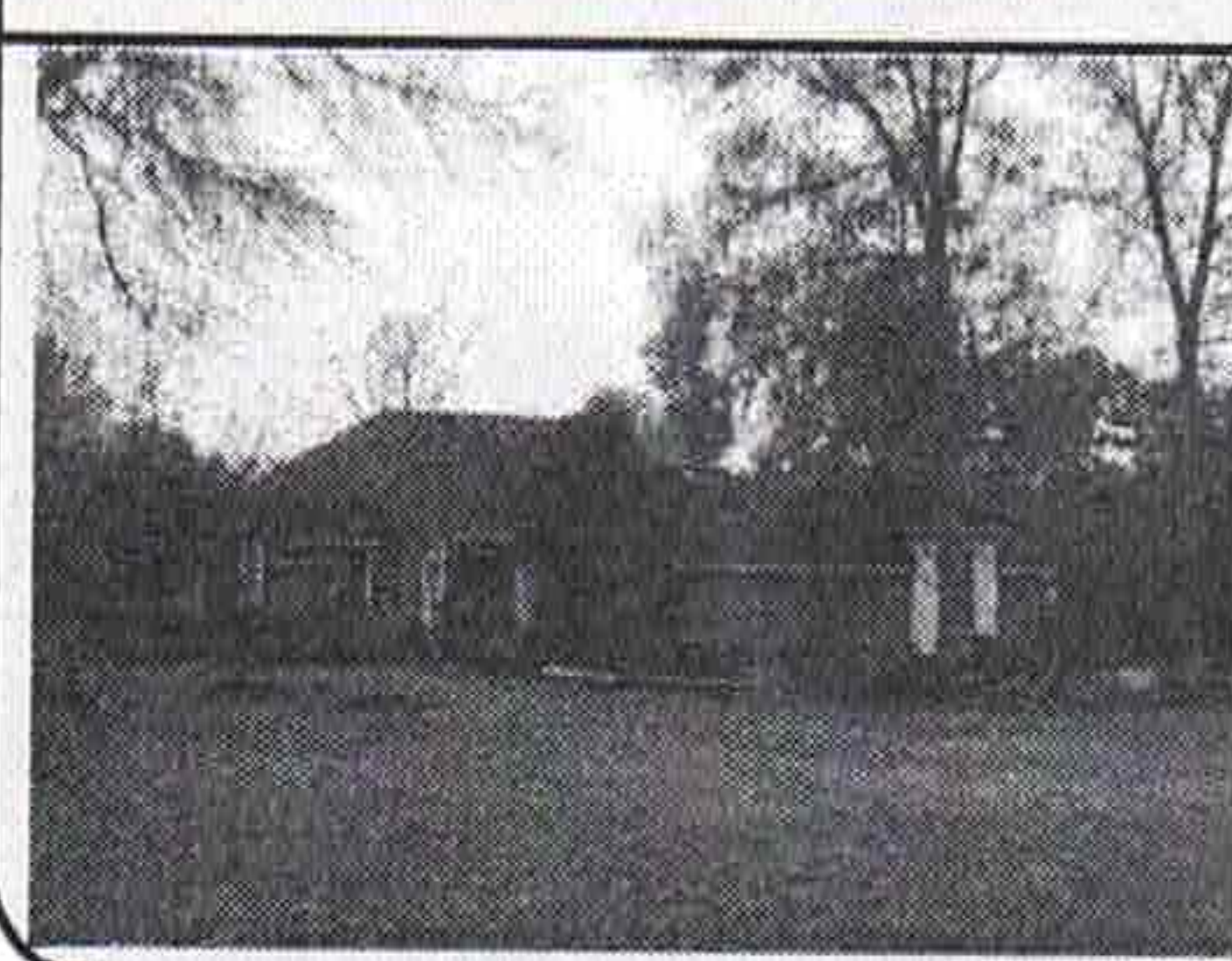
