



## RESIDENTIAL INSPECTION REPORT

2380 Marina View Way  
League City TX 77573



Inspector

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TREC #23647

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# PROPERTY INSPECTION REPORT

Prepared For: Jan Garcia Jr

(Name of Clients)

Concerning: 2380 Marina View Way, League City TX 77573

(Address or Other Identification of Inspected Property)

By: James Dolnier - TREC #23647

(Name and License Number of Inspector)

07/22/2021 10:00

am (Date)

## PURPOSE, LIMITATIONS AND INSPECTOR / CLIENT RESPONSIBILITIES

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions. If any item or comment is unclear, you should ask the inspector to clarify the findings. It is important that you carefully read ALL of this information.

This inspection is subject to the rules ("Rules") of the Texas Real Estate Commission ("TREC"), which can be found at [www.trec.texas.gov](http://www.trec.texas.gov).

The TREC Standards of Practice (Sections 535.227-535.233 of the Rules) are the minimum standards for inspections by TREC-licensed inspectors. An inspection addresses only those components and conditions that are present, visible, and accessible at the time of the inspection. While there may be other parts, components or systems present, only those items specifically noted as being inspected were inspected. The inspector is NOT required to turn on decommissioned equipment, systems, utility services or apply an open flame or light a pilot to operate any appliance. The inspector is NOT required to climb over obstacles, move furnishings or stored items. The inspection report may address issues that are code-based or may refer to a particular code; however, this is NOT a code compliance inspection and does NOT verify compliance with manufacturer's installation instructions. The inspection does NOT imply insurability or warrantability of the structure or its components. Although some safety issues may be addressed in this report, this inspection is NOT a safety/code inspection, and the inspector is NOT required to identify all potential hazards.

In this report, the inspector shall indicate, by checking the appropriate boxes on the form, whether each item was inspected, not inspected, not present or deficient and explain the findings in the corresponding section in the body of the report form. The inspector must check the Deficient (D) box if a condition exists that adversely and materially affects the performance of a system or component or constitutes a hazard to life, limb or property as specified by the TREC Standards of Practice. General deficiencies include inoperability, material distress, water penetration, damage, deterioration, missing components, and unsuitable installation. Comments may be provided by the inspector whether or not an item is deemed deficient. The inspector is not required to prioritize or emphasize the importance of one deficiency over another.

Some items reported may be considered life-safety upgrades to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards or Deficiencies below.

THIS PROPERTY INSPECTION IS NOT A TECHNICALLY EXHAUSTIVE INSPECTION OF THE STRUCTURE, SYSTEMS OR COMPONENTS. This inspection may not reveal all deficiencies. A real estate inspection helps to reduce some of the risk involved in purchasing a home, but it cannot eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is recommended that you obtain as much information as is available about this property, including seller's disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for and by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspector's responsibility to confirm that information obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous or future reports.

ITEMS IDENTIFIED IN THE REPORT DO NOT OBLIGATE ANY PARTY TO MAKE REPAIRS OR TAKE OTHER ACTIONS, NOR IS THE PURCHASER REQUIRED TO REQUEST THAT THE SELLER TAKE ANY ACTION. When a deficiency is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods.

Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

#### **TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES**

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions. Examples of such hazards include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathrooms, kitchens, and exterior areas;
- malfunctioning arc fault protection (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined.

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered" because they were present prior to the adoption of codes prohibiting such conditions. While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate license holders also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms require a seller to remedy conditions revealed by an inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for the sale or purchase of the home.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

#### **ADDITIONAL INFORMATION PROVIDED BY INSPECTOR**

*Type of Building:* Single Family

*Access provided by::* Supra

*In Attendance:* Buyer

*Occupancy:* Furnished, Occupied

*Weather Conditions:* Clear, Dry, Hot

*Temperature (approximate):* 91 Fahrenheit (F)

*Storage Items/Occupied Home:*

The home was occupied at the time of inspection. The inspector does not move storage items or furnishings that prevent the visual observation of components. Items blocked by storage/furnishing are not inspected.



Thank you for choosing Bryan & Bryan Inspections

*Please review the inspection report and let us know if you have any further questions. The browser-based version uses advanced web features to allow for easier navigation and expanded photographs. The PDF menu on this web-page includes a version titled "Full Report" and is written on the official state promulgated form for your records. A Comment Key is also provided for you in the Attachments section if you'd like definitions for common report phrasing. Please review all documents and attachments that were sent to you by the inspector.*

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I	NI	NP	D
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I. STRUCTURAL SYSTEMS

General Photos of Interior:





I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I	NI	NP	D
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General Photos of Structure:





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General Photos of Roof Covering:





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General Photos of Fireplaces:



☒ ☐ ☐ ☒ **A. Foundations**  
*Type of Foundation(s):* Slab on Grade



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<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D</b>
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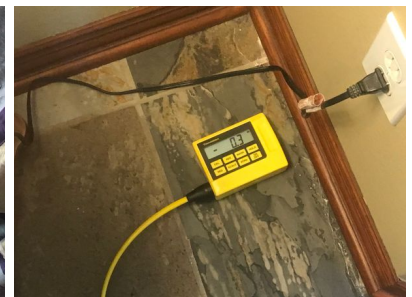
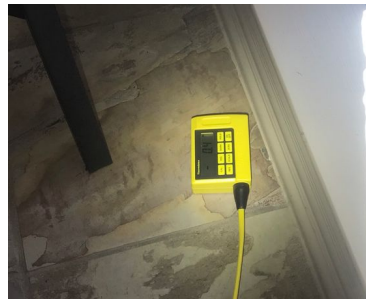


*Comments:*

*Performance Opinion: Functioning as Intended with Some Deficiencies :*

Some deficiencies were noted, but they do not appear to be adversely affecting the performance of the foundation, nor do they indicate the need for invasive action. The foundation appeared to be functioning as intended, but the deficiencies listed in the report should be reviewed.

*Note: The statements included in this report regarding the foundation are the inspector's OPINION. If buyer desires a second opinion or further analysis a foundation company or structural engineer should be contacted*



*Parts of the slab not visible:*

Parts of the slab facing were not visible due to high soil, heavy foliage, and/or debris against the house.



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**1: Slab: Exposed Post Tension Cables**

🔴Recommendation

Right Side

Post tension cable(s) exposed along the perimeter of the foundation. Remedy as needed.

Recommendation: Contact a qualified professional.



☒ ☐ ☐ ☒ **B. Grading and Drainage**

*Comments:*

*Drainage system not flow tested:*

The inspector does not determine effectiveness or condition of any below grade downspout extension(s) or drainage system(s), nor does the inspector determine the location of a discharge outlet.



**1: Grading & Drainage: Inadequate**

🔴Recommendation

Front

Low spots, ruts, and/or damaged sod were present at the time of inspection. Regrading by a qualified landscaping contractor or foundation contractor so that water flows away from the home is recommended.

Recommendation: Contact a qualified landscaping contractor

I	NI	NP	D
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## 2: Grading & Drainage: Negative Grading

### 🚩Recommendation

Front

Grading was sloping towards the home in some areas. This can lead to water intrusion and foundation issues. Regrading by a qualified landscaping contractor or foundation contractor so that water flows away from the home is recommended.

Recommendation: Contact a qualified landscaping contractor



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## 3: Gutters & Downspouts: Clogged

### 🚩Recommendation

Clear gutters of debris to improve drainage. Badly clogged gutters can cause water to back up under the roof covering and cause damage.

Recommendation: Contact a qualified landscaping contractor



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## 4: Gutters & Downspouts: Damaged

### 🚩Recommendation

Rear

Further evaluation of the gutter and drainage system is recommended.

Recommendation: Contact a qualified landscaping contractor

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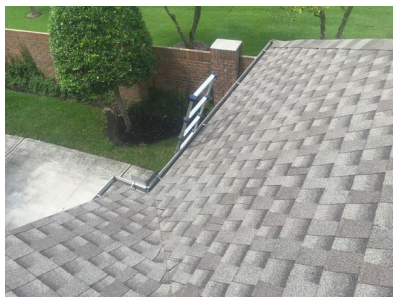
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- ☒ ☐ ☐ ☒ **C. Roof Covering Materials**  
*Types of Roof Covering:* Composition Shingles



*Viewed From:* Walking the roof surface



*Roof Access was limited:* Too Steep, Unsafe to access -  
Direct access to the roof was limited because of constraints encountered during the inspection. The inspector did employ other methods in determining the overall functionality of the roof covering. If further evaluation of the roof covering is desired, consult with a qualified roofing contractor.

