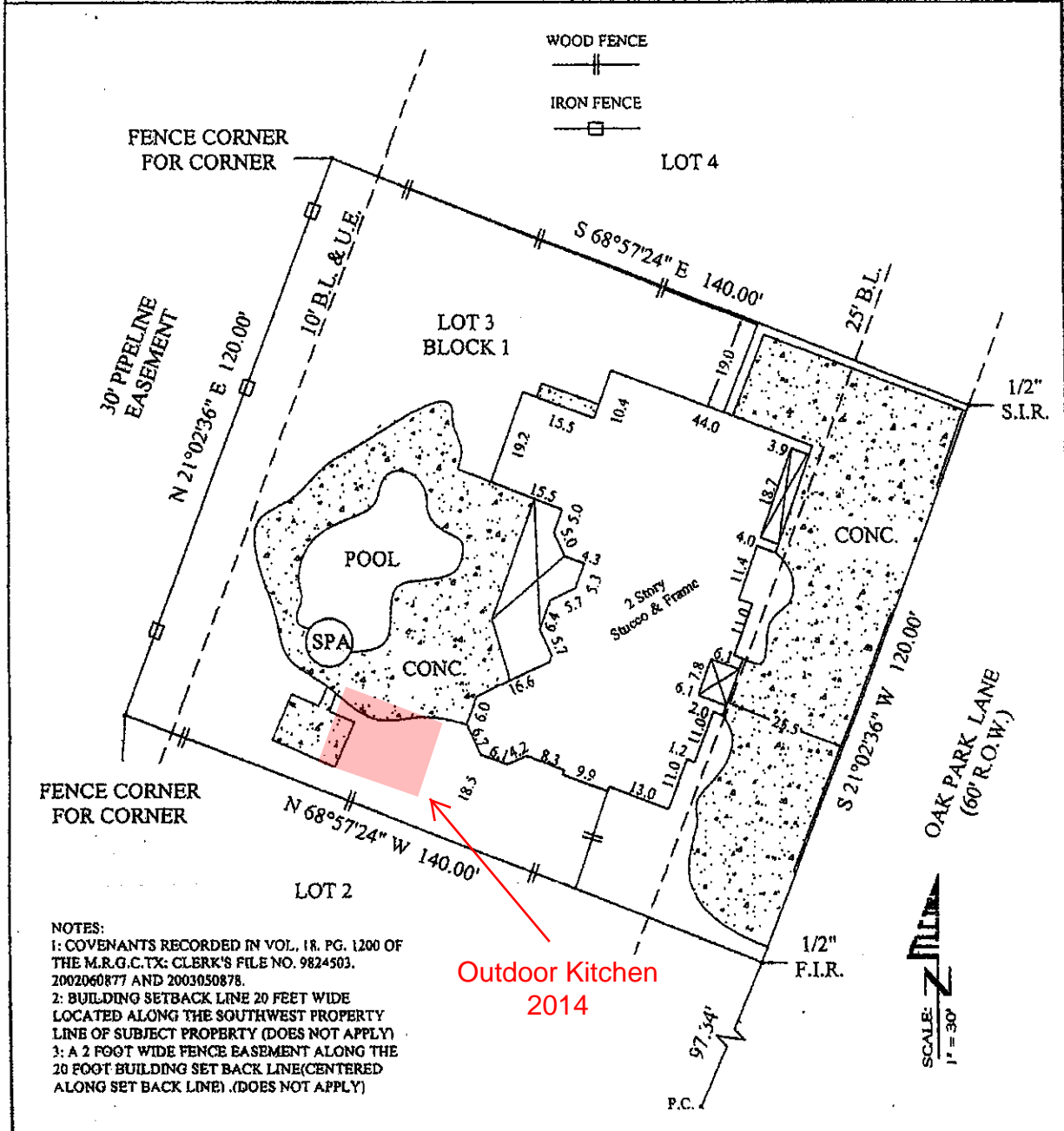
**ADDRESS**  
 1106 Oak Park Lane  
 Friendswood, Texas 77546

**LEGAL DESCRIPTION: (AS FURNISHED)**  
 Lot 3, Block 1, of Final Plat The Forest, Section Twelve, a subdivision in Galveston County, Texas, according to the Map or Plat thereof Recorded in Vol. 18, Page 1200 of the M.R.G.C.TX.