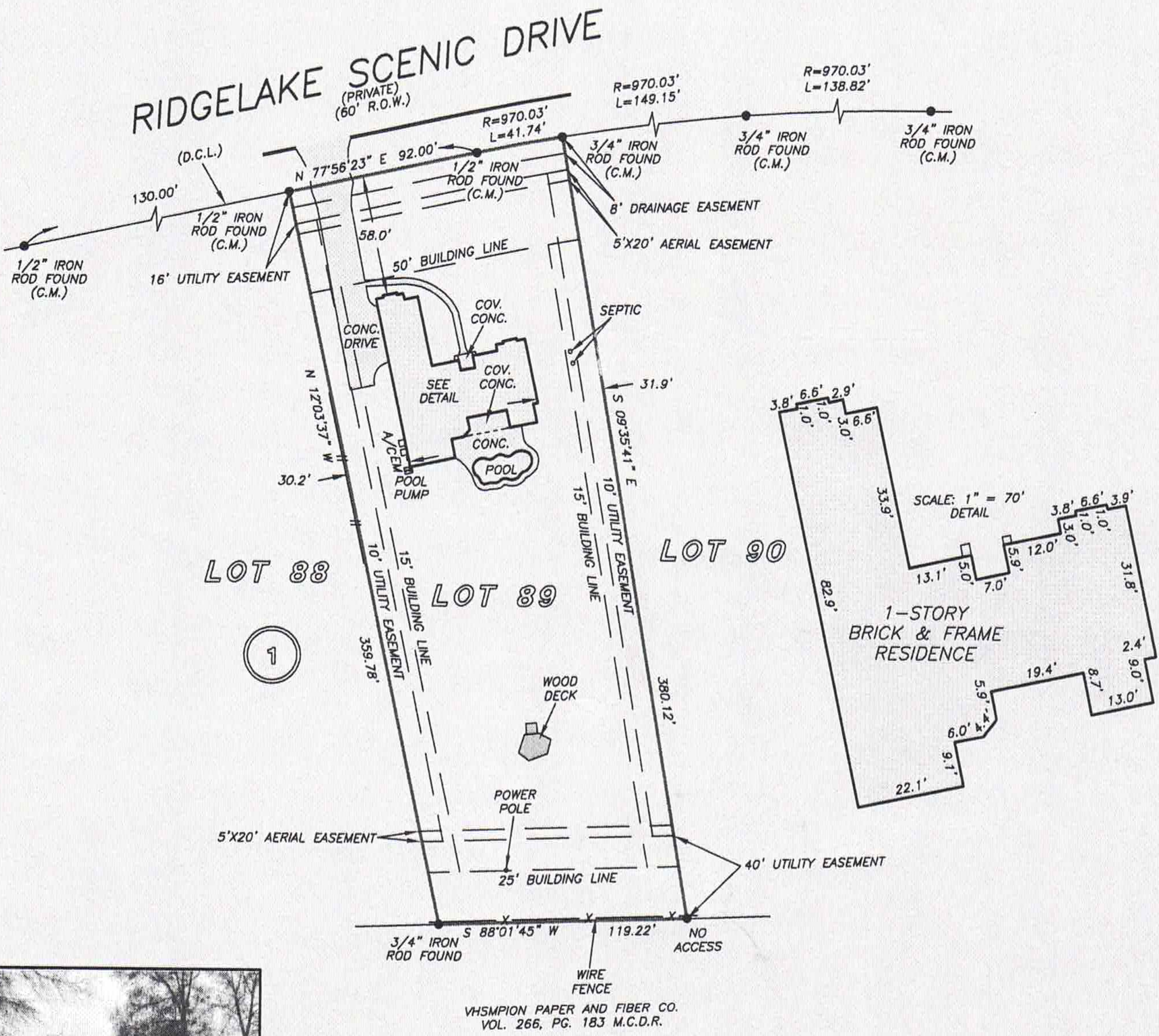


