

**T-47 RESIDENTIAL REAL PROPERTY AFFIDAVIT
(MAY BE MODIFIED AS APPROPRIATE FOR COMMERCIAL TRANSACTIONS)**

Date: 07/13/2021 GF No. 2100175TW
Name of Affiant(s): Dolly Jo Teske
Address of Affiant: _____
Description of Property: 483 Old Hickory Drive, Conroe, TX 77302
County Montgomery, Texas

"Title Company" as used herein is the Title Insurance Company whose policy of title insurance is issued in reliance upon the statements contained herein.

Before me, the undersigned notary for the State of Texas, personally appeared Affiant(s) who after by me being sworn, stated:

1. We are the owners of the Property. (Or state other basis for knowledge by Affiant(s) of the Property, such as lease, management, neighbor, etc. For example, "Affiant is the manager of the Property for the record title owners.")
2. We are familiar with the property and the improvements located on the Property.
3. We are closing a transaction requiring title insurance and the proposed insured owner or lender has requested area and boundary coverage in the title insurance policy(ies) to be issued in this transaction. We understand that the Title Company may make exceptions to the coverage of the title insurance as Title Company may deem appropriate. We understand that the owner of the property, if the current transaction is a sale, may request a similar amendment to the area and boundary coverage in the Owner's Policy of Title Insurance upon payment of the promulgated premium.
4. To the best of our actual knowledge and belief, since 05/27/2021 7/14/2021 there have been no:
 - a. construction projects such as new structures, additional buildings, rooms, garages, swimming pools or other permanent improvements or fixtures;
 - b. changes in the location of boundary fences or boundary walls;
 - c. construction projects on immediately adjoining property(ies) which encroach on the Property;
 - d. conveyances, replattings, easement grants and/or easement dedications (such as a utility line) by any party affecting the Property.

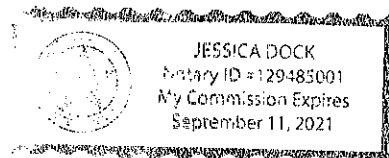
EXCEPT for the following (If None, Insert "None" Below:) None

5. We understand that Title Company is relying on the truthfulness of the statements made in this affidavit to provide the area and boundary coverage and upon the evidence of the existing real property survey of the Property. This Affidavit is not made for the benefit of any other parties and this Affidavit does not constitute a warranty or guarantee of the location of improvements.
6. We understand that we have no liability to Title Company that will issue the policy(ies) should the information in this Affidavit be incorrect other than information that we personally know to be incorrect and which we do not disclose to the Title Company.

Dolly Jo Teske
dotloop verified
07/13/21 1:49 PM CDT
M239-9ACF-3MUV-XAWM

SWORN AND SUBSCRIBED this 13 day of July, 2021.

Jessica Dock
Notary Public
(TXR 1907) 02-01-2010



LEGEND * ITEMS THAT MAY APPEAR IN * DRAWING BELOW

A.E. = AERIAL EASEMENT	M.P. = METAL POST	S.F.N.F. = SEARCHED FOR, NOT FOUND	⊙ = CONTROL MONUMENT	- - - - - = WOODEN FENCE
B.L. = BUILDING LINE	M.U.E. = MUNICIPAL UTILITY EASEMENT	P.R.C. = POINT OF REVERSE CURVATURE	● = PROPERTY CORNER	- - - - - = CHAIN LINK FENCE
B.S. = SCARS	P.A.E. = PERMANENT ACCESS EASEMENT	P.T. = POINT OF TANGENCY	⊙ = PROPERTY LINE	- - - - - = METAL FENCE
C.P.# = CLEMENS' P.L.C. NUMBER	P.C. = POINT OF CURVATURE	P.U.E. = PUBLIC UTILITY EASEMENT	⊙ = EASEMENT LINE	- - - - - = WIRE FENCE
D.E. = DEBRIS EASEMENT	P.C.C. = POINT OF COMPOUND CURVATURE	S.I.R. = SET IRON ROD	- - - - - = BUILDING SETBACK LINE	- - - - - = VINYL FENCE
E. = ELECTRIC EASEMENT	U.I.S. = UNABLE TO SET	S.S.E. = SANITARY SEWER EASEMENT	- - - - - = BUILDING WALL	- - - - - = OVERHEAD ELECTRIC POWER LINE
F.I.R. = FOUND IRON PIPE	P.E. = POOL EQUIPMENT	S.M.S.E. = STORM SEWER EASEMENT		
F.I.R. = FOUND IRON ROD	P.O.C. = POINT OF COMMENCING	S.S.E. = STORM SEWER EASEMENT		
F.N.D. = FOUND	P.O.S. = POINT OF BEGINNING	U.I.S. = UNABLE TO SET		
	P.P. = POWER POLE	W.L.E. = WATER LINE EASEMENT		
		W.P. = WOODEN POST		
		W.S.E. = WATER & SEWER EASEMENT		

