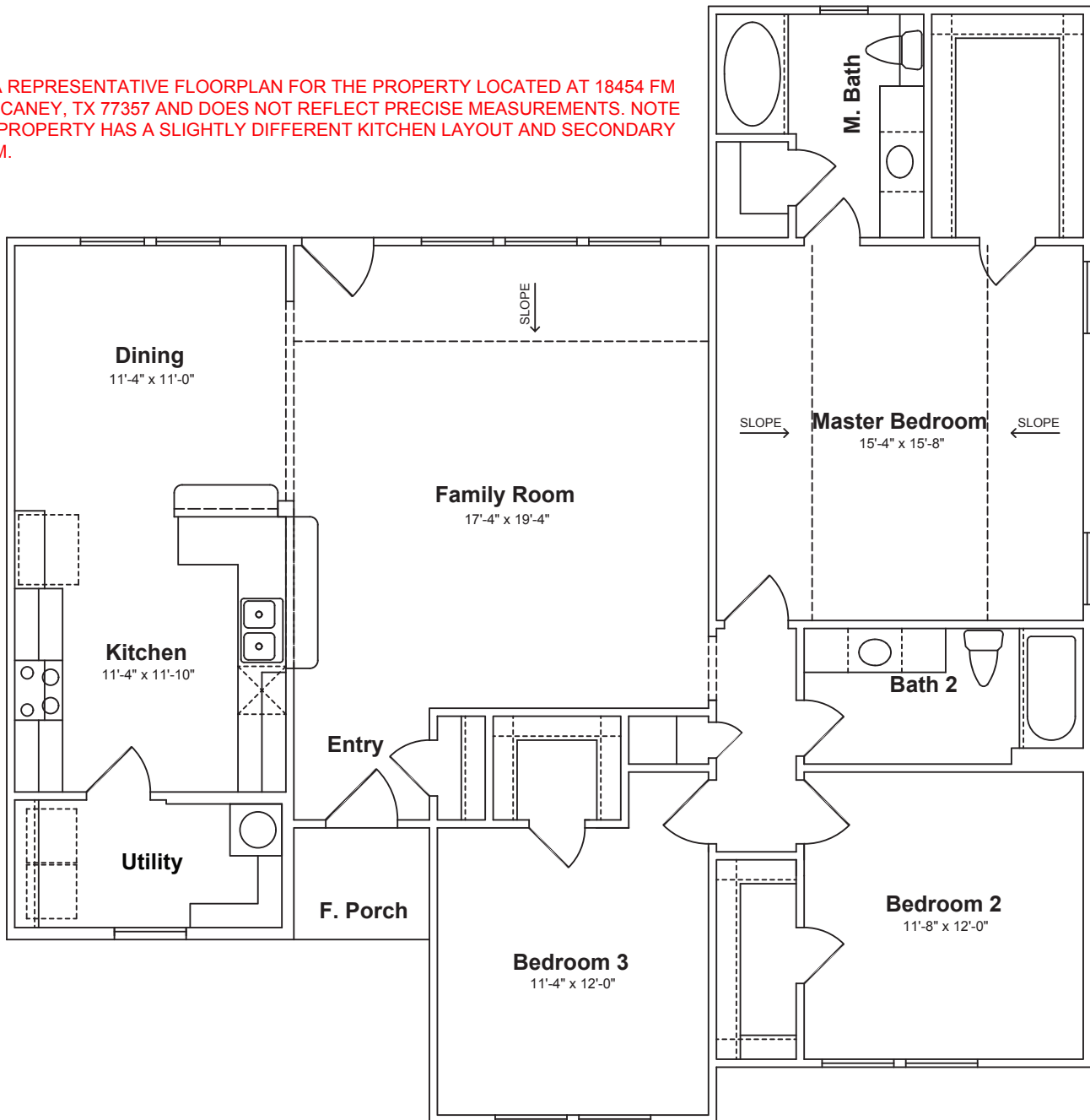


# PRECISION HOMES

## Brentwood

3 Bedroom | 2 Bath | 1634 - 1683 sq.ft.

\*\* THIS IS A REPRESENTATIVE FLOORPLAN FOR THE PROPERTY LOCATED AT 18454 FM 1485, NEW CANEY, TX 77357 AND DOES NOT REFLECT PRECISE MEASUREMENTS. NOTE THAT THE PROPERTY HAS A SLIGHTLY DIFFERENT KITCHEN LAYOUT AND SECONDARY BATHROOM.



VA, FHA, USDA and Conventional Financing  
This drawing is for illustration purposes. All dimensions are approximate and designs are subject to field variations.  
Some windows and floor plans may vary with elevations. Elevations may reflect optional features, such as garage, sidelights, etc.

# PRECISION HOMES

## Brentwood

3 Bedroom | 2 Bath | 1634 -1683 sq.ft.



Elevation A

1634 sq.ft.

45'-4" W x 46'-8" D



Elevation B

1634sq.ft.

45'-4" W x 46'-8" D

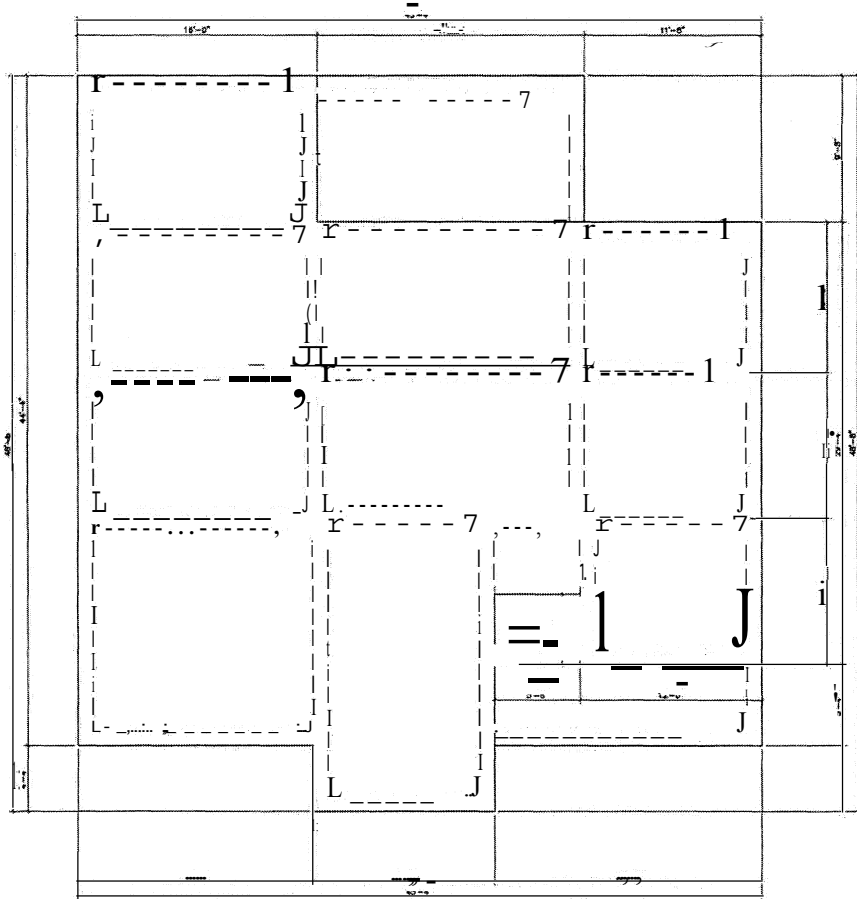


Elevation C

1683 sq.ft.

46'-3" W x 46'-9.5" D

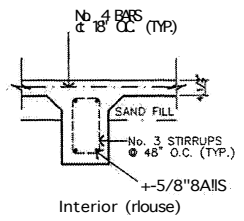
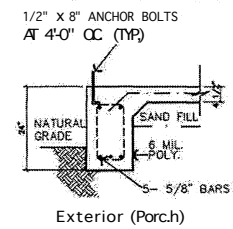
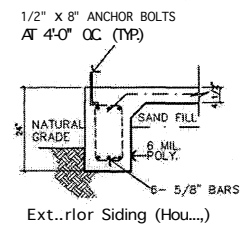
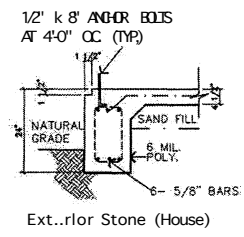
VA. FHA. USDA and Conventional Financing  
This drawing is for illustration purposes. All dimensions are approximate and designs are subject to field variations.  
Some windows and floor plans may vary with elevations. Elevations may reflect optional features, such as garage, sidelights, etc.



