

GC Home Inspection



**Residential • Multi-Family • Condos • Townhouses**

## **GC Home Inspection**

**Phone: 281-682-9558**

**Email: [chadlangston@me.com](mailto:chadlangston@me.com)**

**Visit us on the web: [gchomeinspection.com](http://gchomeinspection.com)**

1335 Outrigger  
Tiki Island, TX 77554



# GC Home Inspection

1212 Chesterwood  
Pearland, TX 77581

Phone:  
Fax:  
Email: [chad@gchomeinspection.com](mailto:chad@gchomeinspection.com)

## PROPERTY INSPECTION REPORT

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Prepared For: Mike Connell  
(Name of Client)

Concerning: 1335 Outrigger, Tiki Island, TX 77554  
(Address or Other Identification of Inspected Property)

By: Joey Vrana, Lic #24551 07/27/2021  
(Name and License Number of Inspector) (Date)

Chad Langston, Lic #7946  
(Name, License Number of Sponsoring Inspector)

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### PURPOSE, LIMITATIONS AND INSPECTOR / CLIENT RESPONSIBILITIES

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions. If any item or comment is unclear, you should ask the inspector to clarify the findings. It is important that you carefully read ALL of this information.

This inspection is subject to the rules ("Rules") of the Texas Real Estate Commission ("TREC"), which can be found at [www.trec.texas.gov](http://www.trec.texas.gov).

The TREC Standards of Practice (Sections 535.227-535.233 of the Rules) are the minimum standards for inspections by TREC-licensed inspectors. An inspection addresses only those components and conditions that are present, visible, and accessible at the time of the inspection. While there may be other parts, components or systems present, only those items specifically noted as being inspected were inspected. The inspector is NOT required to turn on decommissioned equipment, systems, utility services or apply an open flame or light a pilot to operate any appliance. The inspector is NOT required to climb over obstacles, move furnishings or stored items. The inspection report may address issues that are code-based or may refer to a particular code; however, this is NOT a code compliance inspection and does NOT verify compliance with manufacturer's installation instructions. The inspection does NOT imply insurability or warrantability of the structure or its components. Although some safety issues may be addressed in this report, this inspection is NOT a safety/code inspection, and the inspector is NOT required to identify all potential hazards.

In this report, the inspector shall indicate, by checking the appropriate boxes on the form, whether each item was inspected, not inspected, not present or deficient and explain the findings in the corresponding section in the body of the report form. The inspector must check the Deficient (D) box if a condition exists that adversely and materially affects the performance of a system or component or constitutes a hazard to life, limb or property as specified by the TREC Standards of Practice. General deficiencies include inoperability, material distress, water penetration, damage, deterioration, missing components, and unsuitable installation. Comments may be provided by the inspector whether or not an item is deemed deficient. The inspector is not required to prioritize or emphasize the importance of one deficiency over another.

Some items reported may be considered life-safety upgrades to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards or Deficiencies below.

THIS PROPERTY INSPECTION IS NOT A TECHNICALLY EXHAUSTIVE INSPECTION OF THE STRUCTURE, SYSTEMS OR COMPONENTS. The inspection may not reveal all deficiencies. A real estate inspection helps to reduce some of the risk involved in purchasing a home, but it cannot eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is recommended that you obtain as much information as is available about this property, including any seller's disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for or by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspector's responsibility to confirm that information obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous

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Promulgated by the Texas Real Estate Commission (TREC) P.O. Box 12188, Austin, TX 78711-2188 (512) 936-3000  
(<http://www.trec.texas.gov>).

or future reports.

ITEMS IDENTIFIED IN THE REPORT DO NOT OBLIGATE ANY PARTY TO MAKE REPAIRS OR TAKE OTHER ACTIONS, NOR IS THE PURCHASER REQUIRED TO REQUEST THAT THE SELLER TAKE ANY ACTION. When a deficiency is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods. Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

#### **TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES**

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions. Examples of such hazards include:

- malfunctioning, improperly installed or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathroom, kitchens, and exterior areas;
- malfunctioning arc fault protection (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as, smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined.

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered" because they were present prior to the adoption of codes prohibiting such conditions. While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate licensees also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms requires a seller to remedy conditions revealed by an inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for the sale or purchase of the home.

**INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.**

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**ADDITIONAL INFORMATION PROVIDED BY INSPECTOR**

# Summary

## Repair Items

### FOUNDATIONS

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The bolts in the Piers/pilings were observed to have minor corrosion. Improvements should be made to prevent further damage to the bolt and/or nut.

### ROOF COVERING MATERIALS

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It is recommended that exposed nail heads be caulked or sealed appropriately. Prior repairs to the roofing are evident. This would suggest that problems have been experienced in the past. This area should be monitored.

### WALLS (INTERIOR AND EXTERIOR)

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Damage to the siding at the exterior of the home was observed and should be repaired. Exterior wall penetrations should be examined and sealed as necessary. Possible moisture was detected behind the walls on the west side of the home. Further investigation and repairs should be made as necessary. (moisture meter reads 100%)

### CEILINGS AND FLOORS

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Patching was noted on the ceiling in the garage. The opening in the garage should be properly sealed to prevent pest infiltration. Water damage was noted on the ceiling in the garage. Further investigation and repairs should be made as necessary.

### DOORS (INTERIOR AND EXTERIOR)

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The hardware and/or striker plate on the side entry door requires adjustment in order to function properly. The exterior doors should be better sealed to promote energy efficiency.

### STAIRWAYS (INTERIOR AND EXTERIOR)

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Missing railings should be replaced.

## PORCHES, BALCONIES, DECKS, AND CARPORTS

Loose deck boards should be resecured as necessary.

The boat dock/deck is damaged (board and beams are loose, slipping and sagging). Further investigation and repairs should be made as necessary.

## BRANCH CIRCUITS, CONNECTED DEVICES, AND FIXTURES

Missing globes for light fixtures in the utility room should be replaced.

A light is inoperative in the utility room. If the bulbs are not blown, the circuit should be investigated.

The installation of a ground fault circuit interrupter (GFCI) is recommended at the exterior of the home.

A ground fault circuit interrupter (GFCI) offers protection from shock or electrocution.

## HEATING EQUIPMENT

The unit was turned off at the time of inspection due to known HVAC problems. Further investigation and repairs should be made as necessary.

## COOLING EQUIPMENT

The discharge location of the condensate line for the air conditioning system should be improved so it protrudes well past the wall penetration. The current configuration is flush and drips down the wall.

Damaged insulation on refrigerant lines should be repaired.

The auxiliary drain pan installed below the evaporator coil of the air conditioning system contains water and debris. This should be emptied and cleaned.

Missing insulation on secondary condensation drain line should be replaced to prevent water damage.

The air conditioning primary condensate line appears to be obstructed. This is evident by the presence of excessive amounts of water in the drain pan. Minor improvements are needed.

The air conditioning system was inoperative at the time of the inspection. A qualified heating and cooling technician should be consulted to further evaluate of this condition and the remedies available for correction.

Damaged insulation on refrigerant lines should be repaired.

## PLUMBING SUPPLY, DISTRIBUTION SYSTEMS AND FIXTURES

If the gas line for the clothes dryer is to remain unused, it would be recommended to cap or plug the gas line in the laundry room.

