



## FASCINATING DETAILS, UPGRADES DISTINGUISH ARTS DISTRICT TOWNHOME

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*For  
Sale*

Elegance, style and convenience foretell the lifestyle for this three bedroom/three-and-a-half bath townhome in the Arts District. From oak hardwood and travertine floors to spectacular wainscoting, millwork, and moldings, this delight presents keen detailing throughout its four-level floor plan.

**1403 BEACHTON STREET | HOUSTON, TX 77007**

**\$575,000**



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## FINE LIVING IN THE HEART OF ART, ARCHITECTURE ABOUNDS WITH BONUS SPACES, SKYLINE VISTA

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Well-thought design and practicality embody each space. A superb open-plan kitchen impresses: storage extends floor to ceiling, including vintage-look glass-door cabinets with exterior window backdrop, large walk-in pantry, waste can/spice rack pullouts; roomy island; granite counters; subway tile backsplash. The primary suite features an expanded-length vanity with dual sinks; luxurious glass-enclosure for shower and large soaking tub combo; walk-in closet with

built-in dressers, shelving. The top-level den and game rooms access an excellent slate-floored terrace and a show stopping view of the Houston skyline. Both secondary bedrooms offer ensuites. Custom window treatments. High ceilings. Two-car garage adds immense storage, private driveway. Outside: enclosed yard featuring lit pergola with ceiling fan, low-upkeep turf, mature plants; wrought iron and privacy fencings.

# FEATURES AND UPGRADES

## SIGNATURE FEATURES

Open Floor Plan With Flowing Living Room, Dining, Kitchen and 12' Ceilings  
Fourth-Floor Game Room, Den, and Roof Deck With Downtown Views

Enclosed Pet-Friendly Yard With Synthetic Turf, Established Landscaping, Sprinkler System, and Deck With Cedar Pergola With Ceiling Fan and Lights

Crown Molding, Wainscoting and Craftsman Style Window Trim on all Levels With Custom Built-in Bookshelves/Media Storage in Living Room and Den

Solid Hardwood Floors Throughout  
Sizable Secondary Bedrooms With Ensuite Bathrooms

Two Inch Plantation Shutters in Living Room, Custom Draperies and Cellular Black Out Shades in Primary Suite, and Custom Roman Shades on Fourth Level

Second Level Grilling and Entertaining Balcony

Ceiling Fans in Living Room and all Bedrooms

In-Ceiling Surround Sound System Installed in Living Room; Wiring for Security Cameras

## KITCHEN & DINING

Large Island With Undermount 60/40 Dual Bay, Extra-Deep Stainless Steel Sink, Faucet With Pull-Out Sprayer, Recently Installed LG Dishwasher, and Garbage Disposer

Oversized Walk-in Pantry

Extensive White Shaker Front Cabinets With Brushed Nickel Hardware,

Adjustable Shelving, Select Glass Display Inserts, Soft-Close Drawers, Waste Bin Pull-Out, Speciality Spice Drawers, Pot/Pan Drawers, and Under Cabinet Lighting

Absolute Black Granite Countertop Surrounded With Tastefully Contrasting Granite Island Top and Classic White Subway Tile Backsplash

GE Stainless Steel Appliance Suite Including Gas Cooktop, Oven, Microwave, and Refrigerator

## OWNERS' SUITE

Generously Sized Primary Bedroom With Ample Space for King-Sized Bed, Dressers, and Seating Area

Absolute Black Granite Countertops With Dual Undermount Oval Sinks and Brushed Nickel Fixtures Topping Shaker Style White Cabinetry Including Integrated Hamper Storage

Separate Water Closet

Large Soaking Tub Set in Expansive Frameless Glass Shower Enclosure With Decorative Tile, Seating Ledge, and Multiple Shampoo Nooks