*Roof fastening not verified:*  
The roof fastening method was not verified as determining this may cause damage to the roofing material.

**1: Flashing: Rusted flashings**

**➡Recommendation**

Rusted flashings were present. Remedy as needed.

Recommendation: Contact a qualified roofing professional.

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**2: Discoloration**

➡Recommendation

Roof shingles were discolored, which can be caused by moisture, rust or soot. Evaluation and/or repair by a qualified roofing professional.

Recommendation: Contact a qualified roofing professional.



- ☒ ☐ ☐ ☒ **D. Roof Structure and Attic**  
*Viewed From:* Decked areas of attic



*Approximate Average Depth of Insulation:* 8 Inches

*Comments:*

*Attic Access Method:* Pull down ladder(s)



*Type of Attic/Roof Ventillation:* Ridge and soffit vent, Roof vent



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Type of Insulation Material: Cellulose, Batt Fiberglass



Only accessible areas were entered:  
**Note:** Only accessible areas of the attic are inspected. The inspector does not crawl/walk over areas that may be unsafe or not easily accessible.

Radiant Barrier is present:  
**Note:** A radiant barrier was installed on the roof decking. This may conceal possible evidence of water penetration and limit evaluation of the decking material.



**1: Sheathing: Evidence of Prior Moisture**  
➔Recommendation  
Evidence of prior moisture intrusion was observed. Evaluate and remedy as needed.  
Recommendation: Contact a qualified roofing professional.



☒ ☐ ☐ ☒ E. Walls (Interior and Exterior)



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*Comments:*

*Stucco/EIFS Present: Regular Maintenance Advised:*

**Note:** Stucco and EIFS cladding systems rely on being properly sealed at exterior surfaces. They are susceptible to the entrapment of moisture inside the system when seams and seals fail, and around openings (windows, doors, plumbing, etc.). Because of the low vapor permeability of the finish, any water or moisture trapped behind the EIFS cannot dry out quickly. This product should be periodically inspected and maintained.

Bryan & Bryan offers invasive inspections of these products using inspection methods and tools not available during a standard home inspection. This type of inspection is known as a **Building Envelope Moisture Inspection**, and can be scheduled through our office. If you have any concerns about the Stucco/EIFS system, we strongly recommend that you schedule this service!



*Fresh Paint:*

Fresh paint and new finishes can hide defects from the inspector.

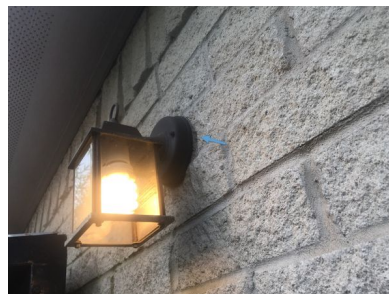
#### **1: Exterior: Seal Wall Fixtures**

[Maintenance Item/Note](#)

All Exterior Wall Penetrations, Light Fixture(s) -  
Fixtures/Electrical boxes were not properly sealed. Remedy as needed.

**Note:** Modern building practices recommend sealing around components that are mounted on or pass through the exterior wall to limit moisture intrusion.

Recommendation: Recommended DIY Project



#### **2: Exterior Masonry: Minor Brick Cracks**

[Maintenance Item/Note](#)

Multiple Locations

<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D</b>
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Cosmetic hairline cracks were observed in the masonry siding. Hairline cracks may be a result of thermal expansion of the veneer and/or normal structural movement. Monitoring is recommended.

Recommendation: Recommended DIY Project



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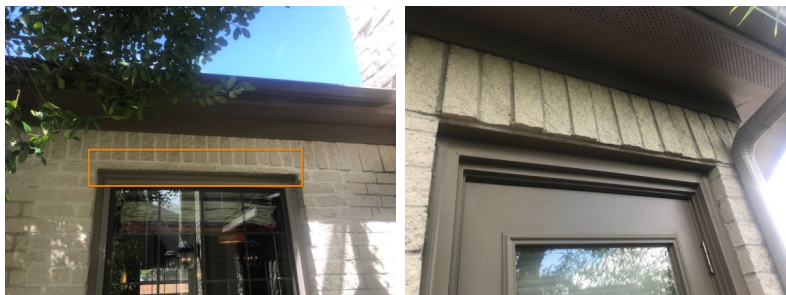
### 3: Exterior Masonry: Weep holes not present over openings

🚩Recommendation

Multiple Locations

Weep holes were not installed in brick above steel lintels over windows and/or doors. Modern practices often utilize weep holes to prevent rusting of steel lintels supporting brick. If there is visible moisture damage to steel lintels or other building materials around these openings then this condition should be evaluated by a brick mason for possible correction. Otherwise the area should be monitored periodically.

Recommendation: Contact a qualified professional.



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### 4: Exterior: Foliage Too Close

🚩Recommendation

Garage

Foliage that is too close to siding materials can cause moisture buildup and deterioration.

Recommendation: Contact a qualified professional.



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### 5: Exterior: High Soil

🚩Recommendation

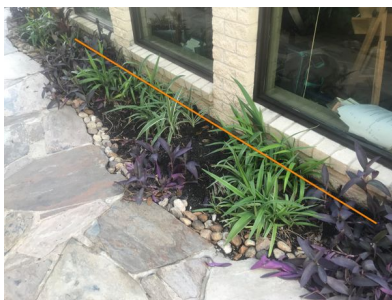
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Multiple Locations

A high soil level was observed. The foundation should have at least 4 inches of exposure. Remedy as needed.

Recommendation: Contact a qualified landscaping contractor



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**6: Interior: Wrinkled Tape Joint**

🚫Recommendation

Primary Closet

Wrinkled tape joint can be evidence of current and/or previous structural movement.

Recommendation: Contact a qualified professional.



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**7: Interior: Evidence of Previous Moisture Contact**

🚫Recommendation

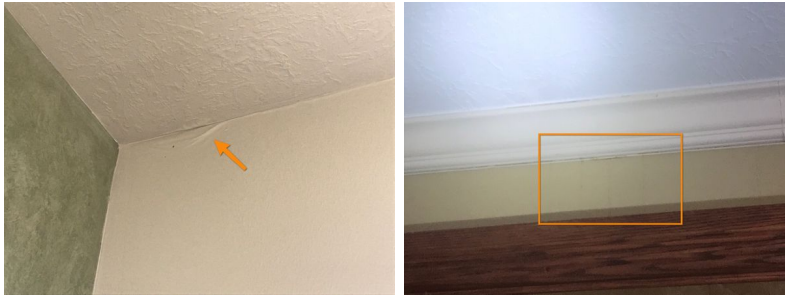
Rear Door, Primary Bedroom

Wall structure showed signs of previous water intrusion. Tested negative for moisture at the time of the inection. Evaluate and remedy as needed.

Recommendation: Contact a qualified professional.

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#### 8: Stucco: Multiple Stucco/EIFS Deficiencies are Present

🚫 Recommendation

Caulking Damaged, Surface Damage -

Due to deficiencies identified with the Stucco and/or EIFS siding on the home, further evaluation by a qualified party is recommended. Bryan & Bryan offers invasive inspections of these products using inspection methods and tools not available during a standard home inspection. This type of inspection is known as a Building Envelope Moisture Inspection, and can be scheduled through our office. By not investigating these deficiencies further, you release Bryan & Bryan Inspections from all future liability due to deficiencies with the Stucco/EIFS siding, both identified and not identified within the Inspection report.