## DRAINS, WASTES, AND VENTS

Flexible/adjustable waste pipes are not allowed by most cities or municipalities and can cause the drain to become clogged more easily. It is recommended to replace this pipe with an appropriate material.

## **GARAGE DOOR OPERATORS**

When a garage door is equipped with an automatic opener, the locking mechanism should be disabled or removed.

## **DRYER EXHAUST SYSTEMS**

A damper should be installed (and/or repaired) on the dryer vent to prevent pest infiltration. The damaged damper cover should also be repaired or replaced as necessary.

## **Items To Monitor**

### **ROOF COVERING MATERIALS**

Older roof, nearing end (last 1/3 to 1/4) of serviceable life. Observed one or more of the following conditions: brittle, cracked, curled ends, and/or excessive granular loss of shingles.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

## I. STRUCTURAL SYSTEMS

### A. Foundations

*Type of Foundation(s):* Pier & Beam - Crawlspace

*Comments:*

It is the opinion of the inspector that the foundation was performing as intended at the time of inspection.

The bolts in the Piers/pilings were observed to have minor corrosion. Improvements should be made to prevent further damage to the bolt and/or nut.

### B. Grading and Drainage

*Comments:*

This system was performing as intended at the time of inspection.

### C. Roof Covering Materials

*Types of Roof Covering:* Asphalt Shingles

*Viewed From:* Walked on roof

*Comments:*

Older roof, nearing end (last 1/3 to 1/4) of serviceable life. Observed one or more of the following conditions: brittle, cracked, curled ends, and/or excessive granular loss of shingles.



I=Inspected

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D=Deficient

I	NI	NP	D
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I=Inspected

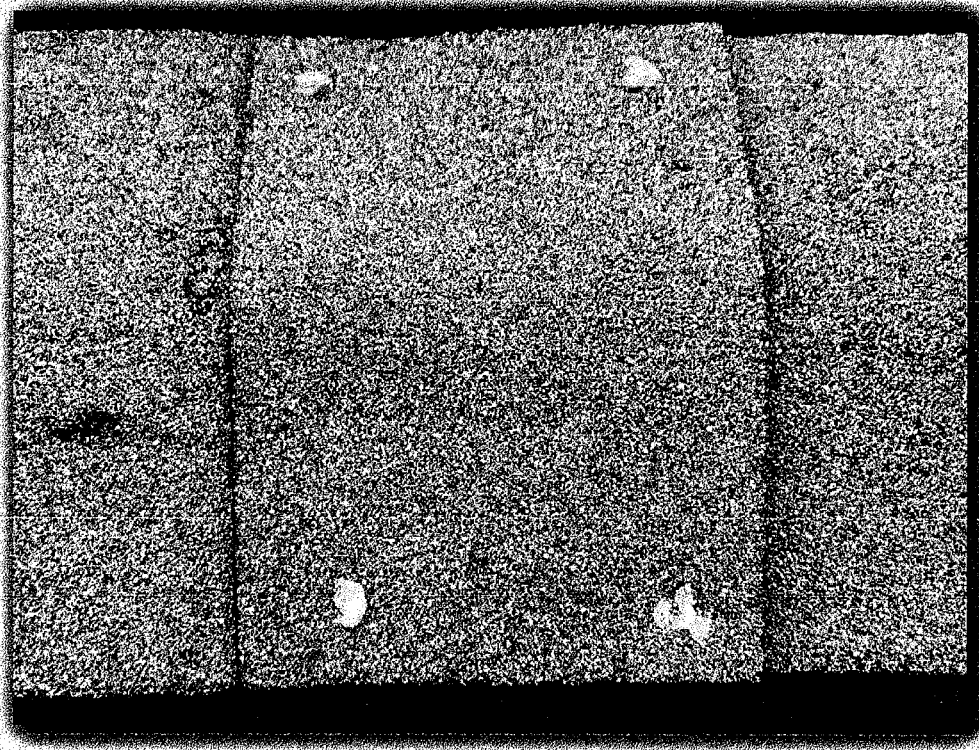
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NP=Not Present

D=Deficient

I	NI	NP	D
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It is recommended that exposed nail heads be caulked or sealed appropriately.



Prior repairs to the roofing are evident. This would suggest that problems have been experienced in the past. This area should be monitored.

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**D. Roof Structures and Attics**

*Viewed From:* Viewed from access hatch

*Approximate Average Depth of Insulation:* 8 inches

*Comments:*

This system was performing as intended at the time of inspection.

**E. Walls (Interior and Exterior)**

*Comments:*

Damage to the siding at the exterior of the home was observed and should be repaired.

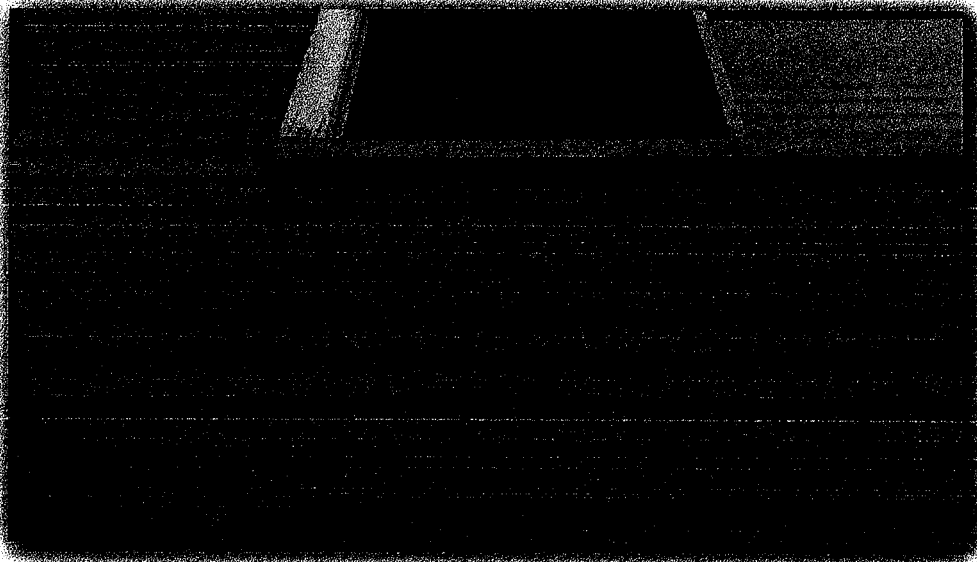
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I	NI	NP	D
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Exterior wall penetrations should be examined and sealed as necessary.