Foundation Plan  
1/4" = 1'-0"

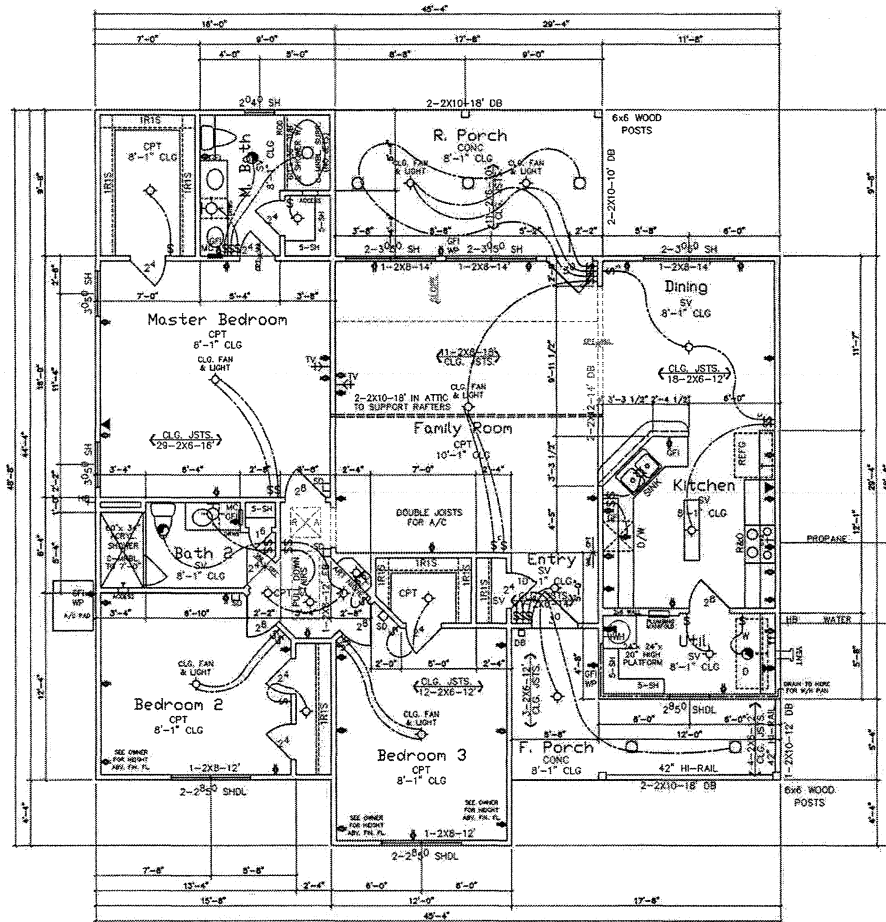
I HAVE THESE PLANS APPROVED  
DATE: \_\_\_\_\_ SIGNATURE: \_\_\_\_\_

I HAVE EXAMINED THESE PLANS AND HAVE APPROVED THEM.  
DATE: 9/12 SIGNATURE: *[Handwritten Signature]*



1500 Collection

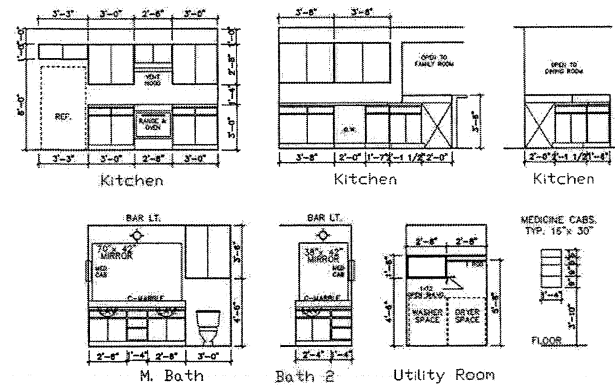
gMLcoats	IC
APPROVED PROJECT NUMBER: _____	PLAN: 20-005-0000
PROJECT: Robert 4 Llan' Hvt	DATE: 9/12
DATE: Of>-01-2012	SCALE: 1/4" = 1'-0"
	-al



Floor Plan

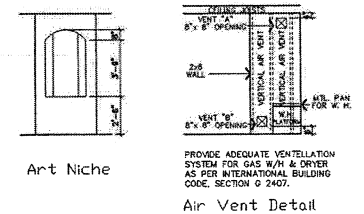
1/4" = 1'-0"

OWNER TO CONTACT POWER COMPANY TO DETERMINE LOCATION OF POWER POLE AND TO DETERMINE LOCATION OF POWER STRIP.



Interior Elevations

1/4" = 1'-0"



Art Niche

PROVIDE ADEQUATE VENTILATION SYSTEM FOR GAS W/H & DRYER AS PER INTERNATIONAL BUILDING CODE, SECTION 9 2407.

Air Vent Detail

I HAVE EXAMINED THESE PLANS AND HAVE APPROVED THEM.

DATE: 9/13 SIGNATURE: Robert Hunt

I HAVE EXAMINED THESE PLANS AND HAVE APPROVED THEM.

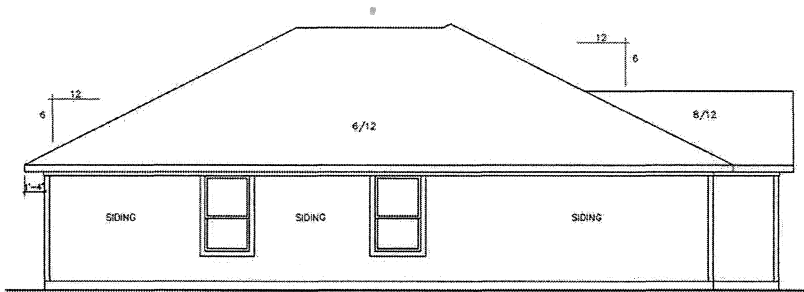
DATE: 9/13 SIGNATURE: [Signature]

Living Area  
F. Porch  
R. Porch  
Total Area

1658 SQ. FT.  
121 SQ. FT.  
171 SQ. FT.  
1850 SQ. FT.

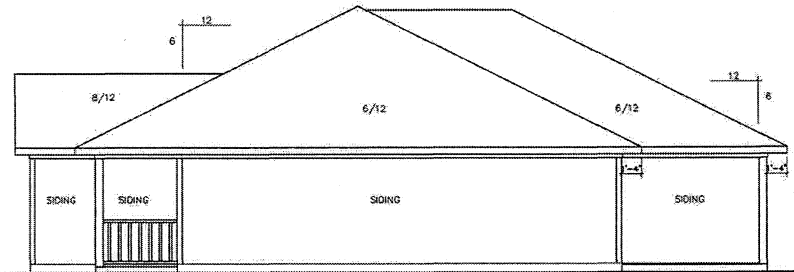
1500 Collection

PRECISION HOMES CUSTOM BUILDERS, INC.	
1514 SPRING OLDFATHER ROAD EAST SPRING, TEXAS 77378-5202 Phone 281-995-6688	
FOR	Robert & Lilane Hunt
DATE	08-07-2012
REVISION	09-12-2012
JOB NO.	127
SHEET NO.	02



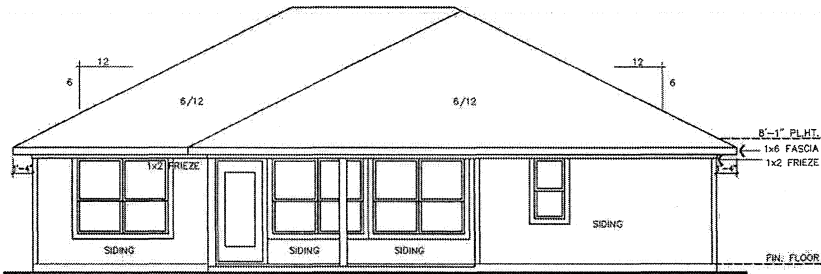
Left side

1/4" = 1'-0"



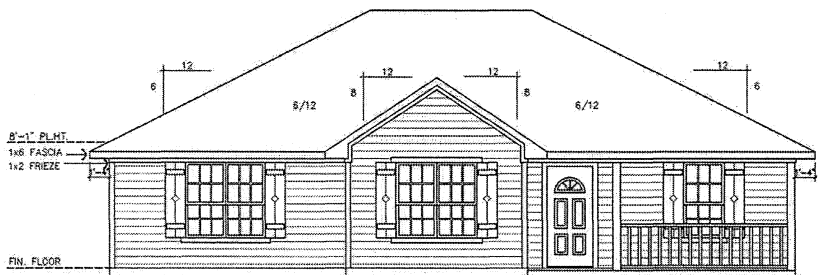
Right Side

1/4" = 1'-0"



Rear Elevation

1/4" = 1'-0"



Front Elevation

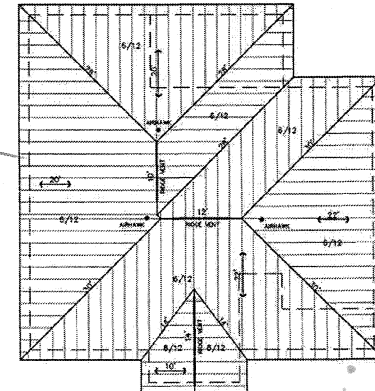
1/4" = 1'-0"

I HAVE EXAMINED THESE PLANS AND HAVE APPROVED THEM.