Recommendation: Contact a stucco repair contractor



☒ ☐ ☐ ☒ **F. Ceilings and Floors**

*Comments:*

#### 1: Ceiling: Evidence of Active Moisture Contact

🚫 Recommendation

1st Floor Rear Left Room

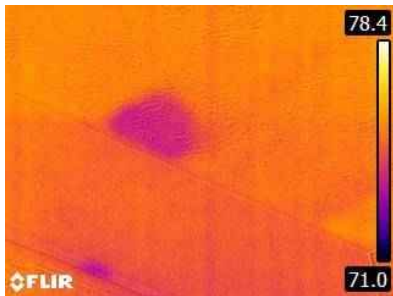
Wall structure showed signs of water intrusion. Tested positive for moisture at the time of the inspection. Evaluate and remedy as needed.

Recommendation: Contact a qualified professional.



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## 2: Ceiling: Evidence of Previous Moisture Contact

### 🚫 Recommendation

Primary Closet, 2nd Floor Closet

Wall structure showed signs of previous water intrusion. Tested negative for moisture at the time of the inspection. Evaluate and remedy as needed.

Recommendation: Contact a qualified professional.



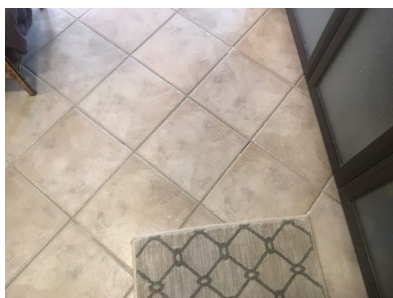
## 3: Flooring: Grout Issues

### 🚫 Recommendation

2nd Floor Closet

Grout between floor tiles is deteriorating. Remedy as needed.

Recommendation: Contact a qualified professional.



## ☒ ☐ ☐ ☒ G. Doors (Interior and Exterior)

*Comments:*

*Door Inaccessible:*

Some doors could not be operated.

Multiple Locations



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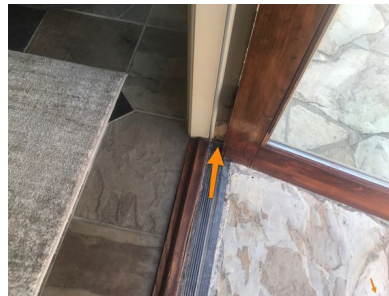
### 1: Door: Wood Rot at Base of Frame

🟡Recommendation

Laundry Area, Living Room

Wood rot was observed at the base of a door frame. Remedy as needed.

Recommendation: Contact a qualified handyman.



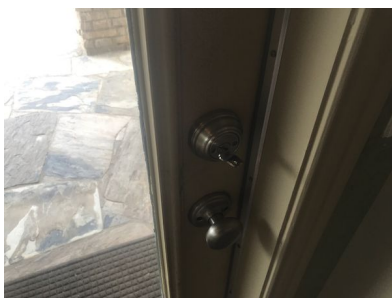
### 2: Door: Keyed Deadbolt

⚠️Safety Hazard

Multiple Locations

Double cylinder deadbolts are generally prohibited due to fire-code restrictions. Essentially, people can be entrapped in a house in the event of an emergency if they don't have the keys to double cylinder deadbolts. Evaluation and remediation by a qualified professional is recommended.

Recommendation: Contact a qualified professional.



### 3: Door: Damaged

🟡Recommendation

Multiple Locations

Evaluated and remedy as needed

Recommendation: Contact a qualified door repair/installation contractor.

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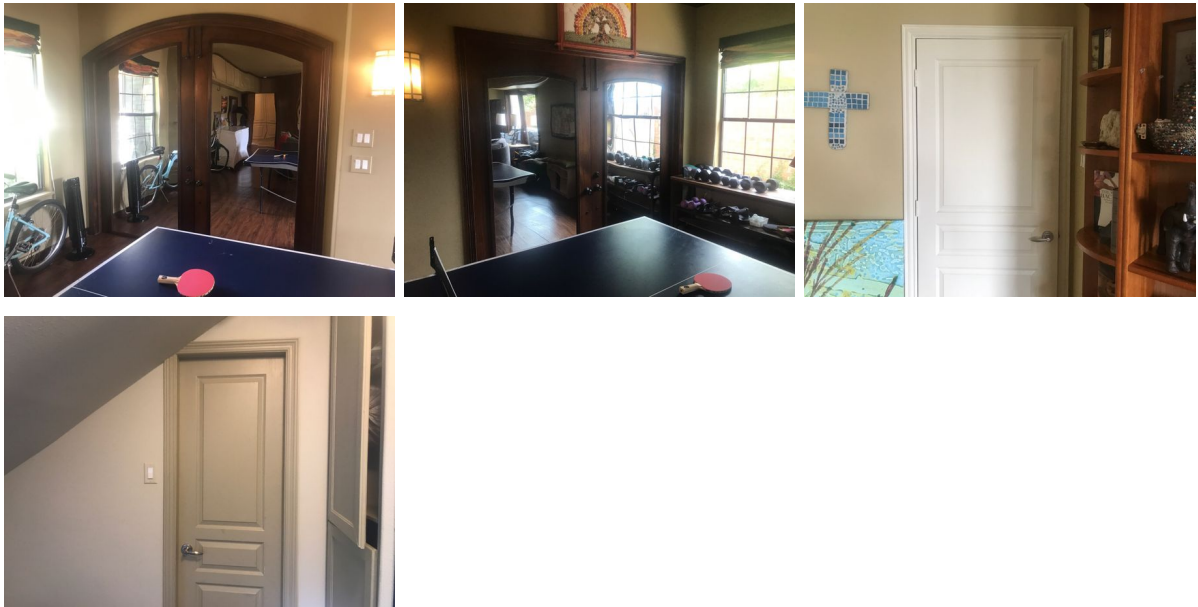
**4: Door: Sticks/Difficult to Operate**

🔴Recommendation

Garage, Multiple Locations

Door sticks and is tough to open. Remedy as needed.

Recommendation: Contact a handyman or DIY project



**5: Door Hardware: Doesn't Latch**

🔴Recommendation

Multiple Locations

Door did not latch properly. Handyman repair of latch and/or strike plate is recommended.

Recommendation: Contact a qualified handyman.



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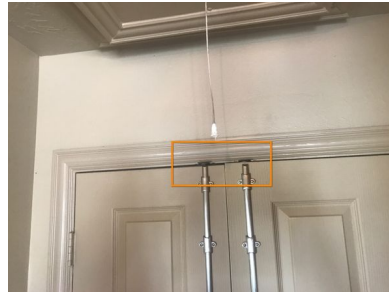
**6: Door Hardware: Ball catch does not engage**

➔Recommendation

Laundry Area, Multiple Locations

Evaluate and remedy as needed.

Recommendation: Contact a handyman or DIY project



☒ ☐ ☐ ☒ **H. Windows**

*Comments:*

*Furniture/Storage items:*

One or more windows were not accessible due to furniture/storage items.

Multiple Locations



**1: Cracked/Broken Glass Panes**

➔Recommendation

2nd Floor Study

Cracked or broken glass panes were present. Remedy as needed.

Recommendation: Contact a qualified window repair/installation contractor.



**2: Low-e coating imperfections**

🔧Maintenance Item/Note

Front

The low-e coating inside the window showed signs of imperfections.

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**Note:** *This condition primarily affects window clarity. It can appear as streaks on the glass or as bronze colored flecks and can (but not necessarily) be indicative of a failed seal.*

Recommendation: Recommend monitoring.



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**3: Plastic trim is damaged/missing**

🔴Recommendation

Left Side

Plastic trim around windows is either damaged or missing. Remedy as needed.

Recommendation: Contact a qualified window repair/installation contractor.



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**4: Safety Glass not Installed**

⚠️Safety Hazard

2nd Floor Left Rear Bathroom

within 60 inches of the floor of a tub or shower -

Safety glass with a tempered stamp should be installed in all hazardous locations, such as:

- within 24 inches of doors
- within 60 inches of the floor of a tub
- within 60 inches of a stair landing
- within 60 inches vertically and 60 inches horizontally of a pool
- at door glazing

Recommendation: Contact a qualified professional.





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### 5: Difficult Operation

#### ➔Recommendation

Right Front Bedroom, 2nd Floor Study

Windows were not operating properly. Evaluation and remediation by a window professional is recommended.

Recommendation: Contact a qualified window repair/installation contractor.