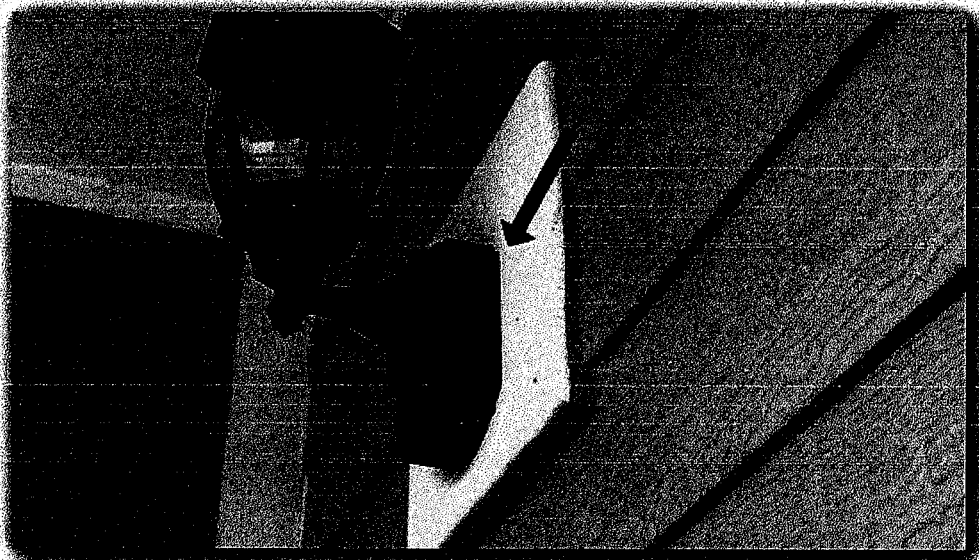
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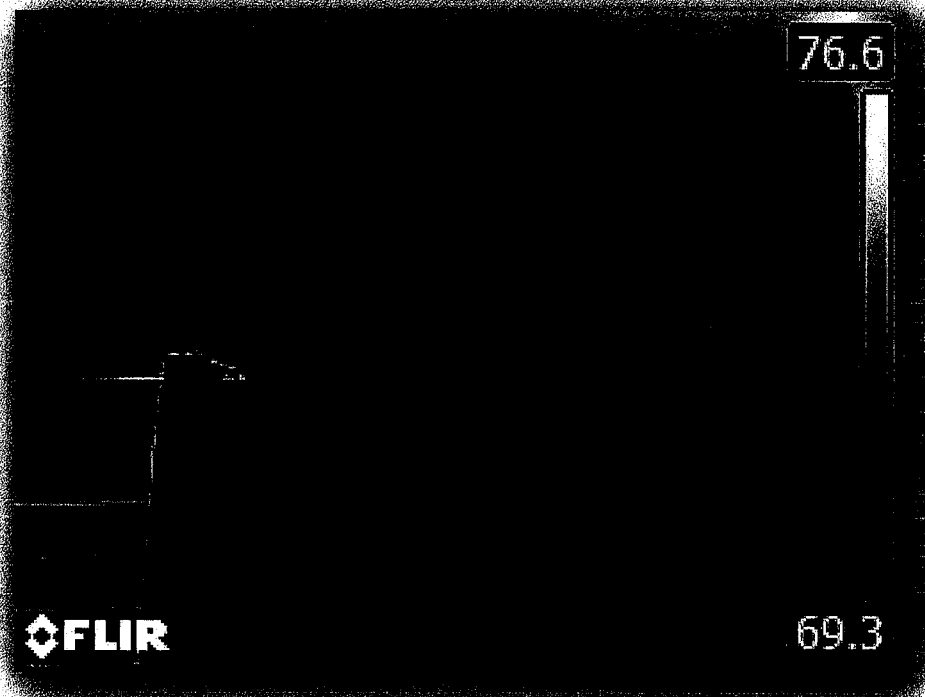
NP=Not Present

D=Deficient

I	NI	NP	D
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Possible moisture was detected behind the walls on the west side of the home. Further investigation and repairs should be made as necessary. (moisture meter reads 100%)



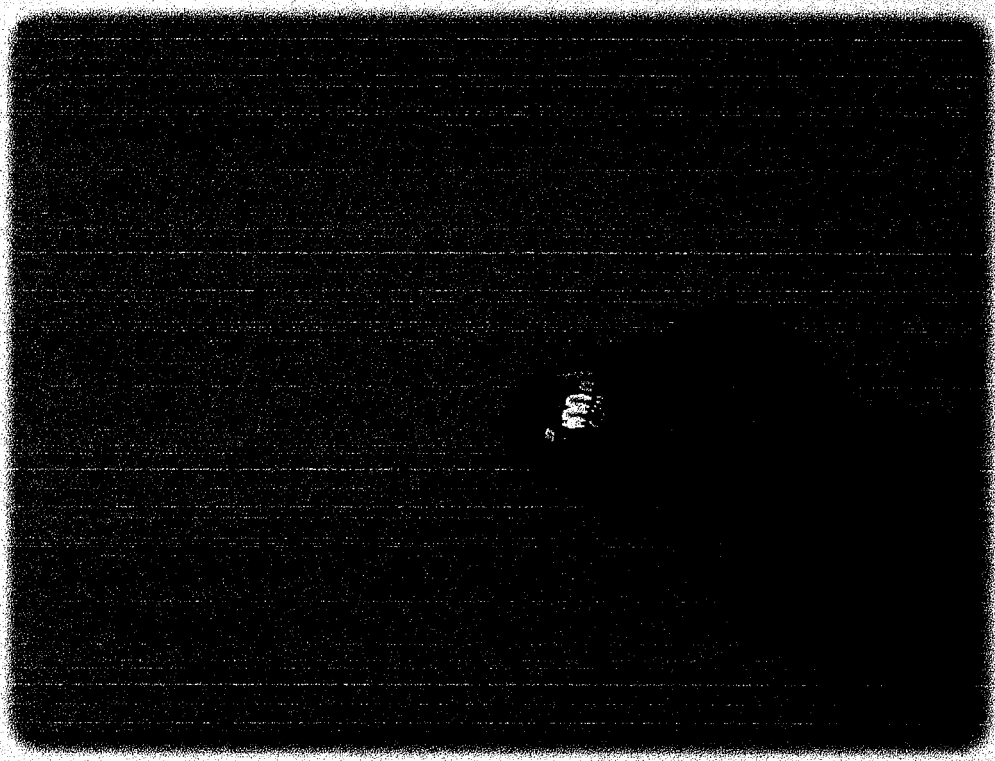
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I=Inspected