Oversized Walk in Closet With Extensive Built-in Storage and Millwork

Elegant Travertine Floors and Tile

## FOUNDATION, MECHANICAL SYSTEMS, AND GENERAL

Two 14-Seer HVAC Systems With Digital Programmable Thermostats

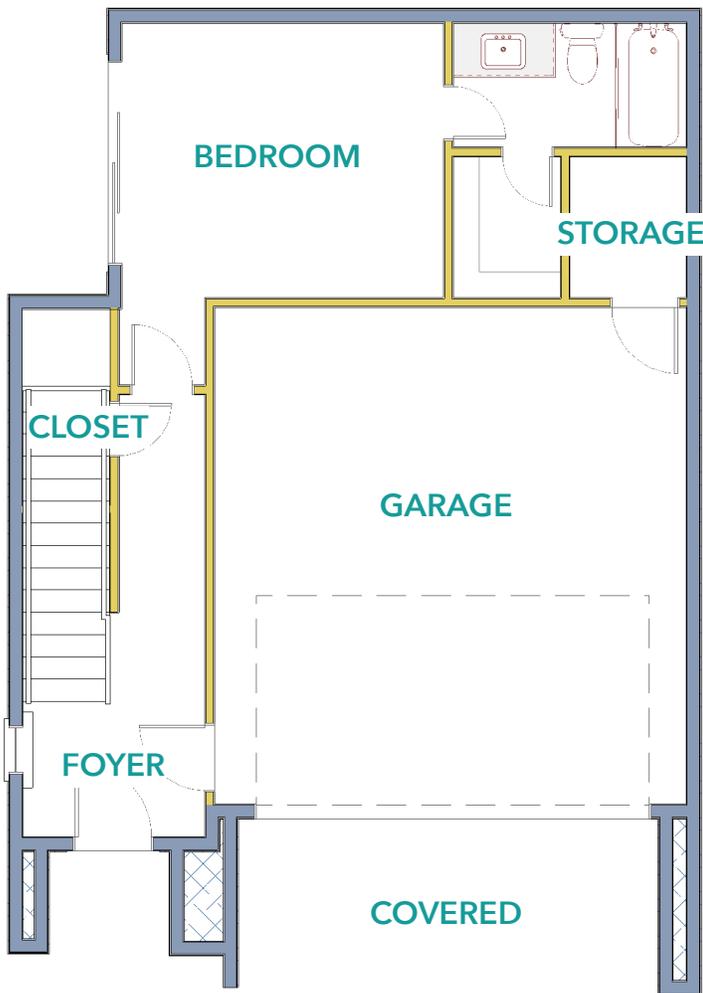
Low-E Double Pane Insulated Vinyl Framed Windows

Tankless Water Heater

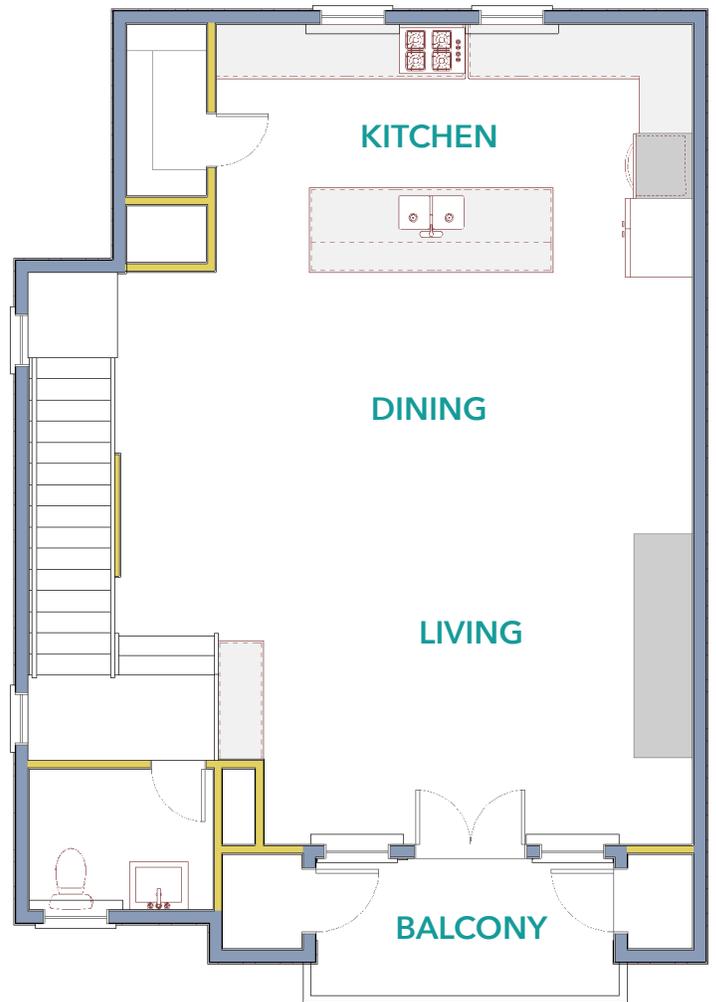
Fully Guttered With Integrated Drainage

# FLOOR PLAN

*The thoughtfully designed residence at 1403 Beachton St. boasts a FLOOR PLAN BUILT FOR COMMUNAL GATHERINGS that also has plenty of places to tuck away for private time to work, rest, or play!*