DATE: 9/12 SIGNATURE: *Foran Hunt*

I HAVE EXAMINED THESE PLANS AND HAVE APPROVED THEM.

DATE: 9/13 SIGNATURE: *Foran Hunt*



Roof Plan

1/8" = 1'-0"

1500 Collection

PRECISION HOMES CUSTOM BUILDERS, INC.	
104 SPRING DRUMMER ROAD EAST SPRING, TEXAS 77379-8201 Phone 281-988-4668	
FOR	Robert & Laine Hunt
DATE	08-07-2012
REVISED	09-12-2012
JOB NO.	127
SHEET NO.	03

# PRECISION HOMES CUSTOM BUILDERS, INC. – BUILDING SPECIFICATIONS

## Exhibit "B"

These specifications shall become part of the agreement dated 8-1, 2012 (the "Effective Date") between Precision Homes Custom Builders, Inc., as builder ("Precision") and Robert P. Linnse Hunt as purchaser(s) ("Customer(s)").

Artist's renderings, brochures, sketches of floor plans and/or elevations or model homes do not necessarily represent the material finish of the home. The final blue prints, building specifications and color chart will govern the construction of the home described herein.

**Foundation:** The following specifications will apply unless otherwise noted due to Customer, Community or Municipal requirements.

Beams: Grade beams to be 12"x24" with a minimum of 12" into undisturbed soil or compacted pad.

Waterproofing: 6 mil. Polyethylene under the entire slab

Reinforcing: Exterior beams – 6-#5 rebar, interior beams 4-#5 rebar, slab area - #4 rebar @ 18" on center

Concrete: 3000 PSI concrete poured 4-1/2" thick.

No concrete flatwork is included unless selected as a specific option on Exhibit "A".

**Frame Material:** All framing will meet International Building Code requirements. Bottom plates will be treated. Wall studs will be 2x4 – 16" on center with a double top plate. Joists and rafters will be a maximum of 19.2" on center. Second floor subflooring will be 3/4" tongue and groove plywood. All other framing – per plan.

**Sheathing:** Exterior wall sheathing shall be 7/16 OSB covered with manufactured house wrap. Roof sheathing will be 7/16" OSB with clips.

**Shingles:** The roof shingles will be 30 year self sealing, dimensional composition shingles over 15# felt.

**Windows:** Low E, double pane windows with size and location per plan.

**Masonry:** All brick or stone (if applicable) will be set in mortar in accordance with local building practices. Mortar will be standard gray with standard joints. White mortar and/or raked joints are optional at an additional cost. Stone will be per plan and per the Customer's selection. Brick will be per the Customer's selection per plan, American made, clay fired brick with galvanized wall ties.

**Plumbing:** PEX Manabloc system for water service lines. PVC for all drain and vent lines. 50 gallon hot water heater. Moen chrome faucets. Two exterior faucets. American Standard or equal elongated toilets. Washer connection in utility room per plans.

Tub and Shower Surrounds – Cultured marble.

**HVAC System:** 14 S.E.E.R. air conditioning systems with flex duct. Digital thermostat.

**Electrical:** 200 amp service with 12 gauge wire minimum. Fixture and outlet locations per plan. One door chime, two phone jacks, two cable outlets. Standard fixtures will be installed with finish selections per Color Chart. The electrical connection for a septic system is included. The electrical connection for the water well is an extra charge.

**Insulation:** Walls r-13, sloped ceilings r-19 and flat ceilings r-30 unless otherwise specified.

**Interior Walls:** 1/2" sheetrock – nailed.

**Interior Paint:** Walls and ceilings will have one (1) coat of texture and one coat of flat latex paint. Doors, trim and bath cabinets will be painted with enamel paint. Kitchen cabinets to be stained, sealed, sanded and lacquered per color selections.

**Exterior Paint:** There will be a coat of exterior primer and a coat of exterior paint on all exterior siding and trim.

PRECISION HOMES CUSTOM BUILDERS, INC. – BUILDING SPECIFICATIONS

Exhibit "B"

**Interior Doors and Trim:** Interior doors to be molded hollow core doors. Trim will be 2-1/2" casing and 3-1/2" base, finger joint, paint grade pine. Shelving to be 1x12 pine.

**Kitchen and Bath Cabinets:** Job built birch or better cabinets with hidden hinges and side mount drawer guides. See plan and Color Chart for details.

**Exterior Doors:** Front door to be 3068 steel and back to be 2868 steel. See Color Chart for style and finish.

**Hardware:** Interior doors will include a door knob and door stop. All exterior doors will include a dead bolt. Cabinet doors and drawers will include a door or drawer pull. Towel bars and toilet paper holders are not included unless specified in the contract.

**Garages Per Contract:** Overhead doors to be sectional steel with no windows, sized per plan and pre-wired for an opener.

Attached – Interior walls to be sheetrocked and painted. Only the common walls with the living area will be insulated.

Detached – See plans for frame or brick. Interior will not be sheetrocked. Electrical connection from the house to the detached garage is an additional cost.

**Excess Material:** Customer acknowledges that all building materials delivered to the Property that are not used in the construction of the Home will remain the property of Precision.

**Clean Up:** All construction related debris will be removed from the home upon completion of construction. The home will be ready for occupancy. Note: A credit of \$1.00 per square foot of slab area plus second floor living area may be given if the Customer chooses to do their own exterior haul off and clean up.

**Insects:** Customer(s) is solely responsible for providing any termite or insect treatment for the home. Customer(s) acknowledge and agree that Precision in no way warrants any termite or insect treatment and disclaims any liability in connection with any damage or infestation of any kind caused by any insects, termites or other wood boring insects and Customer(s) hereby fully release Precision in connection with any infestation or damage to the home caused by insects of any kind.

**Variations, Additions or Changes in These Specifications:** In the event that changes are necessary due to the lack of availability of materials or services described herein, Precision shall be permitted to substitute for such item another item as near the same quality and cost as may be available without voiding the agreement between Precision and the Customer. The Customer(s) acknowledges that substitutions may occur based on the availability of materials or services.

Customer: Robert H. H. A.

Customer: J. J. H. A.

Date: 8/1/12





## Precision Homes Custom Builders, Inc.

### Limited Warranty

Issued To: Mr. and Mrs. Robert Hunt

Effective Date: February 26, 2013

Property Address: 18454 FM 1485 West New Caney, TX 77357

#### Section I - Express Limited Warranty: One and Two Year

Precision Homes Custom Builders, Inc. (hereinafter called "Precision") warrants that your home will be free of defects in materials and workmanship for a period of one year from the Effective Date referenced above; and for two years from the Effective Date referenced above, Precision warrants that your home will be free of defects in the plumbing, mechanical and electrical systems to the extent stated in Section VII (1) and VII (2).

#### Section II - Express Limited Warranty: Ten Year

Precision warrants your home against a Structural Defect as defined in Section VIII for ten years from the Effective Date of this Warranty.

**See last 2-pages of document**

#### Section III - Definitions

Adverse effect - a tangible condition that substantially impairs the functionality of the habitable areas of the home.

Builder's or Precision's Responsibility- a statement of the corrective action required by Precision to repair the construction defect and any other damage resulting from making the required repair. Parties may agree to an alternative remedy.

Code - the International Residential Building Code or, if the context requires, the National Electrical Code.

Consumer Products or Manufactured Product - a term used and defined by the Federal Trade Commission for which are covered by the Magnuson-Moss Warranty Act when sold as part of a home and are EXCLUDED from this Limited Home Warranty. Such "Consumer Products" are covered by the manufacturer's and/or supplier's warranty. To insure prompt attention, please refer to the manufacturer/supplier of the item. Manufactured products commonly installed in residential construction include, but are not limited to, dishwashers, cook tops, microwave ovens, ranges, kitchen vent fans, central air conditioning coils and compressors, furnace heat exchangers, water heaters, carpet; windows, doors, light fixtures, pipes, electrical wires and door hardware. A telephone call should insure prompt attention; however, if service is not satisfactory, please notify Precision.

Note: Read all bulletins, manuals and warranties concerning your appliances and/or other equipment. Check probable causes for equipment or appliance malfunctions. An accurate appraisal of the problem will expedite corrective action if a service request is in order. Unnecessary service or inspection requests may be charged for on the basis of time and/or materials involved.