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### 6: Evidence of Previous Moisture Contact

#### ➔Recommendation

Living Room, Primary Bedroom

Wall structure showed signs of previous water intrusion. Tested negative for moisture at the time of the inspection. Evaluate and remedy as needed.

Recommendation: Contact a qualified professional.



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### 7: Sill Height: Too Low

#### ➔Recommendation

Rear Left Bedroom

Current building standards require any window with an exterior sill height of 72 inches or more to have a minimum interior sill height of 24 inches.

Recommendation: Contact a qualified professional.



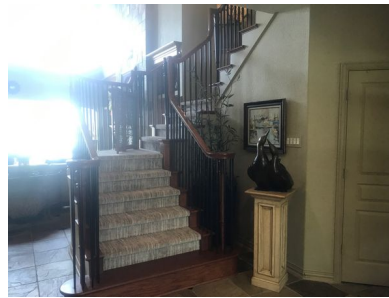


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☒ ☐ ☐ ☒ **I. Stairways (Interior and Exterior)**

*Comments:*



**1: Handrails/Guardrails: Missing**

➡Recommendation

Rear

Staircase had no handrails and/or a guardrail was missing. This is a safety hazard. Installation of a handrail or guardrail by a qualified professional is recommended.

Recommendation: Contact a qualified professional.



**2: Handrails/Guardrails: Loose**

➡Recommendation

Handrails/Guardrails were loose. This could pose a safety hazard. Evaluation and fastening by a qualified professional is recommended.

Recommendation: Contact a qualified professional.



**3: Handrail/Guardrails: Baluster Gap Too Wide**

➡Recommendation

The baluster space was not up to modern safety standards. The space between balusters in a handrail should not allow passage of a 4 3/8-inch sphere for child safety. The space between balusters in a guardrail should not allow passage of a 4 inch sphere for child safety. Evaluation by a qualified professional is recommended. /Guardrails

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I	NI	NP	D
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Recommendation: Contact a qualified professional.



**4: Stair Tread Issues**

🚫Recommendation

Too Narrow -  
Stair treads exhibit conditions that do not appear to meet current building standards. Evaluation by a qualified contractor is recommended for safety.

Recommendation: Contact a qualified professional.



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**J. Fireplaces and Chimneys**

*Comments:*

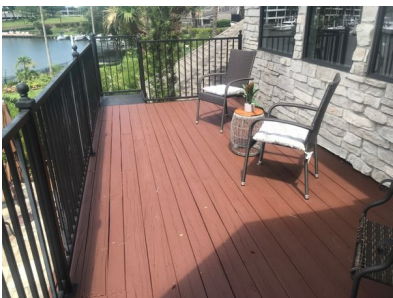
*Limited Access/Visibility:*

There was limited access and visibility to safely inspect chimney flue.

- ☒
- ☐
- ☐
- ☐

**K. Porches, Balconies, Decks, and Carports**

*Comments:*



**II. ELECTRICAL SYSTEMS**

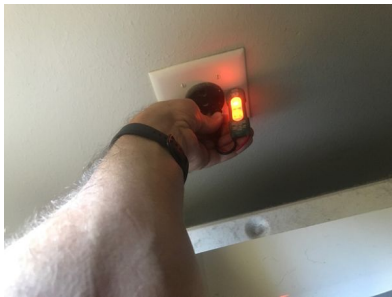
*General Photos of Distribution Panels:*

I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

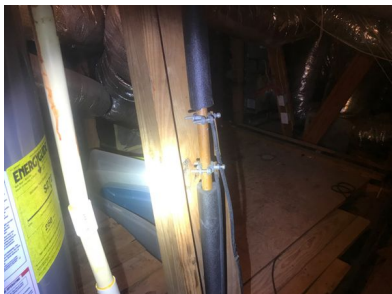
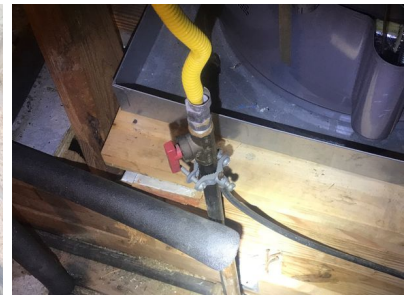
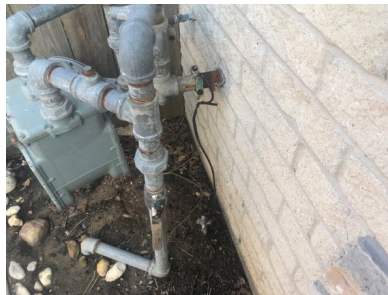
I	NI	NP	D
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*General Photos of 220V Outlets:*



*General Photos of Grounding System(s):*



☒ ☐ ☐ ☒ **A. Service Entrance and Panels**

*Comments:*

*Main disconnect/service box type and location:* Breakers -exterior wall, Sub-panel - Exterior Wall



I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I	NI	NP	D
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*Service entrance cable location:* Underground (cable material type not visible), Copper



*Service size:* 200 Amps



*Arc Fault Protection not Tested due to Occupied Home:*  
Arc Fault protection could not be tested due to the property currently being occupied.



### 1: Double Lugged Neutral Wires

#### ⚠️Recommendation

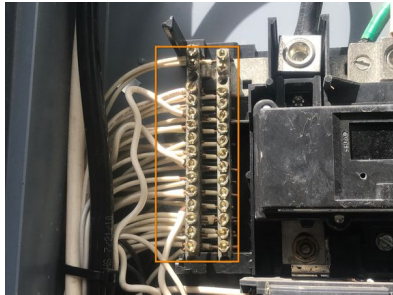
Double lugged neutral wires were on the neutral bus bar inside the distribution panel. One neutral wire per lug is recommended. Remedy as needed.

Recommendation: Contact a qualified electrical contractor.



I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I	NI	NP	D
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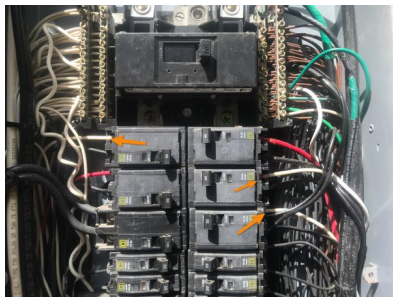


## 2: White Wires Not Marked

### 🚫Recommendation

White wires connected to breakers are not marked with black or red electrical tape to indicate that they are "hot". Remedy as needed.

Recommendation: Contact a qualified electrical contractor.



## 3: Circuits Not Labeled

### 🚫Recommendation

Circuits in the distribution panel were not properly labeled. Remedy as needed.

Recommendation: Contact a qualified electrical contractor.



## 4: Double Lugged Breaker

### 🚫Recommendation

Two or more wires are attached to a single breaker. Most terminals are not designed for two wires, and is a poor installation practice. Further evaluation by a licensed electrician is recommended.

Recommendation: Contact a qualified electrical contractor.

I	NI	NP	D
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- ☒

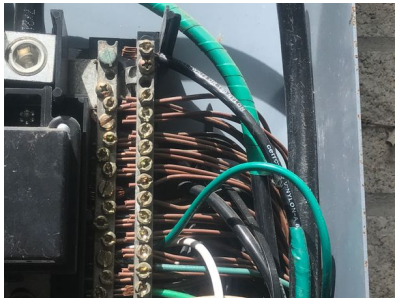
☐

☐

☒

B. Branch Circuits, Connected Devices, and Fixtures

Type of Wiring: Copper



Comments:  
Restriction to receptacles:  
Not all receptacles were accessible due to usage or furniture location.

Multiple Locations



**1: Ceiling Fan Defects**  
👉Recommendation  
Multiple Locations  
Out of balance, Light out -  
Further evaluation is recommended.

Recommendation: Contact a qualified professional.



**I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient**

<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D</b>
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## 2: Receptacles: GFCI Protection Inadequate/Missing

🚩Recommendation

Bar

Outlets within 36 inches of sinks -

GFCI protection was inadequate or missing. Current building standards recommend the installation of ground fault protection:

- at all countertop receptacles in the kitchen
- in bathrooms
- in garages
- all exterior receptacles

GFCI protection was not present in one or more of these locations. Evaluate and remedy as needed.