**FIRST FLOOR**

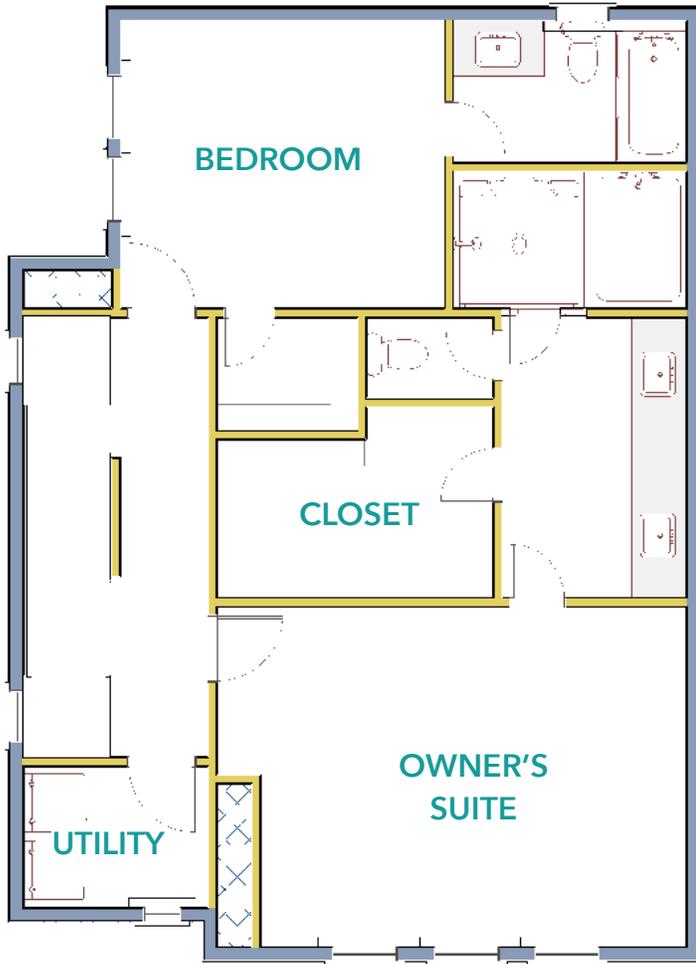


**SECOND FLOOR**

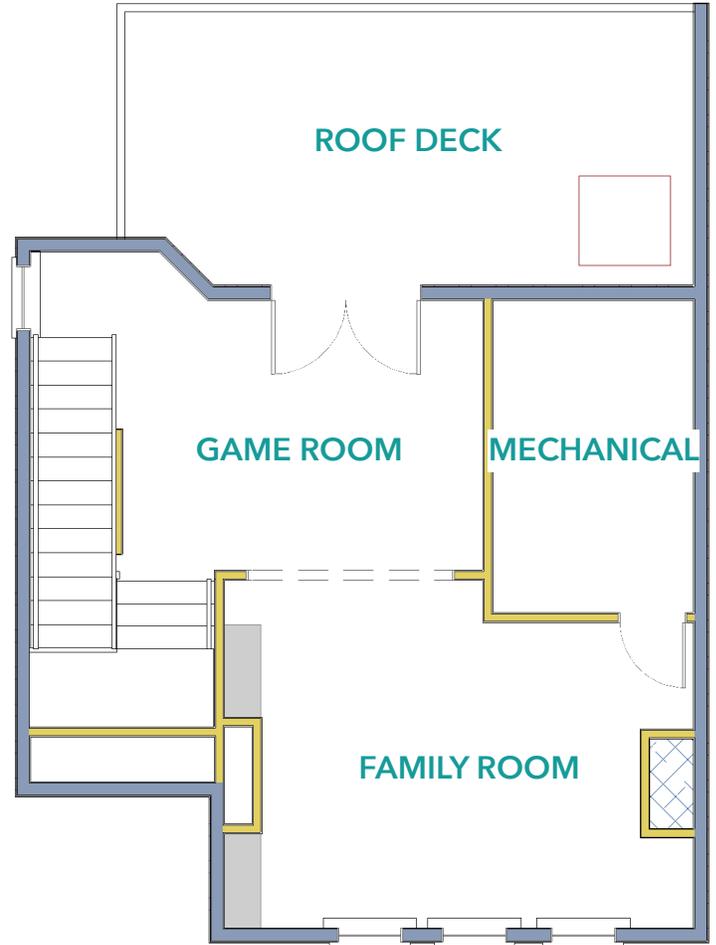
Floor plan provided for marketing purposes only. Buyer should verify dimensions and details.