**Excessive** – a quantity, amount or degree that exceeds that which is normal or reasonable under the circumstance.

**Exclusion** – items, conditions or situations not warranted or not covered by a performance standard.

**Extreme Weather Condition(s)** – weather conditions in excess of or outside of the scope of the design criteria stated or assumed for the circumstance in the Code.

**International Residential Code (IRC)** – Substantial compliance with the non-electrical standards contained in the applicable version of the IRC for *One and Two-Family Dwellings* at the time the home was constructed.

**Homeowner Responsibility** – an action required by the homeowner for the proper maintenance or care of the home or the element or component of the home concerned. A homeowner's failure to substantially comply with a stated homeowner responsibility creates an exclusion to the warranty for the performance standard.

**Major Structural Components** – the load bearing portions of the following elements of a home:

- A. Foundations and footings;
- B. Beams;
- C. Headers;
- D. Lintels;
- E. Columns (other than columns designed to be cosmetic);
- F. Load bearing portions of walls and partitions;
- G. Ceiling framing systems;
- H. Roof framing systems;
- I. Floor joist systems.

**Original Construction Elevations** – actual elevations of the foundation taken prior to substantial completion of the residential construction project. If no such actual elevations are taken, the foundation for the habitable areas of the home are presumed to be level +/- 0.75 (three-quarters of an inch) over the length of the foundation.

**Performance Standard(s)** – the standard(s) to which a home or a component of a home must perform.

**Span** – the distance between two supports.

**Substantial Completion** – the later of:

- A. The stage of construction when a new home or alteration to an existing home is sufficiently complete that the home can be occupied or used for its intended purpose; or
- B. If required, the issuance of a final certificate of occupancy by the applicable governmental authority.

**Section IV – Reporting a Defect**

If you believe that your home has a defect that is covered under the terms of the Warranty, you must notify Precision in writing of the claim. The claim can be sent to our office located at 1314 Spring Stuebner Rd., Spring, TX 77373 or faxed to 281-353-9338.

**Section V – Conditions**

**Repair** – Precision shall have the option to repair, replace or pay you the reasonable cost of repair of any covered defect. The design method and manner of such repair shall be within the sole discretion of Precision. Damage to any improvement, fixture or property that was not constructed by Precision which is damaged by, or during the repair of, a covered Defect shall be the responsibility of the Homeowner. No repair shall extend the term of this Warranty as to any covered Defect. The repair of a Structural Defect is limited to: 1) repair of damage to the load-bearing portions of the Home necessary to restore the load-bearing function, 2) repair of non-load bearing portions damaged by the Structural Defect and whose repair is necessary to make the Home safe, sanitary and livable, 3) repair and cosmetic correction of only those surfaces, finishes and coverings that were original to the Home, damaged by the Structural Defect or required removal or replacement to repair the Structural Defect. Repairs are intended to restore the Home to the approximate condition just prior to the Defect, but not necessarily to a like-new condition.

**Access To Your Home** – In order for Precision to carry out our responsibilities under the terms of this agreement, we may require access to your Home. By signing this agreement, you agree to grant access to Precision and our agents and contractors during normal business hours to inspect, repair and conduct tests that we may consider are required. Failure to allow access to your Home will void the Warranty.

**Dispute Resolution - Mediation – Binding Arbitration** - The Parties agree that all controversies, claims or matters arising out of or relating to (1) the construction of the Home and/or its repairs, (2) any acts of omissions by Precision (and its officers, directors or agents) and/or (3) any actual or purported representations or warranties, express or implied, relating to the Property and/or the Home (herein referred to collectively as a “Dispute”) shall be submitted to binding arbitration. The Parties will attempt to resolve any Dispute through informal discussions and the Dispute may be submitted to non-binding mediation under the Construction Industry Mediation Rules of the American Arbitration Association (“AAA”). In the event that one or both Parties do not desire to mediate or the Dispute is not resolved by direct discussions and/or mediation, the Dispute shall be submitted to the AAA for binding arbitration in accordance with the Construction Industry Rules of the AAA. The Parties will share equally all filing fees and administrative costs of the arbitration. However, any Award rendered may equitably reallocate those costs. The arbitration shall be governed by Texas law and the U. S. Arbitration Act, 9 U.S.C. 1-16, to the exclusion of any provisions of state law that are inconsistent with the application of the Federal Act.

In rendering the Award, the arbitrator shall state the reasons therefore, including any computations of actual damages or offsets, if applicable. The Parties agree to abide by and fully perform in accordance with any Award rendered by the arbitrator. If the non-prevailing Party fails to comply with all aspects of the Award within thirty (30) days following issuance of the Award, then the prevailing Party shall be entitled to seek enforcement of the Award in any court of competent jurisdiction. If such enforcement becomes necessary, the prevailing Party in such proceeding shall recover its necessary and reasonable attorney’s fees in addition to any other relief to which that Party is entitled.

**Warranties Transferable** – All rights and obligations described herein shall fully transfer to each successor in title to the Home for the remainder of the Warranty Term.

**Your Obligations** – Your obligation is to care for your home in a way to prevent or minimize damage to it. New homes go through a period of settlement and movement. During this period, your Home will experience minor material shrinkage, cracking and other events which are typical and to be expected. You are responsible for the maintenance of these items as well as maintaining proper drainage around your home.

### **Section VI – Exclusions**

This warranty does not provide coverage for the following specifically excluded items.

1. Damage to any property that was not a part of the original Purchase Agreement or subsequent Change Orders;
2. Loss or damage that occurs while the Home is being used primarily for non-residential purposes;
3. Changes in the level of underground water tables that were not reasonably foreseeable at the time of construction;
4. Conditions that result in actual physical damage to the Home;
5. Any loss or damage caused by buried debris, underground springs, sinkholes or other hidden anomalies;
6. Any request for warranty performance submitted to Precision after an unreasonable delay or later than thirty (30) days after the expiration of the applicable Warranty Term;
7. Costs of shelter, transportation, food, moving, storage, or other expenses related to relocation during repair;
8. Diminished market value of your home;
9. Any and all consequential loss or damage including any damage to property not covered by this Warranty, any damage to personal property, any bodily damage or personal injury, any physical or mental pain, suffering or emotional distress, any medical expenses or any lost profits;
10. Any damage caused or made worse by any of the following causes:
  - a. Negligence, improper maintenance, defective material or work supplied by anyone other than Precision or its agents or subcontractors;
  - b. Your failure to give prompt and proper notice to Precision of any Defect;
  - c. Your failure to maintain proper site drainage;
  - d. Vandalism, hurricane, tornado, windstorm, fire, explosion, smoke, water, flood, hail, snow, ice storm, lightning, falling trees, aircraft, vehicles, mudslide, earthquake;
  - e. Abuse or use of the Home, or any part of the Home, beyond the reasonable capacity for such use;
  - f. Decay, rot, mold, mildew, vermin, termites, rodents, birds, wild or domestic animals, plants, corrosion, rust, radon, radiation, formaldehyde, asbestos, any toxin, irritant or carcinogenic substance;
  - g. Your failure to minimize or mitigate any defect, condition, loss or damage as soon as practical.
11. Any and all exclusions set forth in Section VII (1), Section VII (2) or Section VIII - Construction Standards.

**Section VII (1) – Construction Standards (Items Covered Under the One Year Workmanship Coverage)**

Defect	Performance Standard	Corrective Action	Exclusion
<b>Drainage – Improper Surface Drainage</b>	Site drainage under this warranty is limited to the grading within ten (10) feet of the foundation. There shall be no standing water within 10' of the foundation for a period longer than 24 hours after a rain.	Precision is responsible for initially establishing proper grading to provide drainage away from the home for a distance of ten (10) feet. The Homeowner is responsible for maintaining such grades once established by Precision.	Standing water beyond 10' from the foundation of the home or unusual grade conditions caused by the retention of trees is not considered a deficiency.
<b>Concrete – Cracks in slab-on-grade floors</b>	Cracks that significantly impair the performance or appearance of the finish flooring material are deficiencies.	Repair cracks as required so as not to be apparent when the finished flooring material is in place. Repair or replace damaged finish flooring.	Shrinkage cracks are not unusual and are inherent in the concrete curing process.
<b>Concrete – Uneven concrete floors</b>	Except in areas that have been designed to slope for specific drainage purposes, concrete floors shall not have areas of unevenness exceeding 3/8 inch in 32 inches.	Repair/replace to meet the standard. Where applicable, surface patching is an accepted method of repair.	
<b>Concrete – cracks in driveways or walkways</b>	A crack in exterior concrete shall not cause vertical displacement equal to or in excess of 1/4" or horizontal separation equal to or in excess of 1/4".	Repair/replace to meet the standard. Where applicable, surface patching is an accepted method of repair.	Shrinkage cracks are not unusual and are inherent in the concrete curing process.
<b>Masonry – Cracks in brick or stone applications</b>	Cracks resulting from shrinkage are common in mortar joints of masonry construction. Cracks greater than 1/8" are deficiencies.	Precision will repair cracks in excess of 1/8" by tuck pointing. Precision is not responsible for color variations between existing and new mortar.	Precision is not responsible for repairing cracks in masonry caused by the homeowner's actions. These actions may include but are not limited to, failure to maintain proper moisture levels around the foundation, attachment of devices such as patio covers, plant holders and hose racks to the masonry.