Recommendation: Contact a qualified electrical contractor.



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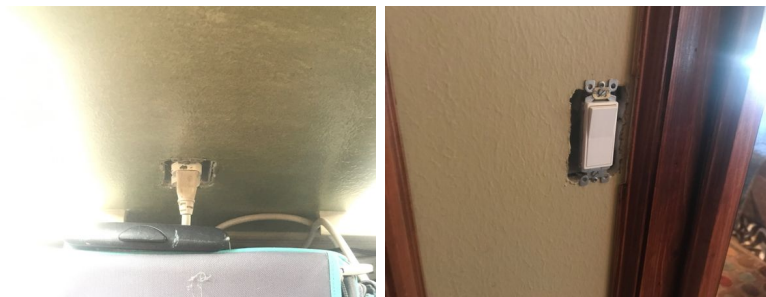
## 3: Receptacle/Switch Covers: Missing or Damaged

🚩Recommendation

Multiple Locations

One or more receptacle/switch cover plates were missing or damaged. Replacement of cover plates is recommended for safety. Evaluation and remediation by a qualified electrical contractor is recommended.

Recommendation: Contact a qualified electrical contractor.



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## 4: Receptacles: Loose

🚩Recommendation

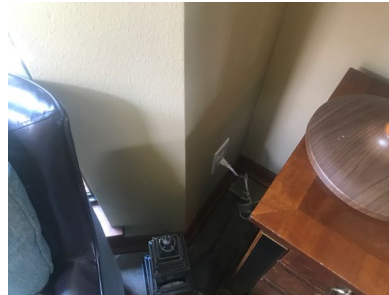
Multiple Locations

One or more receptacles were loose at the time of inspection. Evaluate and remedy as needed.

Recommendation: Contact a qualified professional.

I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I	NI	NP	D
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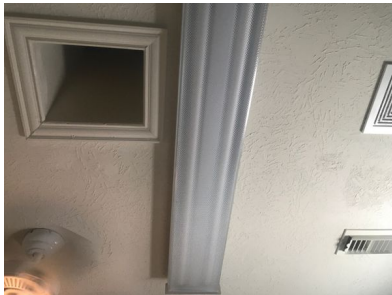
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**5: Light: Inoperable**

🔴Recommendation

One or more light fixtures were not operating at time of inspection. Cause was not determined. Remedy as needed.

Recommendation: Contact a qualified electrical contractor.



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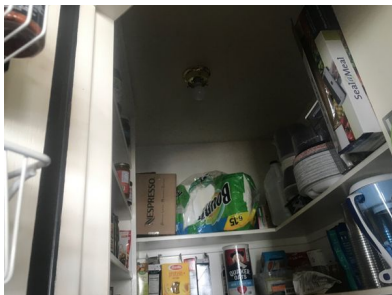
**6: Light: Globe Damaged/Missing**

🔴Recommendation

Kitchen

Missing/damaged light globe was observed. Remedy as needed.

Recommendation: Recommended DIY Project



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**7: Light: Switch Has No Apparent Function**

🔴Recommendation

Kitchen

A switch had no apparent function. Evaluate and remedy as needed, or ask seller for further clarification.

Recommendation: Contact a qualified electrical contractor.



I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I	NI	NP	D
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**8: Light: Fixture is Loose**

🚫Recommendation

Kitchen, Multiple Locations

Fixture should be secured or repaired as needed.

Recommendation: Contact a qualified electrical contractor.



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**9: Wiring: Extension Cord Used as Permanent Wiring**

🚫Recommendation

Rear

Extension cord are not intended to be used as permanent wiring. Evaluate and remedy as needed.

Recommendation: Contact a qualified professional.



**III. HEATING, VENTILATION & AIR CONDITIONING SYSTEMS**

*General Photos of HVAC Equipment:*

I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I	NI	NP	D
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*General Photos of Return Chases :*



**I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient**

<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D</b>
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*General Photos of Thermostats:*



☒ ☐ ☐ ☒

**A. Heating Equipment**

*Type of System:* Forced Air, Furnace

*Energy Source:* Natural Gas

*Comments:*

*Older Equipment: Heating:*

**Note:** Operation of the unit shows the unit was heating at the time of the inspection. Due to the age of the system, routine maintenance is recommended.

**1: Cabinet: No wire bushing**

➡ **Recommendation**

No bushing was present to protect wiring entering the unit. Remedy as needed.

Recommendation: Contact a qualified professional.



**2: Venting: Schedule 40 PVC Used for Furnace Vent**

🔧 **Maintenance Item/Note**

**Note:** Vent pipe observed for heater is made of schedule 40 PVC. This is correct for heating units rated at a 90% efficiency. Determination of the efficiency of a heating unit is beyond the scope of this inspection. For further evaluation, a qualified HVAC Technician should be contacted.

Recommendation: Contact a qualified professional.



I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I	NI	NP	D
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☒ ☐ ☐ ☒

## B. Cooling Equipment

*Type of System:* Central Air Conditioner, Ceiling Fan

*Comments:*

*Older Equipment: Cooling:*

**Note:** Operation of the unit shows the unit was cooling at the time of the inspection. Due to the age of the system, routine maintenance is recommended.

1st Floor

*Temperature difference (delta) - First Floor:* 14°

*Temperature difference (delta) - Primary Suite:* 12°

*Temperature difference (delta) - Garage:* 8°

*Temperature difference (delta) - Second Floor:* 12°

*No access to internal coils:*

There was no removable panel cover to provide viewing access to the internal evaporator coils.

*Commercial Equipment Not Inspected:*

Commercial equipment is outside the scope of this inspection.



### 1: Functionality: System Not Operating As Intended

➡Recommendation

Primary Bedroom, 2nd Floor, Garage

The HVAC system was not operating as intended. Evaluation and remediation by a licensed HVAC contractor is recommended.

Recommendation: Contact a qualified HVAC professional.

### 2: Condenser: Insulation Missing or Damaged on Refrigerant Lines

➡Recommendation

Missing or damaged insulation on refrigerant line can cause energy loss and condensation. Remedy as needed.

Recommendation: Contact a qualified HVAC professional.

I	NI	NP	D
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### 3: Condenser: Rusty Filter Drier

#### ➔Recommendation

The filter drier was rusted. Evaluation and remediation by a licensed HVAC contractor is recommended.

Recommendation: Contact a qualified HVAC professional.



### 4: Condenser: Damaged Fins

#### ➔Recommendation

External fins on the condensing unit were damaged. Evaluation and remediation by a licensed HVAC contractor is recommended.

Recommendation: Contact a qualified HVAC professional.



### 5: Condenser: Dirty

#### ➔Recommendation

The condensing unit was dirty. Servicing by a licensed HVAC contractor is recommended.

Recommendation: Contact a qualified HVAC professional.

I	NI	NP	D
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**6: Condensate system: Standing water in overflow pan**

🚫Recommendation

Standing water was present in the A/C emergency overflow pan. This can indicate a dirty or restricted condensate system. Servicing by a licensed HVAC contractor is recommended.

Recommendation: Contact a qualified HVAC professional.



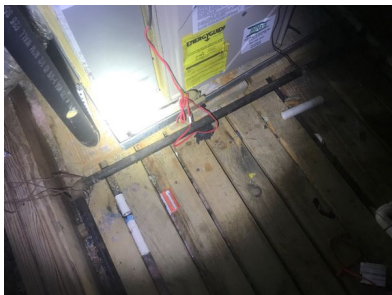
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**7: Condensate System: Discoloration Under or Around HVAC Equipment**

🚫Recommendation

Discoloration under or around HVAC equipment indicates prior moisture contact. Cause was not determined.

Recommendation: Contact a qualified HVAC professional.



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**8: Condensate System: Discoloration on HVAC Equipment**

🚫Recommendation

Discoloration on HVAC equipment indicates prior moisture contact or excessive condensation.

Recommendation: Contact a qualified HVAC professional.



I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I	NI	NP	D
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☒ ☐ ☐ ☒ **C. Duct System, Chases, and Vents**

*Comments:*

*Media filter:* Media filter is located at the HVAC cabinet. This filter should be replaced every 6-12 months.