## Key Measurements

Living	19' x 13'	Game Room	14' x 10'	1st Floor Bedroom	13' x 11'
Dining	19' x 10'	Family Room	18' x 13'	3rd Floor Bedroom	13' x 11'
Kitchen	19' x 10'	Primary Bedroom	19' x 14'	Roof Deck	21' x 11'



**THIRD FLOOR**



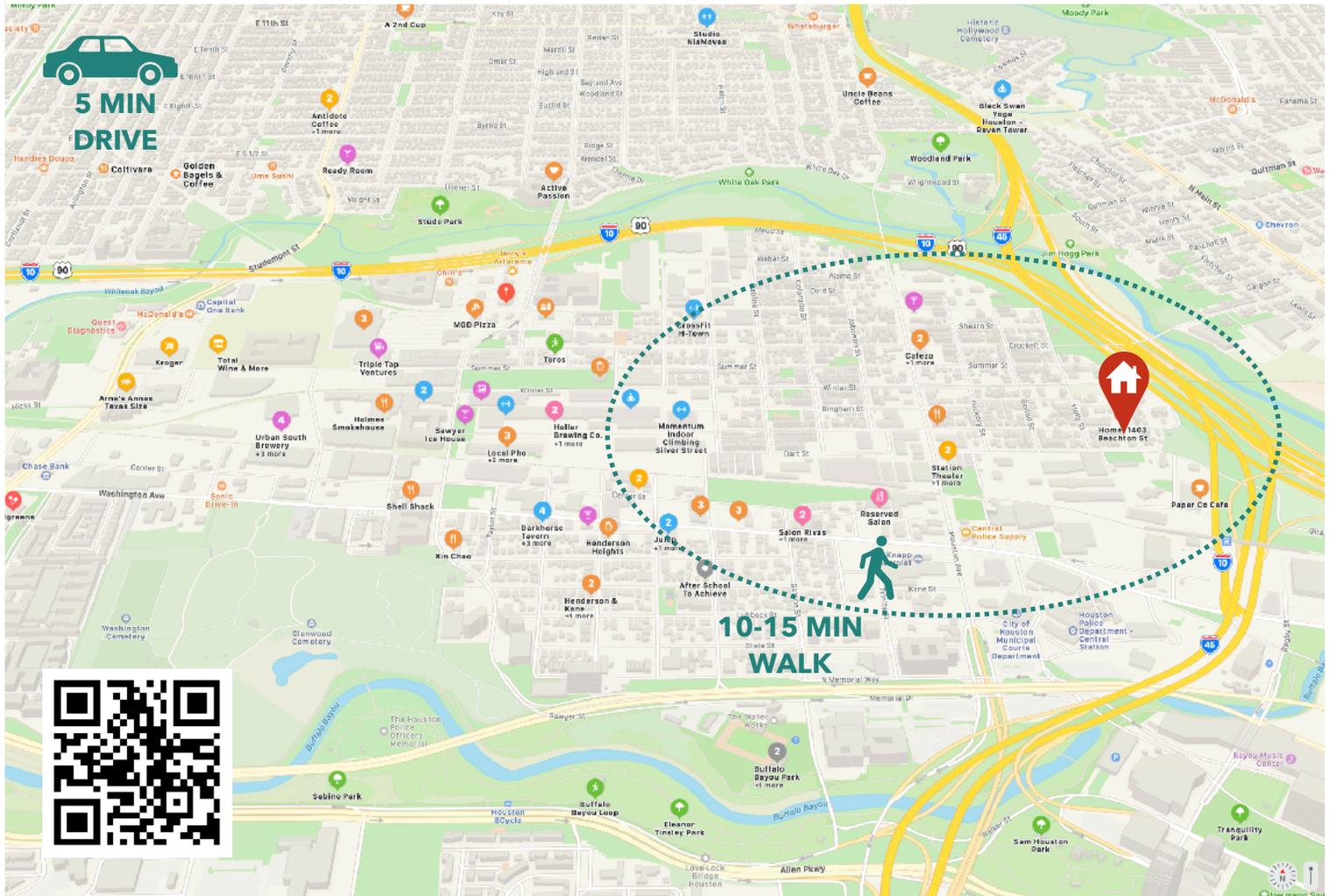
**FOURTH FLOOR**

## *Non-Realty Items*

With an accepted offer, the following non-realty item will convey with the sale of the property:

- GE Stainless Steel Side-by-Side Refrigerator
- Sony 55" 4K LED TV
- Sony 330w 2.1 channel Bluetooth Soundbar and Subwoofer