**Section VII (1) – Construction Standards (Items Covered Under the One Year Workmanship Coverage)**

Defect	Performance Standard	Corrective Action	Exclusion
<b>Stucco</b> – cracking or stucco finish	Stucco shall not have cracks that equal or exceed 1/8" in width at any point along the length of the crack.	Precision will repair cracks in excess of 1/8". Precision is not responsible for color variations between existing and new mortar.	Precision is not responsible for repairing cracks in stucco caused by the homeowner's actions. These actions may include but are not limited to, failure to maintain proper moisture levels around the foundation, attachment of devices such as patio covers, plant holders and hose racks to the stucco.
<b>Framing</b> – Walls bowed	Walls shall not bow or have depressions that equal or exceed ¼" within a 32" horizontal measurement or ½" in any 8' vertical measurement.	Precision will repair walls that bow or have depressions that equal or exceed ¼" within a 32" horizontal measurement or ½" in any 8' vertical measurement.	
<b>Walls</b> – level and plumb	Walls shall be level, plumb and square to all adjoining walls within 3/8" in any 32" measurement.	Precision will repair walls that are not level, plumb and square to all adjoining walls within 3/8" in any 32" measurement.	
<b>Beams or Posts</b> – cracks	A crack in a beam or post shall not equal or exceed 3/8" in width at any point along the length of the crack.	Precision will repair a crack in a beam or post that is equal to or exceeds 3/8" in width at any point along the length of the crack.	Some cracks are inherent characteristics of drying wood and are to be expected.
<b>Ceilings</b> – bows or depressions	A ceiling shall not bow or have depressions that equal or exceed ½" out of line within a 32" measurement as measured from the center of the bow or depression.	Precision will repair a ceiling that has a bow or depression that is equal to or exceeds ½" out of line within 32".	
<b>Subfloor and stairs</b> – excessive squeaks and pops	Subfloors and stairs shall not make excessive squeaking or popping sounds under normal residential use.	Precision will repair subfloors or stairs that make excessive squeaking or popping sounds under normal residential use.	Some amount of squeaking and popping is normal with a wooden stair and subfloor system and can be expected.

**Section VII (1) – Construction Standards (Items Covered Under the One Year Workmanship Coverage)**

Defect	Performance Standard	Corrective Action	Exclusion
<b>Subfloor</b> - excessive humps ridges or depressions	Subfloors shall not have excessive humps, ridges, depressions or slopes that are equal to or exceed 3/8" in any 32" direction.	Precision will repair subfloors that have excessive humps, ridges, depressions or slopes that are equal to or exceed 3/8" in any 32" direction.	
<b>Drywall</b> – Surface has bows or depressions	A drywall surface shall not have a bow or depression that equals or exceeds ¼" out of line within any 32" horizontal measurement as measured from the center of the bow or depression or ½" within any 8' surrounding measurement.	Precision will repair a drywall surface that has a bow or depression that equals or exceeds ¼" out of line within any 32" horizontal measurement as measured from the center of the bow or depression or ½" within any 8' surrounding measurement.	
<b>Drywall</b> – surface imperfections	A drywall surface shall not have surface imperfections such as nail pops, blisters, cracked corner beads, seam lines or trowel marks that are visible from 6' or more in normal light.	Precision will repair a drywall surface that has surface imperfections such as nail pops, blisters, cracked corner beads, seam lines or trowel marks that are visible from 6' or more in normal light.	Small hairline cracks are normal and are a part of homeowner maintenance.
<b>Insulation</b> – not installed in walls or ceilings/attic	Insulation shall be installed in the walls and ceilings/attic of a home in accordance with the building plan, specifications and Code.	Precision will install insulation in the walls and ceilings/attic of a home in accordance with the building plan, specifications and Code.	
<b>Insulation</b> – covers or blocks soffit vent air flow	Standard blown insulation (foam applications excluded) shall not cover or block a soffit vent to the extent that it blocks the free flow of air.	Precision will install Standard blown insulation (foam applications excluded) in a way not to cover or block a soffit vent to the extent that it blocks the free flow of air.	Foam attic insulation applications are designed to eliminate attic air flow.

**Section VII (1) – Construction Standards (Items Covered Under the One Year Workmanship Coverage)**

Defect	Performance Standard	Corrective Action	Exclusion
<b>Exterior Siding</b> – not properly aligned	Exterior siding shall be equally spaced and properly aligned. Horizontal siding shall not exceed ½” off parallel with the bottom course or ¼” off parallel with the adjacent course.	Precision will realign exterior siding that is not equally spaced and properly aligned. Horizontal siding shall not exceed ½” off parallel with the bottom course or ¼” off parallel with the adjacent course.	
<b>Exterior Siding</b> – gaps or bows	Exterior siding shall not have excessive gaps or bows. A siding end joint shall not have a gap that exceeds ¼” in width. A siding bow shall not exceed 3/8” out of line in a 32” measurement.	Precision will repair exterior siding with excessive gaps or bows. A siding end joint shall not have a gap that exceeds ¼” in width. A siding bow shall not exceed 3/8” out of line in a 32” measurement.	
<b>Exterior Trim</b> – gaps or bows	Exterior trim shall not have excessive gaps or bows. A trim end joint shall not have a gap that exceeds ¼” in width. Exterior trim shall not exceed ½” out of line in an 8’ run.	Precision will repair exterior trim with excessive gaps or bows. A trim end joint shall not have a gap that exceeds ¼” in width. A trim bow shall not exceed ½” out of line in an 8’ run.	
<b>Exterior Siding and Trim</b> – cracks and splits	Exterior siding and trim shall not have excessive cracks and splits. Siding and trim shall not have a crack or split in excess of 1/8”.	Precision will repair exterior siding and trim that has a crack or split in excess of 1/8”.	
<b>Flashing</b> – leaks	Flashing shall prevent water penetration.	Precision will repair or replace improperly installed flashing.	Precision is not responsible for leaks caused by extreme weather conditions.
<b>Roof</b> - leaks	Roof shall not leak.	Precision will repair or replace improperly installed roofing.	Precision is not responsible for leaks caused by extreme weather conditions.
<b>Doors and windows</b> – allow air and dust inside	When closed, a door or window shall not allow excessive infiltration of air or dust.	Precision will repair a door or window that allows excessive infiltration of air or dust.	Precision is not responsible for leaks caused by extreme weather conditions.



**Section VII (1) – Construction Standards (Items Covered Under the One Year Workmanship Coverage)**

Defect	Performance Standard	Corrective Action	Exclusion
<b>Sealed Glass Unit</b> – internal condensation	There shall be no condensation between window and door panes in a sealed insulated glass unit.	Precision will repair or replace the window in a sealed window or door unit that accumulates condensation inside the sealed glass unit.	The application of tinted window film will void this warranty.
<b>Door or window units</b> – do not latch	Door and window units shall latch or lock and close securely.	Precision will take action to cause the door and window units to latch or lock and close securely.	
<b>Door or window units</b> – do not operate easily	Door and window units shall not require excessive pressure when opening or closing.	Precision will repair door and window units so they do not require excessive pressure when opening or closing.	
<b>Interior Doors</b> – spacing below the door	The spacing between an interior door bottom and the original floor covering shall be at least ½” and shall not exceed 1”.	Precision will assure that the spacing between an interior door bottom and the original floor covering shall be at least ½” and shall not exceed 1”.	
<b>Interior Doors</b> – delaminating	Interior doors shall not delaminate.	Precision will repair or replace interior doors that delaminate.	
<b>Doors</b> – bind when opening or closing	Doors shall not bind when opening or closing.	Precision will adjust, repair or replace doors that bind when opening or closing.	
<b>Exterior Doors</b> – dented or scratched	Exterior doors shall not be dented or scratched due to construction activities.	Precision will repair or replace exterior doors that are dented or scratched due to construction activities.	
<b>Garage Doors</b> - dented or scratched	Garage doors shall not be dented or scratched due to construction activities.	Precision will repair or replace garage doors that are dented or scratched due to construction activities.	
<b>Garage Door Opener</b> – fails to operate	A garage door opener, if provided, shall operate in accordance with the manufacturer’s specifications.	Precision will repair or replace a garage door opener, if originally provided, to make it operate in accordance with the manufacturer’s specifications.	