NI=Not Inspected

NP=Not Present

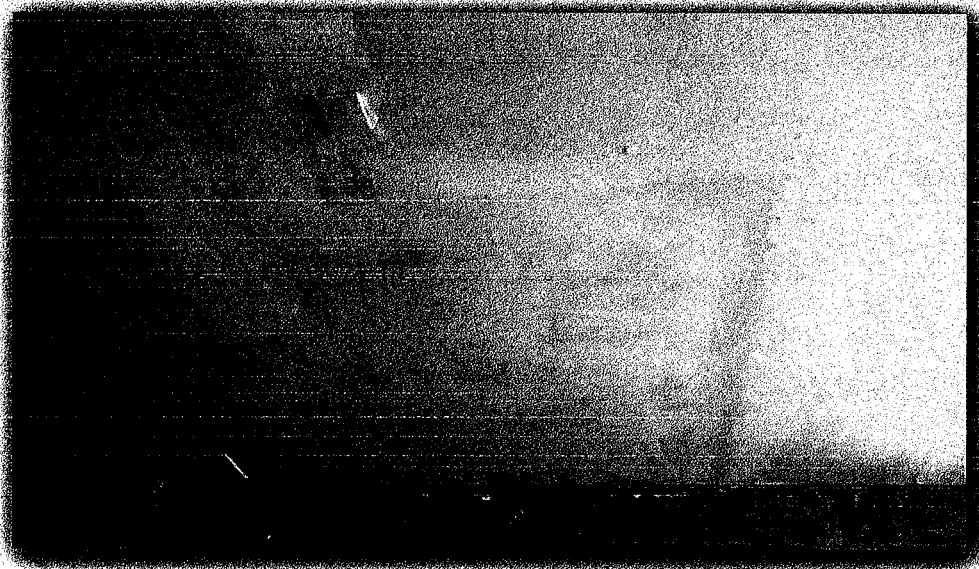
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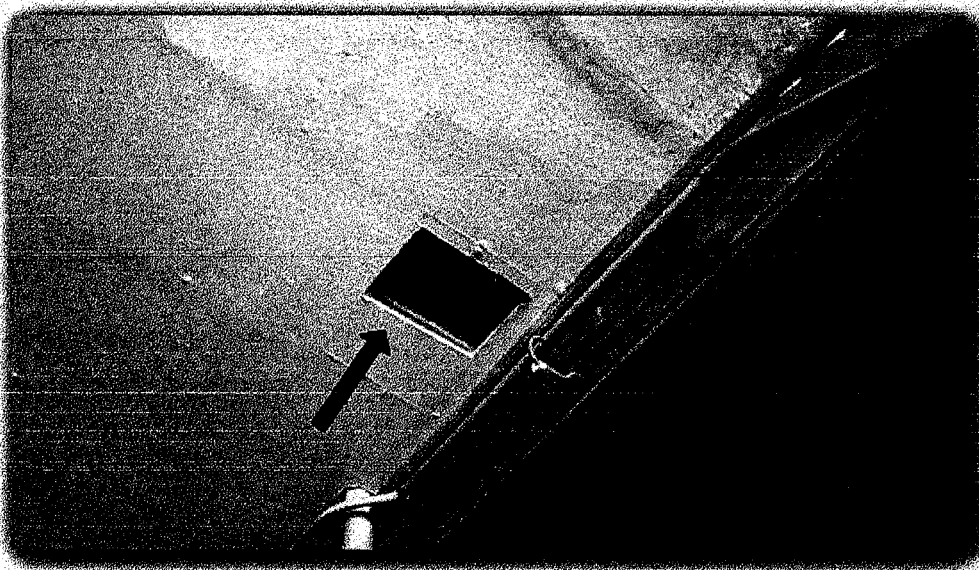
**F. Ceilings and Floors**

*Comments:*

Patching was noted on the ceiling in the garage.



The opening in the garage should be properly sealed to prevent pest infiltration.



Water damage was noted on the ceiling in the garage. Further investigation and repairs

I=Inspected

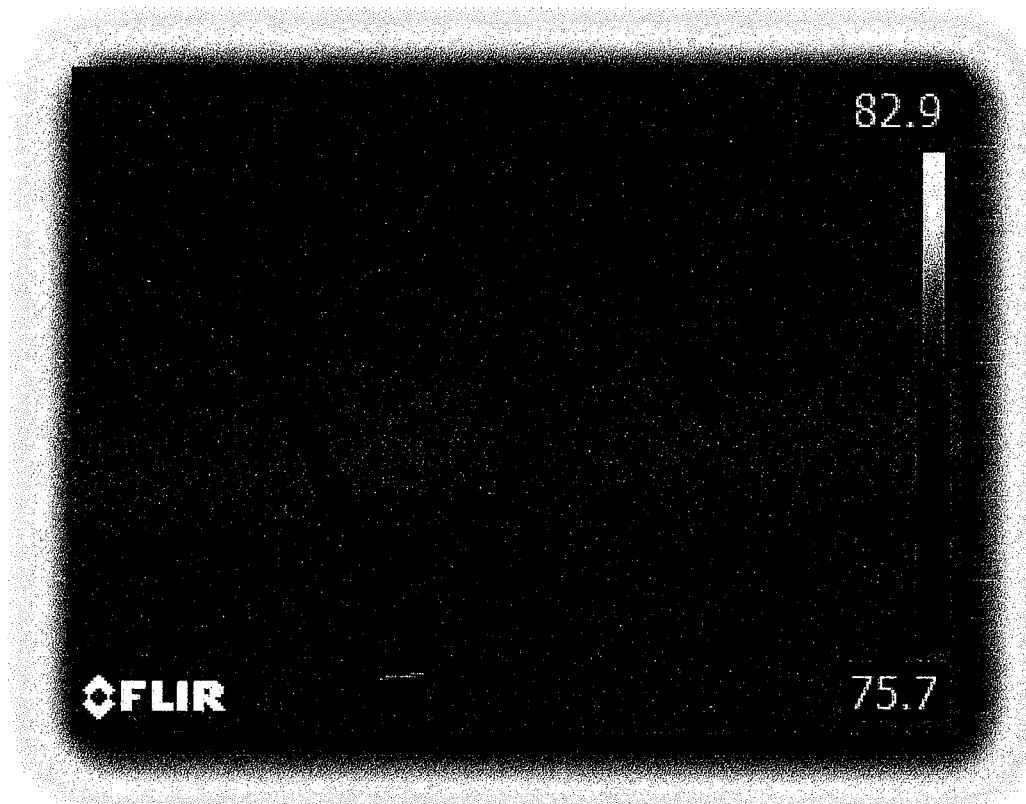
NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

should be made as necessary.





I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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**G. Doors (Interior and Exterior)**

*Comments:*

The hardware and/or striker plate on the side entry door requires adjustment in order to function properly.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



The exterior doors should be better sealed to promote energy efficiency.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

**H. Windows**

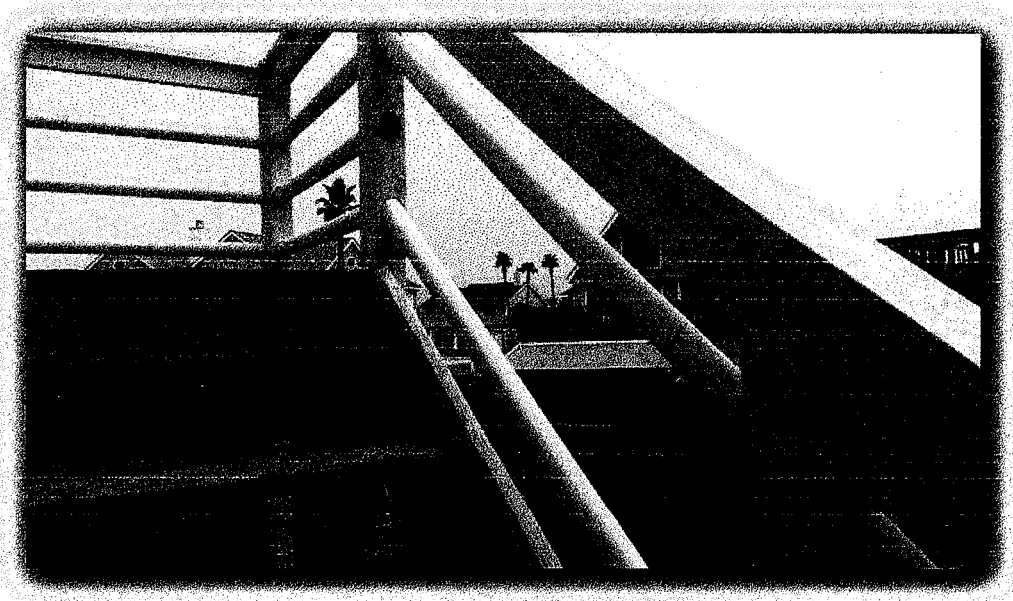
*Comments:*

This system was performing as intended at the time of inspection.