**SCALE: 1" = 30'**

The Certified Registered Professional Land Surveyor signing this survey shall verify the accuracy and reliability of the survey provided herein.

**NOTES**  
 1: Restrictive Covenants and notes as follows.



**BASIS OF BEARING: BEARING BASED OF THE RECORDED PLAT**

**SURVEYOR INFORMATION:**

Texas Values Texas Strong Elmos 1887  
 P.O. BOX 1817  
 PEARLAND, TEXAS 77666  
 FAX: (281) 428-8221  
 PHONE: (281) 997-1888  
 WWW.JUSTIRRENTLEY@GMAIL.COM  
 28 PEARLAND, TX

**CLIENT OF#430985**

**SURVEY FILE # 06-216-06**

**SURVEY INVOICE # 51925**

**SURVEYOR:CS**

**DRAFTER: C. Resendez**

**APPROVED: S.L. Wright**

**CERTIFIED TO: (AS FURNISHED)**

Chicago Title Company  
 Innovene USA, L.L.C.

**LEGEND**

AD: AIR CONDITIONER  
 BLDG.: BUILDING  
 C.C.: CALCULATED  
 C.B.: CHORD BEARING  
 C.W.: CONCRETE BLOCK WALL  
 C.L.: CENTERLINE  
 CONG.: CONCRETE  
 COV.: COVERED  
 C.S.: CONCRETE SLAB  
 (D.): DESCRIPTION  
 D.V.: DRIVEWAY  
 E.O.W.: EDGE OF WATER  
 (M.): MEASURED

P.C.: POINT OF CURVATURE  
 P.C.P.: PERMANENT CONTROL POINT  
 P.I.: POINT OF INTERSECTION  
 P.O.B.: POINT OF BEGINNING  
 P.O.C.: POINT OF COMPLETION  
 P.P.: POWER POLE  
 P.R.: POINT OF REVERSE CURVATURE  
 P.R.M.: PERMANENT REFERENCE MARK  
 P.T.: POINT OF TANGENCY  
 C.F.: CHAIN LINK FENCE  
 W.F.: WOOD FENCE  
 W.W.: HOOD-WIRE FENCE

**FLOOD ZONE**  
 (FOR INFORMATIONAL PURPOSES ONLY)  
 SUBJECT PROPERTY SHOWN HEREON APPEARS TO BE LOCATED IN FLOOD ZONE "X", AREA OF MINOR FLOODING, PER F.I.R.M. PANEL NUMBER AS SHOWN, LAST REVISION DATE 8-24-09. THIS SURVEYOR MAKES NO WARRANTIES AS TO THE ACCURACY OF THE ABOVE INFORMATION. THE LOCAL F.E.M.A. AGENT SHOULD BE CONTACTED FOR VERIFICATION.

FORM T.L.G. AUT/2008

**SURVEYOR'S CERTIFICATE**

I, Steven L. Wright, Texas Registered Professional Land Surveyor No. 4823, do hereby certify that the survey plat hereon is a true and accurate representation of the property hereon described, and do further certify that the survey accurately depicts the substantial improvements to said property as shown on the plat and that there are no encroachments onto said property, or the easements shown, except as shown hereon.

**STEVEN LEE WRIGHT**  
 4823

**PROFESSIONAL LAND SURVEYOR**

**DATE**    **REVISION**    **DATE**    **REVISION**

**SURVEYOR'S NAME**    **DATED: 06-26-06**

**FOR THE FIRM**