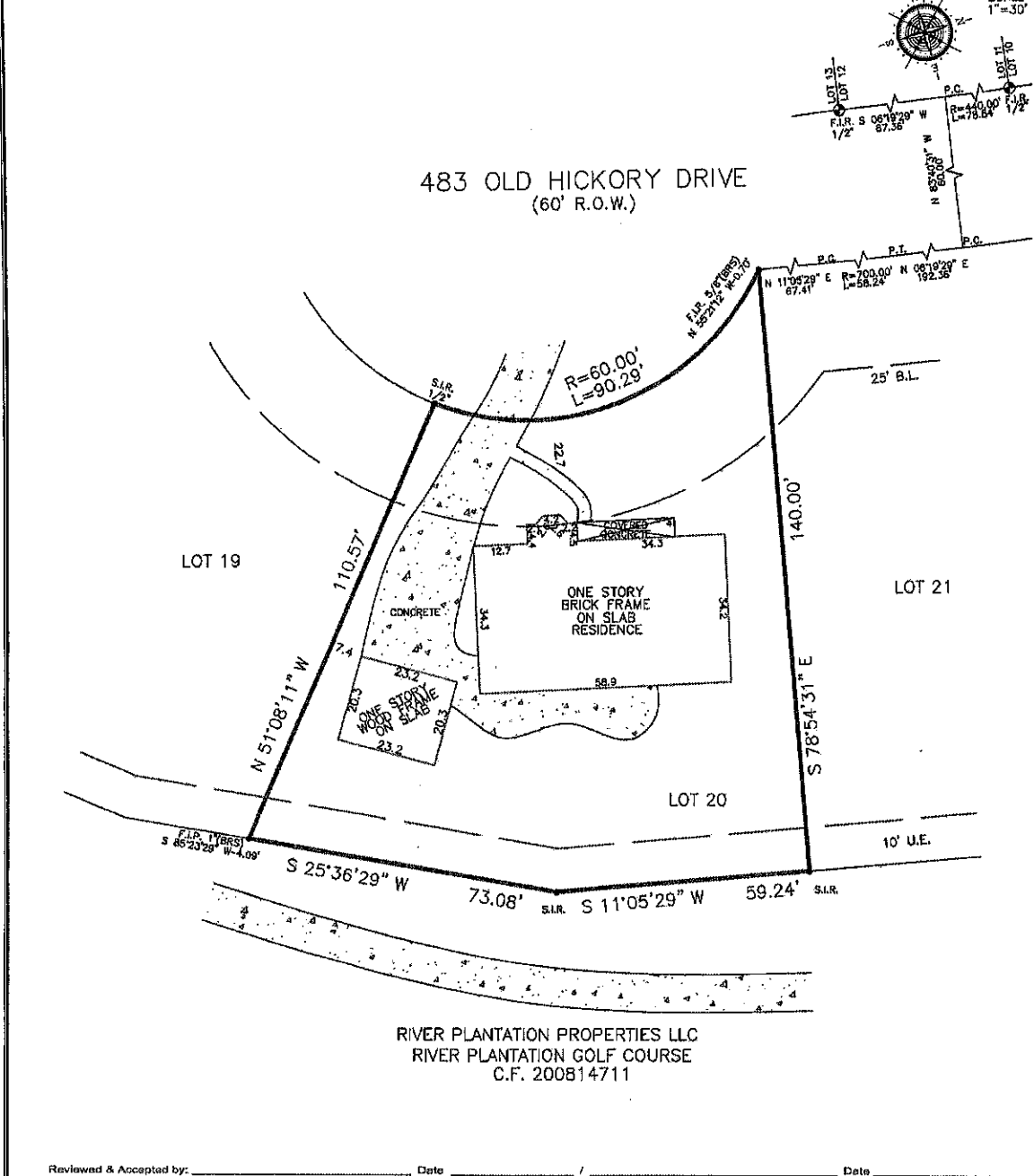
NOT TO SCALE

⊙ = GUY ANCHOR

⊙ = POWER POLE

⊙ = SERVICE GROUP

S.F.N.F. = SEARCHED FOR, NOT FOUND



Reviewed & Accepted by: _____ Date _____ / _____ / _____ Date _____

NOTES:

- BEARING BASIS: PLAT
- SUBJECT TO ANY AND ALL RECORDED AND UNRECORDED EASEMENTS
- SURVEYOR HAS NOT INDEPENDENTLY ABSTRACTED PROPERTY
- UNDERGROUND UTILITY INSTALLATIONS, UNDERGROUND IMPROVEMENTS, FOUNDATIONS AND/OR OTHER UNDERGROUND STRUCTURES WERE NOT LOCATED BY THIS SURVEY
- THIS SURVEY IS CERTIFIED FOR THIS TRANSACTION ONLY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS
- SUBJECT TO RESTRICTIVE COVENANTS AS PER TITLE COMMITMENT
- SUBJECT TO ZONING AND BUILDING ORDINANCES ENFORCED BY LOCAL MUNICIPALITIES
- RESIDENCE ENCROACHMENT FRONT BUILDING LINE

LEGAL DESCRIPTION

LOT 20, RIVER PLANTATION, SECTION 2, A SUBDIVISION SITUATED IN THE C. B. STEWART SURVEY, A-476, MONTGOMERY COUNTY, TEXAS, ACCORDING TO MAP OR PLAT THEREOF, RECORDED IN VOLUME 7, PAGE 409 OF THE MAP RECORDS OF MONTGOMERY COUNTY, TEXAS

DOLLY JO TESKE	ADDRESS 483 OLD HICKORY DRIVE
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	JOB # 2105543 DATE 05-27-2021 GF# 2100175TW
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I DO HEREBY CERTIFY THAT THIS SURVEY WAS THIS DAY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON (OR ON ATTACHED SHEET), AND THERE ARE NO ENCROACHMENTS EXCEPT AS SHOWN, AND WAS DONE BY ME OR UNDER MY SUPERVISION, AND CONFORMS TO OR EXCEEDS THE CURRENT STANDARDS AS ADOPTED BY THE TEXAS BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS.

PRO-SURV
P.O. BOX 1366, FRIENDSWOOD, TX 77549
PHONE: 281-998-1113 FAX: 281-998-0012
EMAIL: orders@prosurv.net
T.B.P.E.L.S. FIRM #10119300
ONLY SURVEY MAPS WITH THE SURVEYORS ORIGINAL SIGNATURE ARE GENUINE TRUE AND CORRECT COPIES OF THE SURVEYORS ORIGINAL WORK AND OPINION
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