**I. Stairways (Interior and Exterior)**

*Comments:*

Missing railings should be replaced.



**J. Fireplaces and Chimneys**

*Comments:*

**K. Porches, Balconies, Decks, and Carports**

*Comments:*

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Loose deck boards should be resecured as necessary.



The boat dock/deck is damaged (board and beams are loose, slipping and sagging). Further investigation and repairs should be made as necessary.

## II. ELECTRICAL SYSTEMS

I=Inspected

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D=Deficient

I	NI	NP	D
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**A. Service Entrance and Panels**

*Comments:*

Sub panel on northeast corner of the home-

This system was performing as intended at the time of inspection.

Sub panel in the northeast bedroom-

This system was performing as intended at the time of inspection.

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**B. Branch Circuits, Connected Devices, and Fixtures**

*Type of Wiring:* Copper

*Comments:*

Missing globes for light fixtures in the utility room should be replaced.



A light is inoperative in the utility room. If the bulbs are not blown, the circuit should be investigated.

The installation of a ground fault circuit interrupter (GFCI) is recommended at the exterior of the home. A ground fault circuit interrupter (GFCI) offers protection from shock or electrocution.

I=Inspected

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D=Deficient

I NI NP D



### III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

#### A. Heating Equipment

*Type of Systems:* Central

*Energy Sources:* Electric

*Comments:*

Unit servicing the downstairs-

This system was performing as intended at the time of inspection.

Unit servicing the upstairs-

The unit was turned off at the time of inspection due to known HVAC problems. Further investigation and repairs should be made as necessary.

#### B. Cooling Equipment

*Type of Systems:* Central

*Comments:*

2 ton 2016 unit servicing the downstairs-

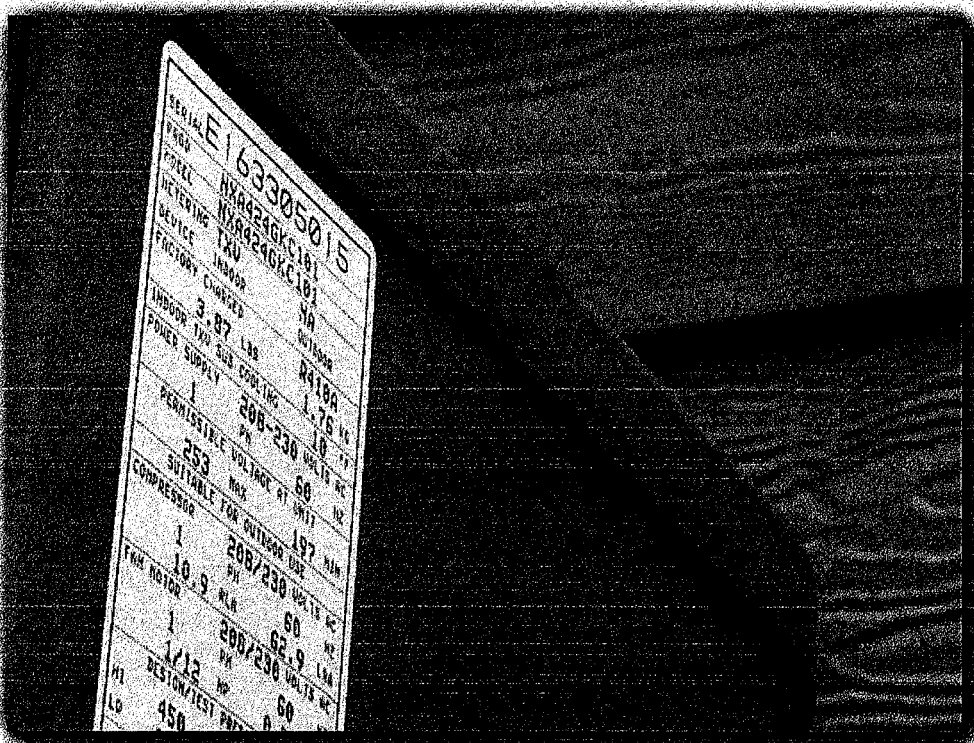
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NP=Not Present

D=Deficient

I NI NP D



The discharge location of the condensate line for the air conditioning system should be improved so it protrudes well past the wall penetration. The current configuration is flush and drips down the wall.



Damaged insulation on refrigerant lines should be repaired.

**I=Inspected**

**NI=Not Inspected**

**NP=Not Present**

**D=Deficient**

<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D</b>
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The auxiliary drain pan installed below the evaporator coil of the air conditioning system contains water and debris. This should be emptied and cleaned.



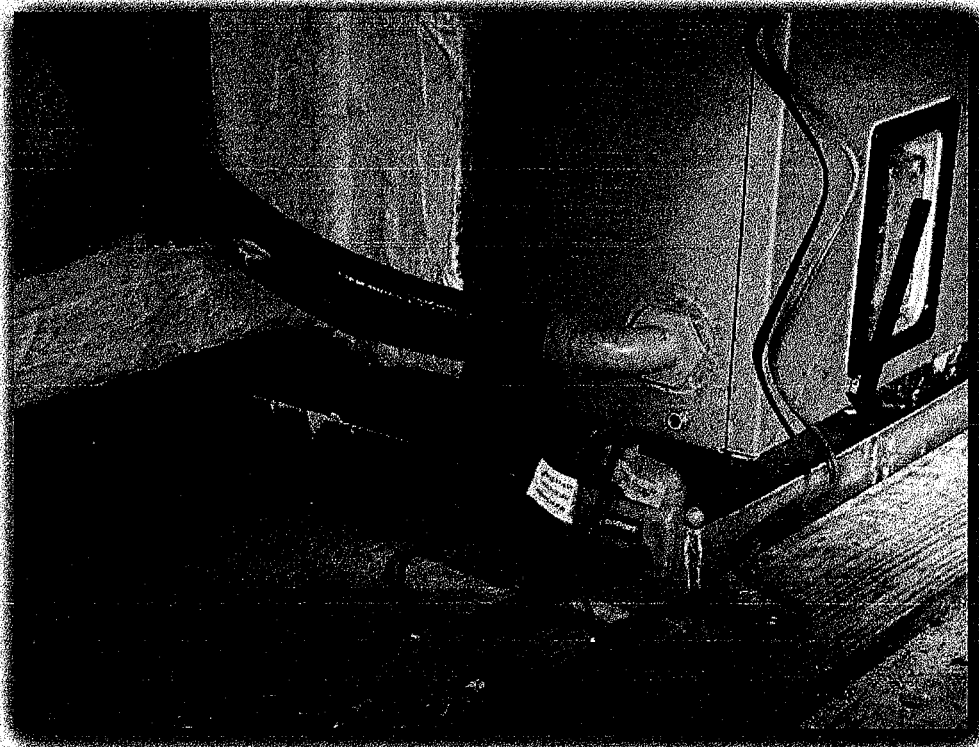
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



Missing insulation on secondary condensation drain line should be replaced to prevent water damage.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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The air conditioning primary condensate line appears to be obstructed This is evident by the presence of excessive amounts of water in the drain pan. Minor improvements are needed.

2 ton 2016 unit servicing the upstairs-

The air conditioning system was inoperative at the time of the inspection. A qualified heating and cooling technician should be consulted to further evaluate of this condition and the remedies available for correction.

Damaged insulation on refrigerant lines should be repaired.