**Section VII (1) – Construction Standards (Items Covered Under the One Year Workmanship Coverage)**

Defect	Performance Standard	Corrective Action	Exclusion
<b>Garage Door Springs</b> – lose tension	Garage door springs shall operate properly and shall not lose tension, break or be undersized.	Precision will repair garage door springs that do not operate properly or that lose tension, break or are undersized.	
<b>Carpet</b> – wrinkled and does not lay flat	Carpet shall not wrinkle. It shall lay flat and be securely fastened.	Precision will re-stretch and fasten carpet that is loose or wrinkled.	
<b>Carpet</b> – seams are not smooth or have gaps	Carpet seams shall be smooth without a gap or overlap.	Precision will repair carpet seams that are not smooth or that have gaps.	
<b>Carpet</b> – stained or spotted due to construction activity	Carpet shall not be stained or spotted due to construction activity.	Precision will clean or replace carpet that is stained or spotted due to construction activity.	
<b>Wood Flooring</b> – has excessive humps, depressions or uneven areas	Wood flooring shall not have excessive humps, depressions or uneven areas that exceed 3/8" in any 32" direction within a room.	Precision will correct wood flooring shall that has excessive humps, depressions or uneven areas that exceed 3/8" in any 32" direction within a room.	
<b>Wood Flooring</b> – becomes detached	Wood flooring shall remain securely attached to the foundation or subfloor unless the wood flooring is designed to be installed without nails, glue, adhesives or fasteners.	Precision will assure that wood flooring shall remain securely attached to the foundation or subfloor unless the wood flooring is designed to be installed without nails, glue, adhesives or fasteners.	
<b>Wood Flooring</b> – open joints and separations	Wood flooring shall not have open joints or separations in excess of 1/8".	Precision will correct wood flooring that has open joints or separations in excess of 1/8".	
<b>Vinyl Flooring</b> – not square to the wall	Vinyl flooring shall be installed square to the most visible wall and shall not vary by more than 1/4" in any 6' run.	Precision will correct any vinyl flooring that is not installed square to the most visible wall and varies by more than 1/4" in any 6' run.	
<b>Vinyl Flooring</b> – seams do not match	The seam alignment in vinyl flooring shall not vary such that the pattern is out of alignment by an amount in excess of 1/8".	Precision will correct the seam alignment in vinyl flooring if the pattern is out of alignment by an amount in excess of 1/8".	

**Section VII (1) – Construction Standards (Items Covered Under the One Year Workmanship Coverage)**

Defect	Performance Standard	Corrective Action	Exclusion
<b>Vinyl Flooring</b> – has a depression or a ridge	Vinyl flooring shall not have a depression or a ridge that exceeds ½” in any 6’ run.	Precision will correct vinyl flooring with a depression or a ridge that exceeds ½” in any 6’ run.	
<b>Vinyl Flooring</b> – becomes detached	Vinyl flooring shall remain attached to the foundation or subfloor.	Precision will correct vinyl flooring that becomes detached from the foundation or subfloor.	
<b>Vinyl Flooring</b> – becomes discolored	Vinyl flooring shall not be discolored, stained or spotted due the construction activities of Precision.	Precision will repair or replace vinyl flooring that is discolored, stained or spotted due the construction activities of Precision.	Discolorations, stains or spots due to the actions of the Customer are not covered under the terms of this warranty.
<b>Vinyl Flooring</b> – scratched, cut or torn	Vinyl flooring shall not be scratched, cut or torn due the construction activities of Precision.	Precision will repair or replace vinyl flooring that is scratched, cut or torn due the construction activities of Precision.	Scratches, cuts or tears due to the actions of the Customer are not covered under the terms of this warranty.
<b>Vinyl Flooring</b> – laid over visible floor seams or debris	Sub-floor seams or debris shall not be detectible under vinyl flooring from a distance of three feet or more in normal light.	Precision will repair or replace sub-floor seams or debris that are detectible under vinyl flooring from a distance of three feet or more in normal light.	
<b>Vinyl Flooring</b> – excessive seam separation	A seam in vinyl flooring shall not have a separation in excess of 1/16” in width.	Precision will repair or replace a seam in vinyl flooring that has a separation in excess of 1/16” in width.	
<b>Ceramic Tile Flooring</b> – cracks or becomes loose	Ceramic tile flooring shall not break, crack or become loose.	Precision will repair or replace ceramic tile flooring that breaks, cracks or becomes loose.	Breakage or cracking in ceramic tile flooring due to the actions of the Customer are not covered under the terms of this warranty.
<b>Tile Grout</b> – cracks or deteriorates	Ceramic tile grout shall not break, crack or become loose.	Precision will repair or replace ceramic tile grout that breaks, cracks or becomes loose.	

**Section VII (1) – Construction Standards (Items Covered Under the One Year Workmanship Coverage)**

Defect	Performance Standard	Corrective Action	Exclusion
<b>Tile Grout</b> – becomes discolored	Grout shall not change shade or discolor excessively due to construction activities.	Precision will repair or replace grout that changes shade or discolors excessively due to construction activities.	Discolorations due to the actions of the Customer are not covered under the terms of this warranty.
<b>Hard Surface Counter Tops</b> – are not level	Hard surface counter tops shall be level to within ¼” in any 6’ measurement.	Precision will level any hard surface counter tops that are not level to within ¼” in any 6’ measurement.	
<b>Natural Hard Surface Tops</b> – have color variations	Natural products such as granite will have color variations. This is not a defect.	Precision will not address color variations in natural hard surface tops.	Color variations in natural hard surface tops are not covered under the terms of this warranty.
<b>Manufactured Hard Surface Tops</b> - have color variations	A surface imperfection shall not be visible from a distance of 3’ or more in normal light. Minor variations in field and trim pieces are acceptable.	Precision will repair or replace a surface imperfection that is visible from a distance of 3’ or more in normal light. Major variations in field and trim pieces will be corrected.	
<b>Caulking</b> - interior caulking deteriorates or cracks	Interior caulking shall not deteriorate or crack.	Precision shall repair or replace interior caulking that has deteriorated or cracked.	
<b>Paint</b> – excessive color or shade variation	Painted surfaces shall not have excessive color or shade variations.	Precision will repaint painted surfaces that have excessive color or shade variations.	
<b>Paint</b> – incomplete coverage	Paint shall cover all intended surfaces so that unpainted areas shall no show through paint when viewed from a distance of 6’ in normal light.	Precision will repaint unpainted areas that show through paint when viewed from a distance of 6’ in normal light.	
<b>Paint</b> – peels or deteriorates	Paint shall not peel or deteriorate during the first year.	Precision will repaint the affected areas matching the paint as closely as possible.	Some fading is normal due to the climate and the orientation of the home.
<b>Paint</b> - mildew or fungus forms on painted surfaces	Mildew and fungus are the result of various climate and location factors and are not covered.	None.	No coverage.

**Section VII (1) – Construction Standards (Items Covered Under the One Year Workmanship Coverage)**

Defect	Performance Standard	Corrective Action	Exclusion
<b>Plumbing Fixtures</b> – dented, cracked, chipped or tarnished	Plumbing fixtures shall not be dented, cracked, chipped or tarnished due to construction activities.	Precision will repair or replace plumbing fixtures that are dented, cracked, chipped or tarnished due to construction activities.	
<b>Plumbing Fixtures</b> – not secure	Plumbing fixtures shall be secure. Fixture stoppers shall operate and retain water in accordance with manufacturer specifications.	Precision will secure any loose plumbing fixtures and adjust any stoppers that do not operate or retain water in accordance with manufacturer specifications.	
<b>Toilet</b> – water runs continuously	Toilets shall operate properly and not allow water to run continuously.	Precision will repair the toilet so the water does not run continuously.	In the event of water spillage, it is the home owner’s responsibility to shut off the water at the supply.
<b>Faucet or Fixture</b> – leaks	A faucet or fixture shall not drip or leak.	Precision will repair the faucet or fixture so that it does not drip or leak.	
<b>Water Heater</b> – not heating water	The water heater shall be installed in accordance with the manufacturer’s specifications and heat water at the outlet to the set temperature.	Precision will install the water heater in accordance with the manufacturer’s specifications to heat water at the outlet to the set temperature.	
<b>Tub or Shower Pan</b> - squeaks	A tub or shower pan shall not squeak excessively.	Precision will repair the tub or shower pan so it does not squeak excessively.	
<b>Tub or Shower Pan</b> - cracks	A tub or shower pan shall not crack.	Precision will repair the tub or shower pan.	
<b>Water Pipe</b> – banging or “hammering” noise	Water pipes shall not make excessive noise such as banging or hammering.	Precision will repair water pipes that make excessive noise such as banging or hammering.	Water pipes are subject to expansion and contraction as pipes warm and cool. This may cause a ticking sound and is excluded.
<b>Sewer Gas</b> – odors in the home	Sewer gas odor originating from the plumbing system shall not be detectible in the home under conditions of normal residential use.	Precision will repair the plumbing system so sewer gas odor originating from the plumbing system shall not be detectible in the home under conditions of normal residential use.	