GF NO. 19-402836-WW CAPITAL TITLE  
 ADDRESS: 360 RIDGELAKE SCENIC DRIVE  
 MONTGOMERY, TEXAS 77316  
 BORROWER: MICHAEL PLILER AND  
 DANA WASSON

# LOT 89, BLOCK 1 FINAL PLAT OF RIDGELAKE SHORES, SECTION 3

A SUBDIVISION IN MONTGOMERY COUNTY, TEXAS  
 ACCORDING TO THE MAP OR PLAT THEREOF RECORDED  
 IN CABINET U, SHEET 31 OF THE MAP RECORDS  
 OF MONTGOMERY COUNTY, TEXAS



VHSMPION PAPER AND FIBER CO.  
 VOL. 266, PG. 183 M.C.D.R.

NOTE: ACCESS AGREEMENT AS PER C.F. NO. 200101411B.  
 NOTE: EASEMENT AS PER C.F. NO. 2002087788.  
 NOTE: EASEMENT AS PER C.F. NO. 2004121461.  
 NOTE: SUBJECT TO COVENANTS, CONDITIONS, AND RESTRICTIONS LISTED IN SCHEDULE B, ITEM 10 J. OF THE HEREIN REFERENCED TITLE COMMITMENT.

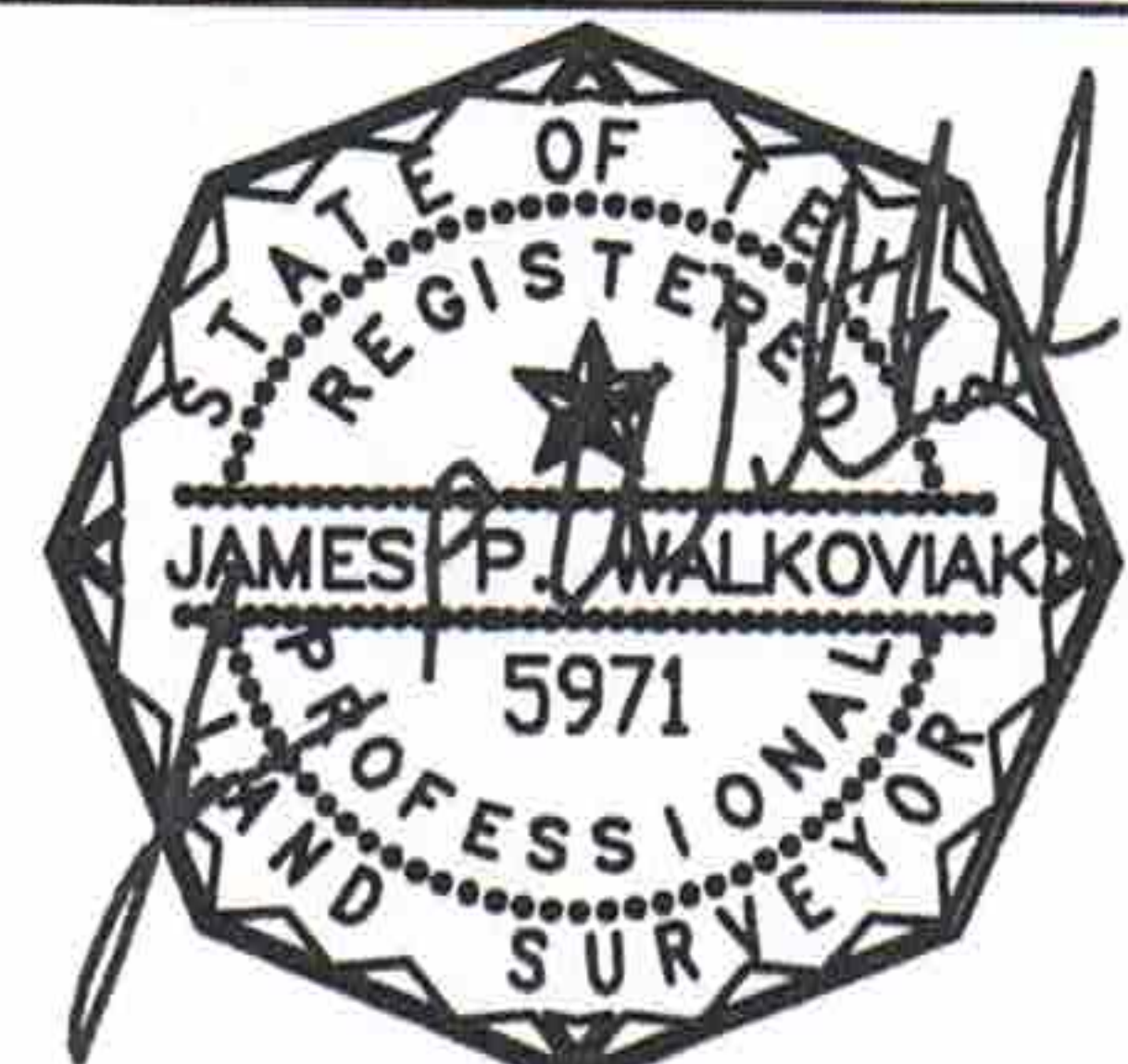
THIS PROPERTY DOES NOT LIE WITHIN THE 100 YEAR FLOOD PLAIN AS PER FIRM PANEL NO. 48339C 0370 G MAP REVISION: 08/18/2014 ZONE X  
 BASED ONLY ON VISUAL EXAMINATION OF MAPS. INACCURACIES OF FEMA MAPS PREVENT EXACT DETERMINATION WITHOUT DETAILED FIELD STUDY

A SUBSURFACE INVESTIGATION WAS BEYOND THE SCOPE OF THIS SURVEY

D.C.L. = DIRECTIONAL CONTROL LINE  
 RECORD BEARING: CAB. E. SH. 31, M.C.M.R.

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND, THAT THIS PLAT CORRECTLY REPRESENTS THE FACTS FOUND AT THE TIME OF SURVEY AND THAT THERE ARE NO ENCROACHMENTS APPARENT ON THE GROUND, EXCEPT AS SHOWN HEREON. THIS SURVEY IS CERTIFIED FOR THIS TRANSACTION ONLY AND ABSTRACTING PROVIDED IN THE ABOVE REFERENCED TITLE COMMITMENT WAS RELIED UPON IN PREPARATION OF THIS SURVEY.

JAMES P. WALKOVIAK  
 PROFESSIONAL LAND SURVEYOR  
 NO. 5971  
 JOB NO. 19-01634  
 FEBRUARY 28, 2019



DRAWN BY: PR