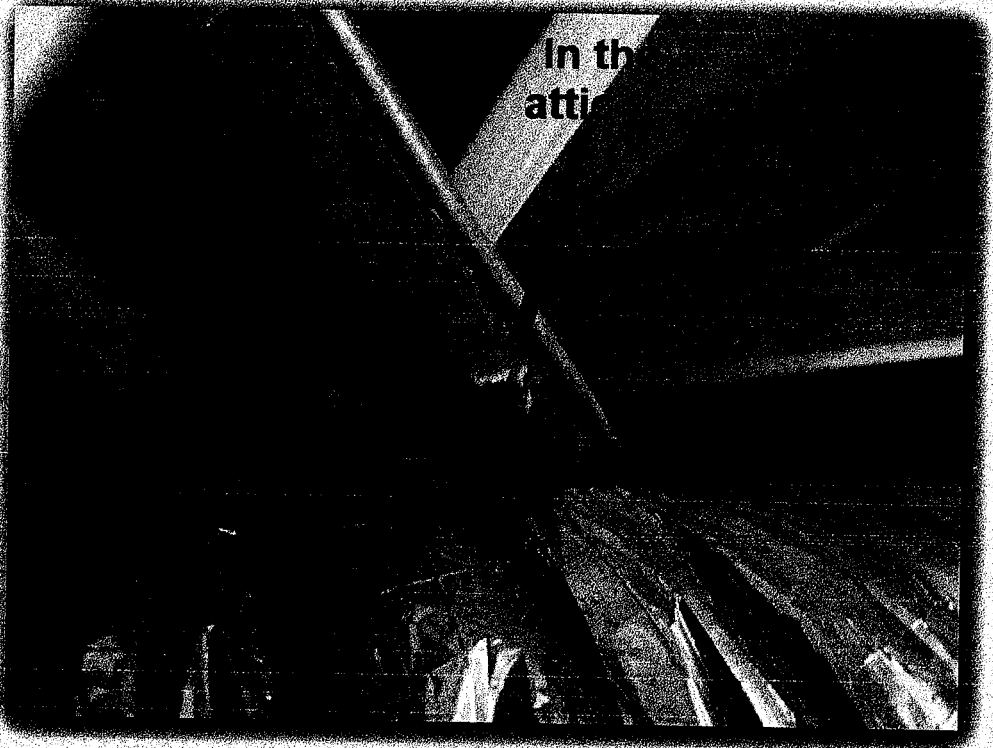
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D=Deficient

I	NI	NP	D
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I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

**C. Duct Systems, Chases, and Vents**

*Comments:*

This system was performing as intended at the time of inspection.

**IV. PLUMBING SYSTEMS**

**A. Plumbing Supply, Distribution Systems and Fixtures**

*Location of water meter:* Northeast corner of the lot

*Location of main water supply valve:* Unable to locate a shutoff valve

*Static water pressure reading:* 60 psi

*Comments:*

If the gas line for the clothes dryer is to remain unused, it would be recommended to cap or plug the gas line in the laundry room.



**B. Drains, Wastes, and Vents**

*Comments:*

Flexible/adjustable waste pipes are not allowed by most cities or municipalities and can cause the drain to become clogged more easily. It is recommended to replace this pipe with an appropriate material.

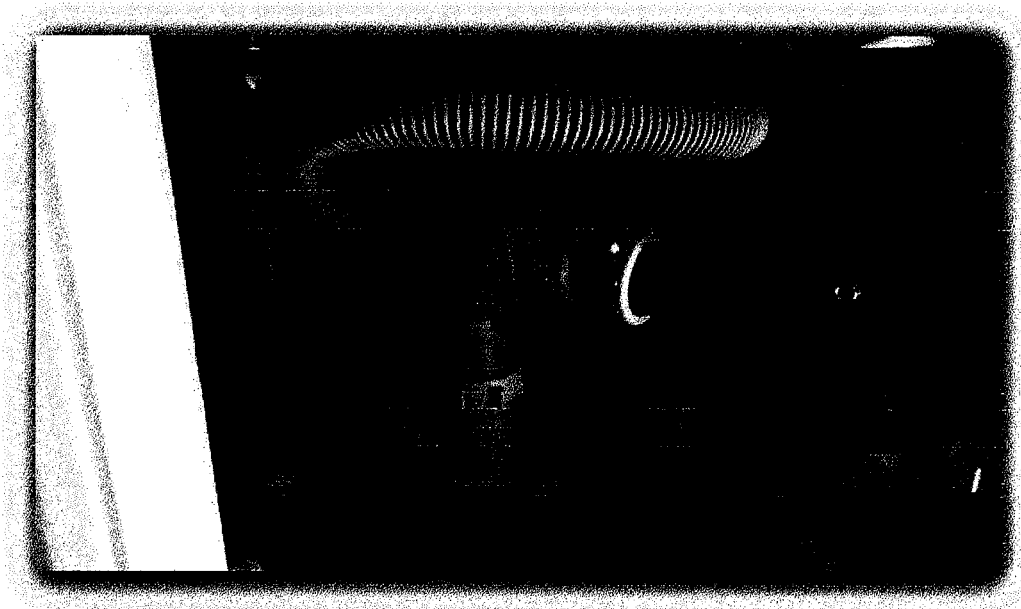
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**C. Water Heating Equipment**

*Energy Sources:* Electric

*Capacity:* 38 Gallon

*Comments:*

2012 model-

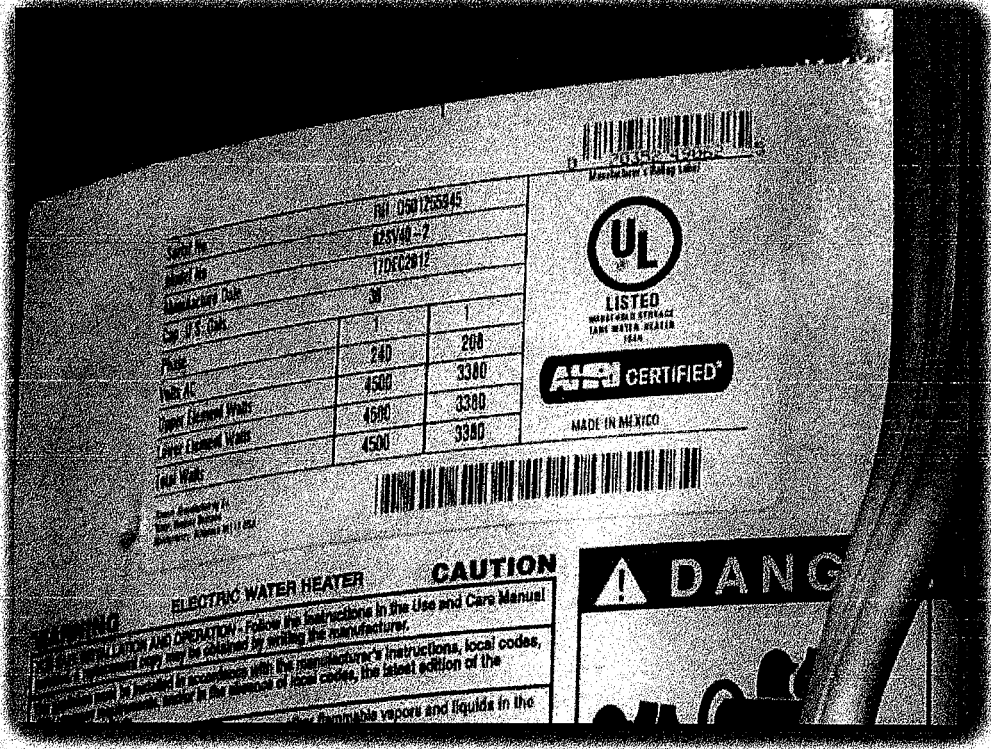
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D=Deficient

I NI NP D



This system was performing as intended at the time of inspection.