**Section VII (1) – Construction Standards (Items Covered Under the One Year Workmanship Coverage)**

Defect	Performance Standard	Corrective Action	Exclusion
<b>HVAC – primary drain line clogged</b>	The primary drain line shall not be clogged due to construction activities.	Precision will unclog a primary drain line that is clogged due to construction activities.	Home owner shall periodically check for the free flow of water through the primary drain line.
<b>HVAC – drip pan not installed under air handler</b>	A drip pan with a drain line shall be installed under the air handler.	Precision will properly install a drip pan with a drain line under the air handler.	
<b>HVAC – secondary drain line clogged</b>	The secondary drain line shall not be clogged due to construction activities.	Precision will unclog a secondary drain line that is clogged due to construction activities.	Home owner shall periodically check for the free flow of water through the secondary drain line.
<b>HVAC – refrigerant line not insulated</b>	The refrigerant line shall be properly insulated.	Precision will properly insulate the refrigerant line.	
<b>HVAC – Compressor unit not stable</b>	The exterior A/C compressor unit shall be installed on a stable pad that supports the unit above ground level.	Precision will install the exterior A/C compressor unit on a stable pad that supports the unit above ground level.	The home owner shall ensure that the compressor unit pad does not settle due to landscaping, maintenance or irrigation.
<b>HVAC – rooms not adequately heated or cooled</b>	The flow of the air through the ducts shall be adequate to heat or cool the rooms according to the design of the system.	Precision will adjust the flow of the air through the ducts to be adequate to heat or cool the rooms according to the design of the system.	Ducts may expand or contract due to the flow or air causing “ticking” or crackling” sounds.
<b>Vents – not vented to the exterior</b>	Appliances shall be vented according to manufacturer’s specifications.	Precision will vent appliances according to manufacturer’s specifications.	
<b>Electrical Fixtures or Trim Plates – cracked, dented or scratched</b>	Electrical fixtures or trim plates shall not be cracked, dented or scratched due to construction activities.	Precision will repair or replace electrical fixtures or trim plates that are cracked, dented or scratched due to construction activities.	
<b>Electrical Fixtures or Trim Plates – tarnished, blemished or stained</b>	Electrical fixtures or trim plates shall not be tarnished, blemished or stained due to construction activities.	Precision will repair or replace electrical fixtures or trim plates that are tarnished, blemished or stained due to construction activities.	
<b>Fixtures or electrical boxes – not plumb or level</b>	Electrical fixtures, boxes or trim plates shall be installed plumb and level.	Precision will repair or replace electrical fixtures, boxes or trim plates that are not installed plumb and level.	

**Section VII (1) – Construction Standards (Items Covered Under the One Year Workmanship Coverage)**

Defect	Performance Standard	Corrective Action	Exclusion
<b>Electrical Fixtures or Appliances</b> – do not operate properly	Electrical fixtures and appliances shall operate properly and be installed in accordance with manufacturer's specifications.	Precision will repair any electrical fixtures or appliances that do not operate properly or are not installed in accordance with manufacturer's specifications.	
<b>Smoke Detectors</b> – do not operate properly	Smoke detectors shall operate properly and be installed in accordance with manufacturer's specifications.	Precision will repair any smoke detectors that do not operate properly or are not installed in accordance with manufacturer's specifications.	
<b>Exhaust Fan</b> – excessively noisy	Exhaust fans shall operate within the manufacturer's specified noise level.	Precision will repair or replace and exhaust fan that does not operate within the manufacturer's specified noise level.	
<b>Interior Trim</b> – joint separations	Interior trim shall not have joint separations in excess of 1/8" and all painted joints shall be caulked or puttied.	Precision will repair any interior trim that has joint separations in excess of 1/8" and caulk or putty all painted joints.	
<b>Interior Trim</b> – has surface damage	Interior trim shall not have surface damage such as splits, dents, nail holes or cracks that are visible from 6' or more in normal light.	Precision will repair interior trim that has surface damage such as splits, dents, nail holes or cracks that are visible from 6' or more in normal light.	
<b>Shelving</b> – not properly supported	Shelves shall be supported by stud mounted brackets and end supports not more than 4' apart. The shelf shall not be more than 1/4" shorter than the actual distance between the supporting walls.	Precision will repair shelves that are not supported by stud mounted brackets and end supports not more than 4' apart. Shelves that are more than 1/4" shorter than the actual distance between the supporting walls will be replaced.	

**Section VII (1) – Construction Standards (Items Covered Under the One Year Workmanship Coverage)**

Defect	Performance Standard	Corrective Action	Exclusion
<b>Clothes Rods</b> - not properly supported	Rods shall be supported by stud mounted brackets and end supports not more than 4' apart. The rod shall not be more than ¼" shorter than the actual distance between the supporting walls.	Precision will repair rods that are not supported by stud mounted brackets and end supports not more than 4' apart. rods that are more than ¼" shorter than the actual distance between the supporting walls will be replaced.	
<b>Mirrors</b> – not securely mounted	Mirrors shall not be loose and shall be securely mounted to the supporting surface.	Precision will secure any mirrors that are loose or are not securely mounted to the supporting surface.	
<b>Mirror</b> – has imperfections	Mirrors shall not have imperfections that are visible when viewed from 2' in normal light.	Precision will repair any mirrors that have imperfections that are visible when viewed from 2' in normal light.	
<b>Shower Door</b> – leaks	Shower doors shall not leak under normal use.	Precision will repair a shower door that leaks under normal use.	
<b>Shower Door</b> – difficult to operate	Shower door shall operate easily and smoothly without requiring excessive pressure.	Precision will adjust a shower door to operate easily and smoothly without requiring excessive pressure.	
<b>Door Hardware</b> – tarnished, blemished or stained	Door hardware shall not be tarnished, blemished or stained due to construction activities.	Precision will repair or replace door hardware that is tarnished, blemished or stained due to construction activities.	
<b>Door Hardware</b> – cracked, dented or scratched	Door hardware shall not be cracked, dented or scratched due to construction activities.	Precision will repair or replace door hardware that is cracked, dented or scratched due to construction activities.	
<b>Door Hardware</b> – catches or binds	Door hardware shall function properly without catching, binding or requiring excessive force to operate.	Precision will repair door hardware that does not function properly without catching, binding or that requires excessive force to operate.	



**Section VII (1) – Construction Standards (Items Covered Under the One Year Workmanship Coverage)**

Defect	Performance Standard	Corrective Action	Exclusion
<b>Door Hardware</b> – is loose	Door hardware shall be installed securely and shall not be loose.	Precision will repair door hardware that is not installed securely or is loose.	
<b>Countertops</b> – not secure to substrate	Countertops shall be secured to the substrate.	Precision will secure countertop material to the substrate.	
<b>Laminate Countertop</b> – seam visible and separated	A seam in a laminate countertop or backsplash may be visible but shall not be separated.	Precision will correct a seam in a laminate countertop that is separated.	Seams in laminate countertops may be visible. This is not a defect.
<b>Non-Laminate Countertop</b> – seam visible and separated	A seam in a non-laminate countertop or backsplash may be visible but shall not be separated.	Precision will correct a seam in a non-laminate countertop that is separated.	Seams in non-laminate countertops may be visible. This is not a defect.
<b>Fireplace</b> – refractory panel cracked	Refractory panels shall not crack or separate under normal use.	Precision will repair or replace a refractory panel that has cracked or separated under normal use.	The use of synthetic logs or other materials not approved by the manufacturer will void this warranty.
<b>Fireplace</b> – chimney does not draw properly	The fireplace chimney shall draw properly.	Precision will repair a fireplace chimney that does not draw properly.	

**Section VII (2) – Construction Standards (Items Covered Under the Systems Coverage for Two Years)**

Defect	Performance Standard	Corrective Action	Exclusion
<b>Electrical Wiring</b> – not function properly due to improper installation	All electrical wiring shall be installed according to the applicable electrical Code at the time of the construction of the home.	Precision will correct any electrical wiring not installed according to the applicable electrical Code at the time of the construction of the home.	Improvements required from the meter to the utility pole are not the responsibility of Precision.
<b>Electrical Wiring</b> – not capable of carrying the designated load	The electrical wiring shall be capable of carrying the designed load of the home at the time the home was constructed.	Precision will correct any deficiencies in the electrical wiring so it is capable of carrying the designed load of the home at the time the home was constructed.	Additions to the load requirement after the home is completed are not Precision's responsibility.