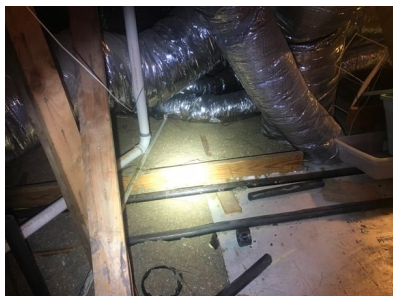


**1: Ducts: Ducts on attic floor**

🔴Recommendation

Sections of ducting were resting on the attic floor. Evaluate and remedy as needed.

Recommendation: Contact a qualified HVAC professional.



**2: Ducts: Ducts resting on each other.**

🔴Recommendation

Ducts were resting on each other. This can result in condensation forming between the two sections of ductwork. Remedy as needed.

Recommendation: Contact a qualified professional.

I	NI	NP	D
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### 3: Ducts: Leaking

#### ➔Recommendation

The air supply duct was leaking air. Evaluation and remediation by a licensed HVAC contractor is recommended.

Recommendation: Contact a qualified HVAC professional.



### 4: Visible substance observed on Supply Register

#### ➔Recommendation

A dark substance was observed on an air supply register in the home. Servicing and cleaning of the system by a qualified HVAC contractor is recommended, as this can be a result of excessive water vapor/humidity in the conditioned air.

*Unless otherwise contracted, the Inspector does not test these areas to determine the presence of microbial growth.*

Recommendation: Contact a qualified HVAC professional.

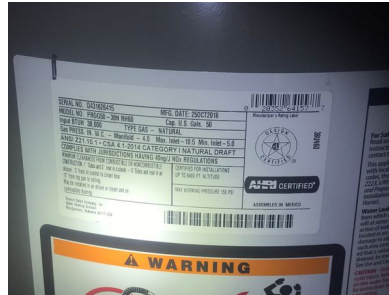


## IV. PLUMBING SYSTEMS

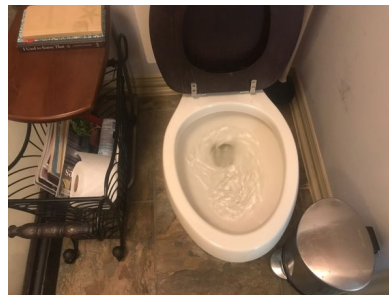
*General Photos of Water Heating Equipment:*

I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I	NI	NP	D
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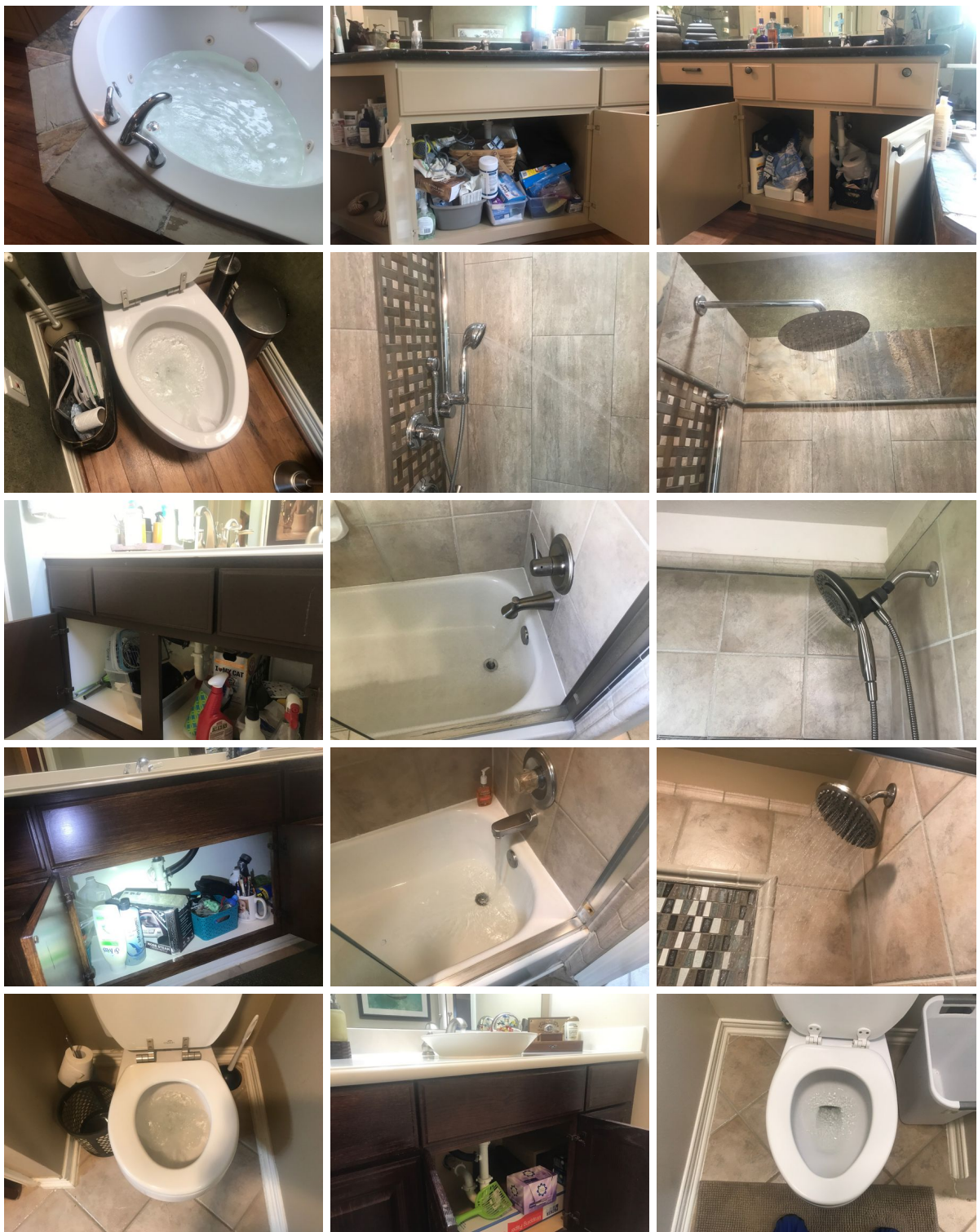
*General Photos of Plumbing Fixtures:*





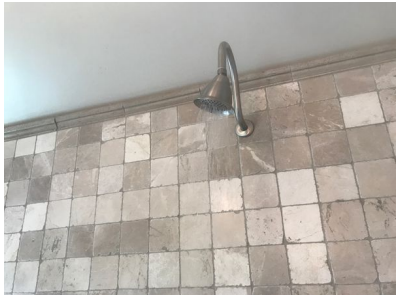
I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

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I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I	NI	NP	D
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*General Photo(s) of Hydromassage Therapy Tubs :*



*General Photos of Gas Meter(s):*



*General Photos of Drain Lines:*



- ☒ ☐ ☐ ☒
- A. Plumbing Supply, Distribution Systems, and Fixtures**  
*Location of water meter: Front yard near street*





I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I	NI	NP	D
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*Location of main water supply valve:* Not observed

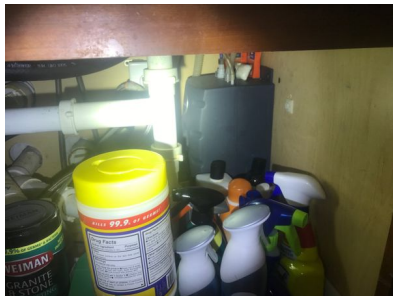
*Static water pressure reading:* 65 psi



*Comments:*

*Water Treatment Equipment:*

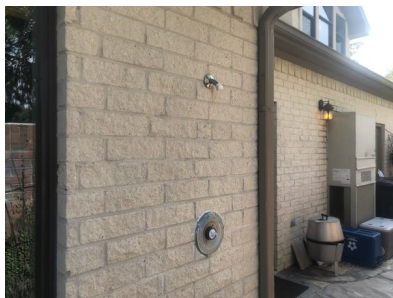
Water treatment equipment is not covered under the scope of this inspection. For further evaluation, contact the installer or manufacturer of the equipment.