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**D. Hydro-Massage Therapy Equipment**

Comments:

**V. APPLIANCES**

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**A. Dishwashers**

Comments:

Model# - DW80R9950UT  
S/N - 0GAVGDAN100158K

This system was performing as intended at the time of inspection.

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**B. Food Waste Disposers**

Comments:

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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This system was performing as intended at the time of inspection.

**C. Range Hood and Exhaust Systems**

*Comments:*

This system was performing as intended at the time of inspection.

**D. Ranges, Cooktops, and Ovens**

*Comments:*

Model# - NX58R9421ST/AA

S/N - 0GA77DDN100320P

This system was performing as intended at the time of inspection.

**E. Microwave Ovens**

*Comments:*

Model# - ME21R706BAT

S/N - 0BLR7WON100345Z

This system was performing as intended at the time of inspection.

**F. Mechanical Exhaust Vents and Bathroom Heaters**

*Comments:*

This system was performing as intended at the time of inspection.

**G. Garage Door Operators**

*Comments:*

When a garage door is equipped with an automatic opener, the locking mechanism should be disabled or removed.

**H. Dryer Exhaust Systems**

*Comments:*

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

A damper should be installed (and/or repaired) on the dryer vent to prevent pest infiltration. The damaged damper cover should also be repaired or replaced as necessary.





## TEXAS OFFICIAL WOOD DESTROYING INSECT REPORT

*Rule §7.176 Requires this department prescribed form to be used for real estate transactions in Texas regarding the visible presence or absence of wood destroying insects and conditions conducive to infestations of wood destroying insects.*

1335 Outrigger

Inspected Address

Tiki Island

City

77554

Zip Code

### SCOPE OF INSPECTION

- A. This inspection covers only the multi-family structure, primary dwelling or place of business. Sheds, detached garages, lean-tos, fences, guest houses or any other structure will not be included in this inspection report unless specifically noted in Section 5 of this report.
- B. This inspection is limited to those parts of the structure(s) that are visible and accessible at the time of the inspection. Examples of inaccessible areas include but are not limited to (1) areas concealed by wall coverings, furniture, equipment and stored articles and (2) any portion of the structure in which inspection would necessitate removing or defacing any part of the structure(s) (including the surface appearance of the structure). **Inspection does not cover any condition or damage which was not visible in or on the structure(s) at time of inspection but which may be revealed in the course of repair or replacement work.**
- C. Due to the characteristics and behavior of various wood destroying insects, it may not always be possible to determine the presence of infestation without defacing or removing parts of the structure being inspected. Previous damage to trim, wall surface, etc., is frequently repaired prior to the inspection with putty, spackling, tape or other decorative devices. Damage that has been concealed or repaired may not be visible except by defacing the surface appearance. **The WDI inspecting company cannot guarantee or determine that work performed by a previous pest control company, as indicated by visual evidence of previous treatment, has rendered the pest(s) inactive.**
- D. If visible evidence of active or previous infestation of listed wood destroying insects is reported, it should be assumed that some degree of damage is present.
- E. If visible evidence is reported, it does not imply that damage should be repaired or replaced. Inspectors of the inspection company usually are not engineers or builders qualified to give an opinion regarding the degree of structural damage. Evaluation of damage and any corrective action should be performed by a qualified expert.
- F. **THIS IS NOT A STRUCTURAL DAMAGE REPORT OR A WARRANTY AS TO THE ABSENCE OF WOOD DESTROYING INSECTS.**
- G. If termite treatment (including pesticides, baits or other methods) has been recommended, the treating company must provide a diagram of the structure(s) inspected and proposed for treatment, label of pesticides to be used and complete details of warranty (if any). At a minimum, the warranty must specify which areas of the structure(s) are covered by warranty, renewal options and approval by a certified applicator in the termite category. Information regarding treatment and any warranties should be provided by the party contracting for such services to any prospective buyers of the property. The inspecting company has no duty to provide such information to any person other than the contracting party.
- H. There are a variety of termite control options offered by pest control companies. These options will vary in cost, efficacy, areas treated, warranties, treatment techniques and renewal options.
- I. There are some specific guidelines as to when it is appropriate for corrective treatment to be recommended. Corrective treatment may only be recommended if (1) there is visible evidence of an active infestation in or on the structure, (2) there is visible evidence of a previous infestation with no evidence of a prior treatment.
- J. If treatment is recommended based solely on the presence of conducive conditions, a preventive treatment or correction of conducive conditions may be recommended. The buyer and seller should be aware that there may be a variety of different strategies to correct the conducive condition(s). These corrective measures can vary greatly in cost and effectiveness and may or may not require the services of a licensed pest control operator. There may be instances where the inspector will recommend correction of the conducive conditions by either mechanical alteration or cultural changes. Mechanical alteration may be in some instances the most economical method to correct conducive conditions. If this inspection report recommends any type of treatment and you have any questions about this, you may contact the inspector involved, another licensed pest control operator for a second opinion, and/or the Structural Pest Control Service of the Texas Department of Agriculture.

1335 Outrigger Tiki Island 77554  
Inspected Address City Zip Code

1A. GC Home Inspection Name of Inspection Company  
1B. 0777379 SPCS Business License Number

1C. 1212 Chesterwood Pearland TX 77581  
Address of Inspection Company City State Zip Telephone No.

1D. Joey Vrana Name of Inspector (Please Print)  
1E. Certified Applicator [ ] Technician [x] (check one)

1F. Tuesday, July 27, 2021  
Inspection Date

2. Mike Connell Name of Person Purchasing Inspection  
Seller [ ] Agent [ ] Buyer [x] Management Co. [ ] Other [ ]

3. Connell, Mike  
Owner/Seller

4. REPORT FORWARDED TO: Title Company or Mortgagee [ ] Purchaser of Service [x] Seller [ ] Agent [x] Buyer [x]  
(Under the Structural Pest Control regulations only the purchaser of the service is required to receive a copy)

The structure(s) listed below were inspected in accordance with the official inspection procedures adopted by the Texas Structural Pest Control Service. This report is made subject to the conditions listed under the Scope of Inspection. A diagram must be attached including all structures inspected.

5A. House and garage only.  
List structure(s) inspected that may include residence, detached garages and other structures on the property. (Refer to Part A, Scope of Inspection)

5B. Type of Construction:  
Foundation: Slab [ ] Pier and Beam [x] Pier Type: Concrete Basement [ ] Other: \_\_\_\_\_  
Siding: Wood [ ] Fiber Cement Board [x] Brick [ ] Stone [ ] Stucco [ ] Other: \_\_\_\_\_  
Roof: Composition [x] Wood Shingle [ ] Metal [ ] Tile [ ] Other: \_\_\_\_\_

6A. This company has treated or is treating the structure for the following wood destroying insects: N/A  
If treating for subterranean termites, the treatment was: Partial [ ] Spot [ ] Bait [ ] Other [ ]  
If treating for drywood termites or related insets, the treatment was: Full [ ] Limited [ ]

6B. N/A N/A N/A  
Date of Treatment by Inspecting Company Common Name of Insect Name of Pesticide, Bait or Other Method  
This company has a contract or warranty in effect for control of the following wood destroying insects:

Yes [ ] No [x] List Insects: N/A  
If "Yes", copy(ies) of warranty and treatment diagram must be attached.