**Section VII (2) – Construction Standards (Items Covered Under the Systems Coverage for Two Years)**

Defect	Performance Standard	Corrective Action	Exclusion
<b>Electrical Panel or Breakers</b> – not capable of carrying the designated load	The electrical panel or breakers shall be capable of carrying the designed load of the home at the time the home was constructed.	Precision will correct any deficiencies in the electrical panel or breakers so they are capable of carrying the designed load of the home at the time the home was constructed.	Additions to the load requirement after the home is completed are not Precision’s responsibility. Precision is not responsible for electrical service interruptions caused by external conditions such as power surges, circuit overloads or shorts.
<b>Electrical Breaker</b> – trips repeatedly	The electrical breakers shall be capable of carrying the designed load during normal residential usage.	Precision will correct any deficiencies in the electrical breakers to be capable of carrying the designed load during normal residential usage.	Precision is not responsible for breaker trips that have functioned as designed to protect the home from external conditions such as power surges, circuit overloads or shorts.
<b>GFCI Plugs</b> – trip repeatedly	Ground fault interrupters shall not trip repeatedly under normal residential usage.	Precision will correct any ground fault interrupters that trip repeatedly under normal residential usage.	The home owner shall not plug appliances that require constant electrical flow such as refrigerators or freezers into GFCI outlets.
<b>Fixtures, Outlets or Switches</b> – do not operate properly	Fixtures, outlets and switches shall be installed in accordance with manufacturer’s specifications and operate properly.	Precision will correct any fixtures, outlets and switches that are not installed in accordance with manufacturer’s specifications or do not operate properly.	
<b>Cable TV or Phone Jacks</b> – do not operate	Wiring for cable TV or phone shall function properly when connected.	Precision will correct any wiring for cable TV or phone that does not function properly when connected.	Precision is not responsible for the utility service that is outside of the envelope of the structure of the home.
<b>Water Pipes</b> – burst	Water pipes shall be installed in accordance with Code and manufacturer’s specifications.	Precision will correct any water pipes that are not installed in accordance with Code and manufacturer’s specifications.	The home owner is responsible for insulating and protecting exterior pipes from freezing and maintaining a reasonable temperature in the home.
<b>Water Pipes</b> - leak	Water pipes shall not leak.	Precision will repair any leaks in water service lines.	The home owner shall shut off the water immediately if such action is necessary to prevent further damage.

**Section VII (2) – Construction Standards (Items Covered Under the Systems Coverage for Two Years)**

Defect	Performance Standard	Corrective Action	Exclusion
<b>Gas Pipe - leaks</b>	Gas pipes shall not leak.	Precision will repair any leaks in gas lines in the home.	The home owner shall shut off the gas immediately if a leak is detected and the home owner can do so safely.
<b>Sewer, Drain or Waste Pipe – is clogged</b>	A sewer, drain or waste pipe shall not become clogged due to construction activity.	Precision will unclog a sewer, drain or waste pipe shall not become clogged due to construction activity.	The home owner shall shut off the water immediately if such action is necessary to prevent further damage. The home owner shall be responsible for the cost to unclog the line is the source of the clog is not construction related.
<b>HVAC Refrigerant Line – leaks</b>	A refrigerant line shall not leak.	Precision will repair a leak in the refrigerant line.	Condensation on a refrigerant line is not a leak and is not a deficiency.
<b>Heating System – not operating properly</b>	A heating system shall produce an inside temperature of at least 68 degrees Fahrenheit as measured 2' from the outside wall at a height 3' above the floor under local outdoor winter design conditions as specified in the Code.	Precision will correct a heating system that cannot produce an inside temperature of at least 68 degrees Fahrenheit as measured 2' from the outside wall at a height 3' above the floor under local outdoor winter design conditions as specified in the Code.	Temperatures may vary up to 4 degrees Fahrenheit between rooms. Changes made to the size or configuration of the home, the ductwork or the heating system shall negate Precision's responsibility to meet this performance standard.
<b>Cooling System – not cooling properly</b>	An air conditioning system shall produce an inside temperature of at most 76 degrees Fahrenheit as measured in the center of a room at a height 5' above the floor under local outdoor summer design conditions as specified in the Code.	Precision will correct an air conditioning system that cannot produce an inside temperature of at most 76 degrees Fahrenheit as measured in the center of a room at a height 5' above the floor under local outdoor summer design conditions as specified in the Code.	Temperatures may vary up to 4 degrees Fahrenheit between rooms. Changes made to the size or configuration of the home, the ductwork or the cooling system shall negate Precision's responsibility to meet this performance standard.

**Section VII (2) – Construction Standards (Items Covered Under the Systems Coverage for Two Years)**

Defect	Performance Standard	Corrective Action	Exclusion
<b>Thermostat</b> – not reading properly	A thermostat reading shall not differ by more than 4 degrees Fahrenheit from the actual room temperature taken at a height of 5' above the floor of the room where the thermostat is located.	Precision will repair or replace a thermostat with a reading that differs by more than 4 degrees Fahrenheit from the actual room temperature taken at a height of 5' above the floor of the room where the thermostat is located.	The stated performance standard is related to the accuracy of the thermostat and not to the performance standard of the room temperature.
<b>Vents, Grills and Registers</b> – difficult to operate	A vent, grill or register shall operate smoothly when applying normal operating pressure.	Precision will correct any vent, grill or register does not operate smoothly when applying normal operating pressure.	
<b>Vents, Grills and Registers</b> – not installed securely	A vent, grill or register shall be installed in accordance with Code and secured to the underlying surface.	Precision will install all vents, grills or registers pressure in accordance with Code and secured to the underlying surface.	
<b>Ductwork</b> – not secured	Ductwork shall be installed according to the manufacturer's specifications and it shall not move excessively.	Precision will install ductwork according to the manufacturer's specifications so it will not move excessively.	
<b>Ductwork</b> – not sealed	Ductwork shall be sealed and shall not separate or leak in excess of the standards set by the Code.	Precision will seal and correct any separations or leaks in excess of the standards set by the Code.	

**Section VIII – Construction Standards (Items Covered Under the Major Structural Coverage for Ten Years)**

Defect	Performance Standard	Corrective Action	Exclusion
<b>Slab Foundation</b> – excessive differential movement	Slab foundations should not move differentially after construction such that an excessive tilt or deflection in the slab arises as defined by the American Society of Civil Engineers. The overall deflection shall be no greater than the overall length over which the deflection occurs divided by 360 ( $L/360$ ) and must have more than one associated symptom of distress as described in Section 5 of the ASCE Guidelines.	If measurements and associated symptoms of distress show that a slab foundation exceeds the standards for deflection or tilt, Precision will take action on a third party inspector's recommendation based on the appropriate remedial measures as described in Section 7 of the ASCE Guidelines.	The home owner will be responsible for maintaining a consistent soil moisture level surrounding the foundation, proper drainage away from the foundation, limitation of access of tree and shrub roots to the foundation area and water leaks after the two year warranty period. Lack of maintenance of any of these items may void the foundation warranty.
<b>Structural Component –</b> Cracks, bows or deteriorates	A defined structural component shall not crack, bow or deteriorate such that it compromises the structural integrity of the home or the performance of a structural system of the home.	If a defined structural component cracks, bows or deteriorates such that it compromises the structural integrity of the home or the performance of a structural system of the home, Precision will take such action as is necessary to repair, reinforce or replace the structural component to restore the structural integrity of the home or the performance of the affected structural system.	
<b>Structural Component -</b> Deflects	A defined structural component shall not deflect more than the ratios allowed by the Code.	If a defined structural component deflects more than the ratios allowed by the Code, Precision will take such action as is necessary to repair, reinforce or replace the structural component to restore the structural integrity of the home or the performance of the affected structural system.	

**Section VIII – Construction Standards (Items Covered Under the Major Structural Coverage for Ten Years)**

Defect	Performance Standard	Corrective Action	Exclusion
<b>Structural Component - Separates</b>	A defined structural component shall not separate from a supporting member more than $\frac{3}{4}$ " or such that it compromises the structural integrity or the performance of the system.	If a defined structural component separates from a supporting member more than $\frac{3}{4}$ " or such that it compromises the structural integrity or the performance of the system, Precision will take such action as is necessary to repair, reinforce or replace the structural component to restore the structural integrity of the home or the performance of the affected structural system.	