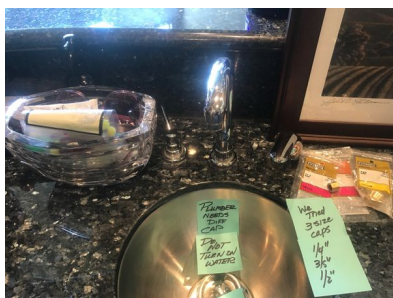
*No Plumbing Access:*

There was not an access panel at one or more bathrooms to observe bath drain lines.

*Outdoor Shower De-commissioned:*



*Fixture Under Repair:*



*Fixture Not Operated:*



I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I	NI	NP	D
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### 1: Fixtures: Dripping

➔Recommendation

Kitchen, 2nd Floor Bathrooms

A faucet was dripping. Evaluation and/or repair by a qualified handyman or licensed plumber is recommended. Fixtures:

Recommendation: Contact a qualified plumbing contractor.



### 2: Fixtures: Stem Leaking

➔Recommendation

Laundry Area

The faucet stem leaked when operated. Remedy as needed.

Recommendation: Contact a qualified plumbing contractor.



I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I	NI	NP	D
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**3: Fixtures: Handle rotates 360**

➔Recommendation

Primary Bathroom

The faucet handle rotated 360. It can be difficult to determine if the faucet is completely shut off. Remedy as needed.

Recommendation: Contact a qualified plumbing contractor.



---

**4: Supply piping: Water Pressure Drop at Fixtures**

➔Recommendation

Primary Bathroom

Water pressure decreased when multiple fixtures were in use at the same time. This is not uncommon for homes with older metal pipes that may have some corrosion in the lines. If evaluation is desired to determine a method of remedy, consult with a qualified plumber.

Recommendation: Contact a qualified plumbing contractor.

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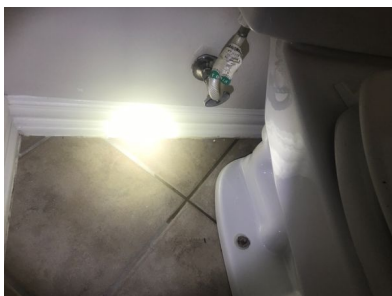
**5: Toilet: Leaking**

➔Recommendation

2nd Floor Bathrooms

Toilet is leaking. Evaluation and/or repair by a qualified handyman or licensed plumber is recommended.

Recommendation: Contact a qualified plumbing contractor.



I = Inspected   NI = Not Inspected   NP = Not Present   D = Deficient

I	NI	NP	D
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**6: Tub: Surface Defects**

🔴Recommendation

2nd Floor Right Bathroom

Defects were observed on the tub surface. Remedy as needed.

Recommendation: Contact a qualified professional.



☒ ☐ ☐ ☒ **B. Drains, Wastes, & Vents**

*Comments:*

*No Main Line Plumbing Cleanout Found:*

The inspector was unable to locate a plumbing cleanout to perform a sewer scope inspection.

**1: Drain piping: Clean-out cap damaged/missing**

🔴Recommendation

Front

A clean-out cap was damaged or missing. Remedy as needed.

Recommendation: Contact a qualified plumbing contractor.



☒ ☐ ☐ ☒ **C. Water Heating Equipment**

*Energy Source:* Gas

*Capacity:* (2) 50 Gallon Units

*Comments:*

*Location:* Attic

**1: Annual Maintenance Flush Recommended**

🔧Maintenance Item/Note

Water heaters should typically be flushed annually to prevent sediment buildup and maintain efficiency. It is recommended that you refer to the manufacturer's manual for maintenance schedules specific to this device and make any service appointments as needed.

Recommendation: Contact a qualified plumbing contractor.

---

**2: TPR Valve Note: Replacement may be needed**

🔧Maintenance Item/Note



**I = Inspected   NI = Not Inspected   NP = Not Present   D = Deficient**

<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D</b>
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The manufacturer recommends replacement of the pressure relief valve every three years to ensure proper emergency function. The inspector does not test TPR valves due to safety hazard or possible damage to unit.

Recommendation: Contact a qualified professional.

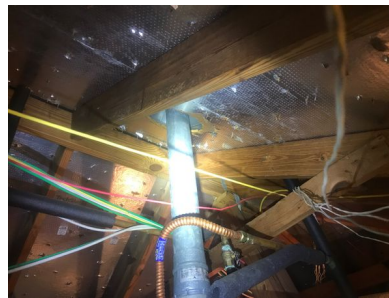
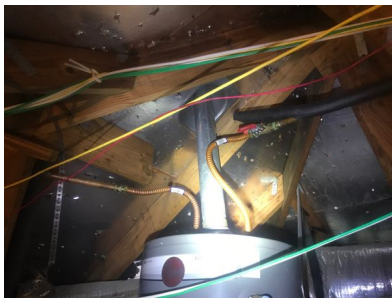


### **3: Venting system: Missing vent pipe strap**

➡Recommendation

The water heater combustion vent pipe was not properly supported/secured with strapping. Remedy as needed.

Recommendation: Contact a qualified professional.



### ☒ ☐ ☐ ☒ **D. Hydro-Massage Therapy Equipment**

*Comments:*

*No pump access:*

2nd Floor

*No motor access:*

2nd Floor

*Limited visibility:*

Limited access to the area under the tub limited visibility of all under-tub components.

Primary Bathroom



**1: No visible GFCI**

**I = Inspected   NI = Not Inspected   NP = Not Present   D = Deficient**

<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D</b>
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🚫 **Recommendation**

2nd Floor

No GFCI safety protection was visible for the tub motor. Identify the GFCI protection or install as needed for safety.

Recommendation: Contact a qualified professional.

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**2: Whirlpool Dirty**

🚫 **Recommendation**

2nd Floor

The whirlpool appeared to be blowing dirty water. This may indicate the system has not been cleaned on a regular basis. To prevent debris in the lines the unit should be cleaned per the manufacturers specifications.

Recommendation: Contact a qualified professional.

---



**3: Damaged Ports**

🚫 **Recommendation**

2nd Floor

Water ports on the tub walls were damaged or missing. Remedy as needed.

Recommendation: Contact a qualified professional.

---



**4: Gaps in Grout**

🚫 **Recommendation**

Primary Bathroom

Grout was missing or damaged around whirlpool. Repair is recommended to prevent moisture intrusion.

Recommendation: Contact a qualified professional.

I	NI	NP	D
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**5: Inoperable Motor**

🔴Recommendation

Primary Bathroom

The motor did not function when tested. Evaluate and remedy as needed.

Recommendation: Contact a qualified professional.

**V. APPLIANCES**

*General Photos of Dishwasher:*



*General Photos of Food Waste Disposer:*



*General Photos of Range Hood/Exhaust Systems:*



*General Photos of Ranges, Cooktops, and Ovens:*



**I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient**

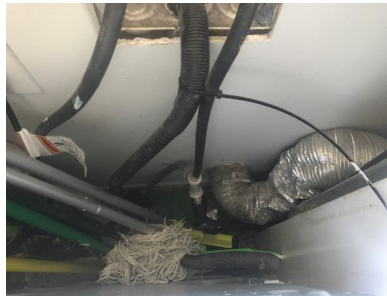
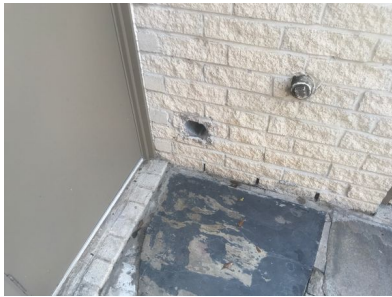
<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D</b>
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*General Photos of Microwave Oven:*



*General Photos of Dryer Exhaust Systems:*



☒ ☐ ☐ ☐ **A. Dishwashers**  
*Comments:*

☒ ☐ ☐ ☒ **B. Food Waste Disposers**  
*Comments:*

**1: Debris - Disposal**

**➡Recommendation**

The garbage disposal sounded as if it had debris in it.

Recommendation: Contact a qualified professional.