# NEIGHBORHOOD GUIDE



## 10-15 MIN WALK



**B&B BUTCHERS**  
1814 Washington Ave



**STANTON'S CITY BITES**  
1420 Edwards St



**REPUBLIC AERIAL YOGA**  
1302 Houston Ave



**RICHARD BROCK PARK**  
1414 Sabine St



**CAFEZA**  
1720 Houston Ave



**SPRING STREET BEER & WINE**  
1920 Houston Ave



## 10 MIN RIDE



**KROGER**  
1440 Studemont St



**CVS**  
2580 Shearn St



**SHELL SHACK**  
2412 Washington Ave



**CROSSFIT H-TOWN**  
1919 Silver St



**SAWYER YARDS**  
2121 Winter St



**JULEP**  
1919 Washington Ave



## 5 - 10 MIN DRIVE



**H-E-B**  
3663 Washington Ave



**WALMART**  
111 Yale St



**COLTIVARE**  
3320 White Oak Dr



**TARGET**  
2580 Shearn St



**WHOLE FOODS**  
701 Waugh Dr



**DOWNTOWN HOUSTON**



# Features

3 

3.5 

2,926 SF 

Lot Size 1,875 SF

Location Washington/East Sabine

Property Type Single Family

Stories 4

Year Built 2013

HOA N/A

Outdoor Spaces Fenced Yard with Pergola  
Second Story Balcony  
Fourth Story Roof Deck

Style Traditional

Garage 2 Car Attached

Heating Central Gas

Cooling Central Electric

Walk Score Somewhat Walkable

Bike Score Very Bikable

Nearby Parks Richard Brock, Buffalo Bayou

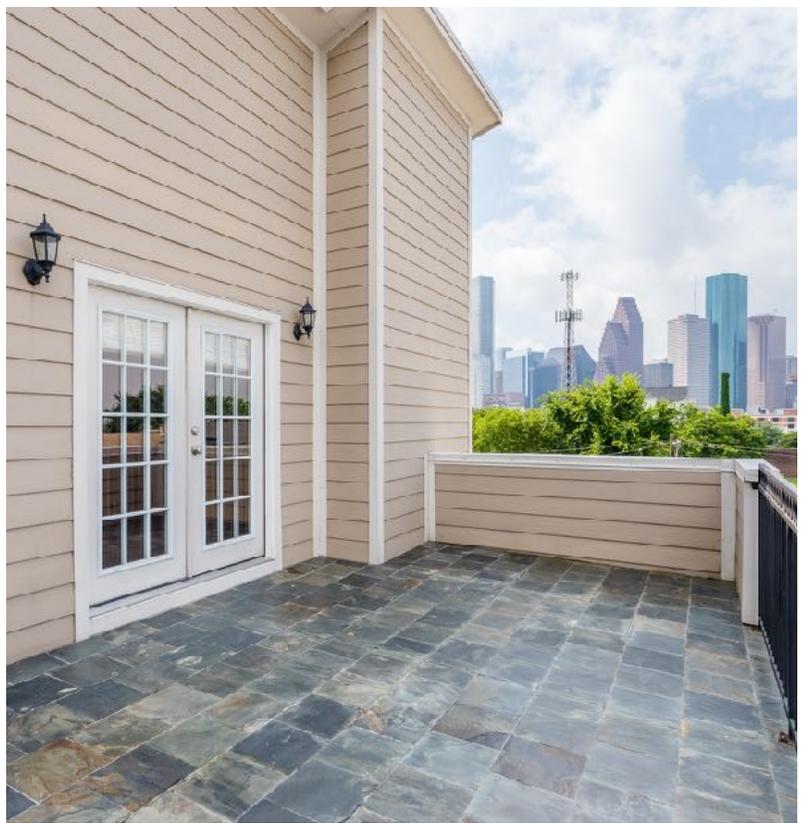
School District Houston ISD

Elementary Crocket

Middle Hogg

High Heights

MLS Number 21273438



Jennifer Vickers is an award-winning Realtor® specializing in inner loop residential properties. Recipient of the HAR "20 Under 40 Rising Stars in Real Estate" and 2019-2021 Texas Monthly Five Star Real Estate Awards, her detail oriented approach has helped Jennifer become a Top Producer since entering the real estate business in 2014. Contact Vickers Properties Group to assist with buying a home, selling or leasing a property, or marketing your next development.

Certifications:

- Master Certified Negotiation Expert
- Graduate, Real Estate Institute



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This is not intended to solicit a currently listed home. Information is deemed reliable, but not guaranteed.