Neither I nor the company for which I am acting have had, presently have, or contemplate having any interest in the purchase of sale of this property. I do further state that neither I nor the company for which I am acting is associate in any way with any party to this real estate transaction.

7A. [Signature] 0854516  
Inspector (Technician or Certified Applicator Name and License Number)

Others Present:  
7B. N/A  
Apprentices, Technicians, or Certified Applicators (Names) and Registration/License Number(s)

Notice of Inspection Was Posted At or Near:  
8A. Electric Breaker Box [ ] Water Heater Closet [ ] Beneath the Kitchen Sink [x]  
8B. Date Posted: 7/27/21

9A. Were any areas of the property obstructed or inaccessible? Yes [x] No [ ]  
(Refer to Part B & C, Scope of Inspection) If "Yes" specify in 9B.  
9B. The obstructed or inaccessible areas include but are not limited to the following:  
Attic [ ] Insulated area of attic [x] Plumbing Areas [x] Planter box abutting structure [ ]  
Deck [ ] Sub Floors [ ] Slab Joints [ ] Crawl Space [ ]  
Soil Grade Too High [ ] Heavy Foliage [x] Eaves [x] Weepholes [ ]  
Other [ ] Specify: \_\_\_\_\_

10A. Conditions conducive to wood destroying insect infestation? Yes [x] No [ ]  
(Refer to Part J, Scope of Inspection) If "Yes" specify in 10B.  
10B. Conducive Conditions include but are not limited to:  
Debris under or around structure (K) [ ] Wood to Ground Contact (G) [ ] Formboards left in place (I) [ ] Excessive Moisture (J) [ ]  
Planter box abutting structure (O) [ ] Footing too low or soil line too high (L) [ ] Wood Rot (M) [ ] Heavy Foliage (N) [x]  
Insufficient ventilation (T) [ ] Wood Pile in Contact with Structure (Q) [ ] Wooden Fence in Contact with the Structure (R) [ ]  
Other (C) [ ] Specify: \_\_\_\_\_

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Inspected Address

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11. Inspection Reveals Visible Evidence in or on the structure:

Active Infestation

Previous Infestation

Previous Treatment

11A. Subterranean Termites

Yes  No

Yes  No

Yes  No

11B. Drywood Termites

Yes  No

Yes  No

Yes  No

11C. Formosan Termites

Yes  No

Yes  No

Yes  No

11D. Carpenter Ants

Yes  No

Yes  No

Yes  No

11E. Other Wood Destroying Insects

Yes  No

Yes  No

Yes  No

Specify: N/A

11F. Explanation of signs of previous treatment (including pesticides, baits, existing treatment stickers or other methods) identified:

Drill holes at front of home.

11G. Visible evidence of: Previous subs has been observed in the following areas: Front of home.

If there is visible evidence of active or previous infestation, it must be noted. The type of insect(s) must be listed on the first blank and all identified infested areas of the property inspected must be noted in the second blank. (Refer to Part D, E & F, Scope of Inspection)

12A. Corrective treatment recommended for active infestation or evidence of previous infestation with no prior treatment

as identified in Section 11. (Refer to Part G, H and I, Scope of Inspection)

Yes

No

12B. A preventive treatment and/or correction of conducive conditions as identified in 10A & 10B is recommended as follows:

Yes

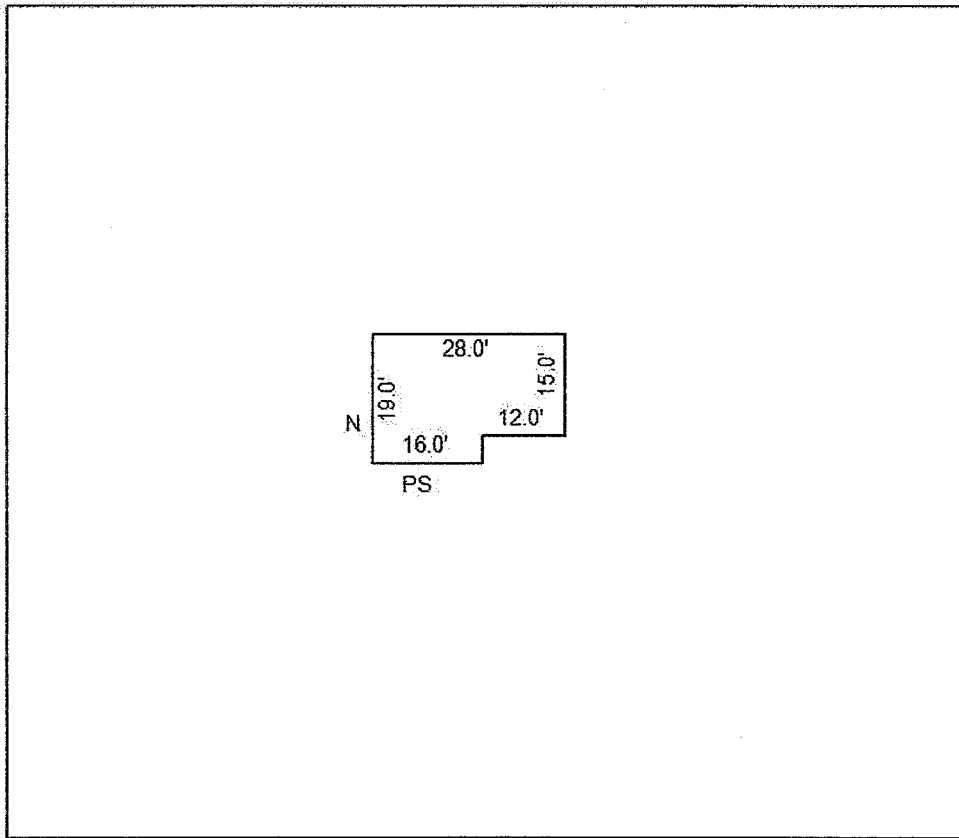
No

Specify reason: Clear heavy vegetation from east side of home.

Refer to Scope of Inspection Part J

**Diagram of Structure(s) Inspected**

The inspector must draw a diagram including approximate perimeter measurements and indicate active or previous infestation and type of insect by using the following codes: E-Evidence of infestation; A-Active; P-Previous; D-Drywood Termites; S-Subterranean Termites; F-Formosan Termites; C-Conducive Conditions; B-Wood Boring Beetles; H-Carpenter Ants; Other(s) - Specify PS-previous subs, N-Heavy foliage.



Additional Comments \_\_\_\_\_

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**Statement of Purchaser**

I have received the original or a legible copy of this form. I have read and understand any recommendations made. I have also read and understand the "Scope of Inspection." I understand that my inspector may provide additional information as an addendum to this report.

If additional information is attached, list number of pages: N/A

Signature of Purchaser of Property or their Designee

Date

7/27/21

Customer or Designee not Present      **Buyers Initials** \_\_\_\_\_