☒ ☐ ☐ ☒ **C. Range Hood and Exhaust Systems**  
*Comments:*  
*Exhaust Hood Type:* Vented

I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I	NI	NP	D
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**1: Greasy Kitchen Filter**

🚫 Recommendation

Kitchen exhaust filter had excessive grease build-up. Clean and/or replace as needed.

Recommendation: Contact a qualified professional.



**2: Exhaust Light Out**

🚫 Recommendation

The light did not function at the kitchen exhaust. This may be the result of a bad bulb. Replace and test or remedy as needed.

Recommendation: Contact a qualified professional.



☒ ☐ ☐ ☒ **D. Ranges, Cooktops, and Ovens**

*Comments:*

*Range/Oven Energy Source:* Electric oven, Gas range

I = Inspected   NI = Not Inspected   NP = Not Present   D = Deficient

I	NI	NP	D
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**1: Oven Light Inoperable**

🔴Recommendation

Upper

Oven light did not come on when tested. This may be the result of a bad bulb. Evaluate and remedy as needed.

Recommendation: Contact a qualified professional.



**2: Oven Temperature is Inaccurate**

🔴Recommendation

All

The oven thermostat is inaccurate. A variance of more than 25 degrees F was noted when set at 350F. Evaluate and remedy as needed.

Recommendation: Contact a qualified professional.



☒ ☐ ☐ ☐ **E. Microwave Ovens**  
*Comments:*

☒ ☐ ☐ ☒ **F. Mechanical Exhaust Vents and Bathroom Heaters**  
*Comments:*

**1: Dirty Vent Cover**

🔴Recommendation

Laundry Area



I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient

I	NI	NP	D
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Cleaning of the exhaust vent cover is needed to ensure unrestricted air flow.


Recommendation: Contact a qualified professional.



☐ ☐ ☒ ☐ **G. Garage Door Operators**  
*Comments:*

☒ ☐ ☐ ☒ **H. Dryer Exhaust Systems**  
*Comments:*

**1: Cleaning Vent Recommended**

 [Maintenance Item/Note](#)

Cleaning of the dryer exhaust vent is recommended as normal maintenance and to prevent excessive lint build-up in the line.

Recommendation: Contact a qualified professional.



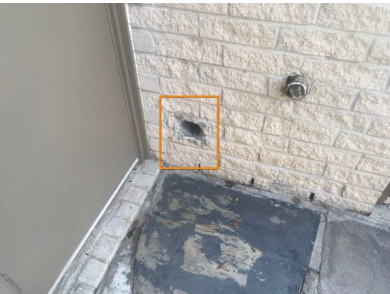
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**2: Damaged Cover**

 **Recommendation**

The dryer exhaust cover was damaged.

Recommendation: Contact a qualified professional.



**VI. OPTIONAL SYSTEMS**

**I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient**

<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D</b>
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☒ ☐ ☐ ☒ **A. Landscape Irrigation (Sprinkler) Systems**

*Comments:*

*Control Location:* Exterior Wall

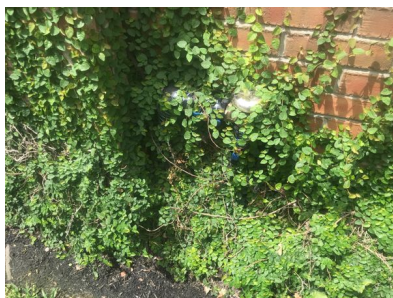


*Rain sensor:* Not present/Not located

*Shut Off Location:* At backflow prevention device



*Vacuum Breaker/Backflow Preventer:* Installed



*Zone Location:* Entire perimeter of home

*Tested in Manual Mode Only:*

Inspection and operation of irrigation (sprinkler) systems under the scope of this inspection is limited to "manual mode" only. Timers and other functions are not operated.

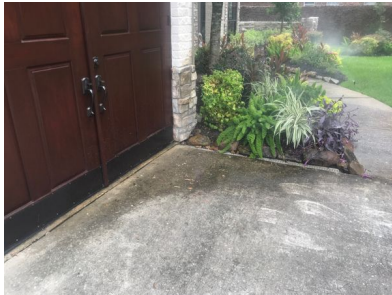
**1: Adjust heads aimed at structure**

**➡Recommendation**

Sprinkler heads were spraying the structure. Sprinkler heads should be adjusted to spray away from the structure(s). Remedy as needed.

Recommendation: Contact a qualified professional.

<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D</b>
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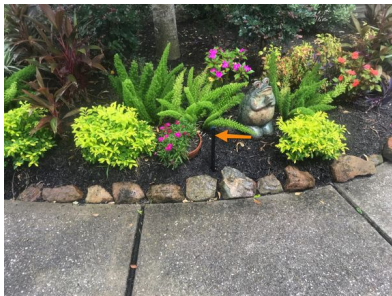
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## 2: Broken Sprinkler Heads

### 🚫Recommendation

One or more sprinkler heads were broken. Replacement is recommended.

Recommendation: Contact a qualified professional.



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## 3: Leaks

### 🚫Recommendation

Components of the irrigation system leaked. Further evaluation is recommended.

Recommendation: Contact a qualified professional.



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## 4: No visible rain sensor

### 🚫Recommendation

Rain/moisture sensor is not visible/could not be located. These are water-conservation devices. Remedy as needed.

Recommendation: Contact a qualified professional.

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## 5: Zone Not Working

### 🚫Recommendation

Zone 3, 10

One or more zones were observed to not be working. Recommend a qualified contractor check all zones.



**I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient**

<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D</b>
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Recommendation: Contact a qualified professional.

☒ ☐ ☐ ☒ **B. Swimming Pools, Spas, Hot Tubs, and Equipment**

*Pool and Spa Safety Information::*

**Pool and Spa Safety Information:**

For up to date pool safety recommendations go to the following:

[Pool Safety](#)

and

[Red Cross Pool Safety](#)

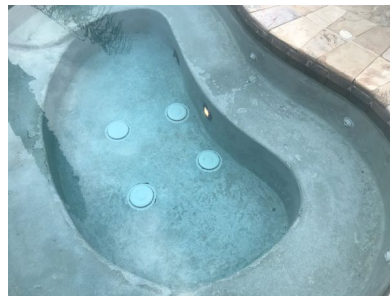
and

[Pool Safety Guidelines](#)

and

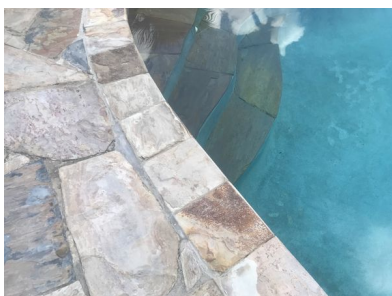
[Barrier Guidelines](#)

*Type of Construction::* Inground Pool and Spa



*Comments:*

*Interior Finish Material::* Plaster/Gunite, Stone



*Coping Type::* Stone

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<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D</b>
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*Decking Type::* Stone



*Drain Type(s)::* Anti-Entrapment Drains, Multiple Drains



*Pool Barriers::* Perimeter Yard Fencing -

All pool fencing should be a minimum of 60 inches with the latch a minimum of 54 inches off the grade. Gates should be self-closing and self-latching and open away from the pool/spa area.

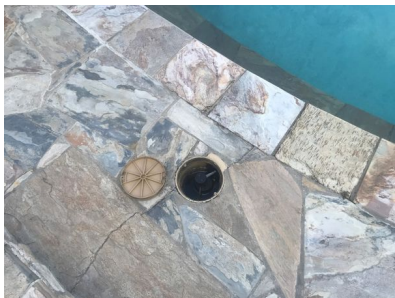


*Fill Valve Type::* Auto-fill valve with float

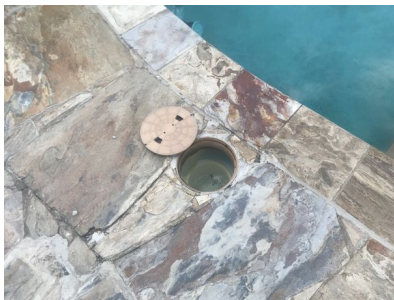


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Filtering Components:: Skimmer, Pool Sweep, Auto-chlorinator



Filtration Type:: Cartridge



Pump Types:: Circulation, Booster, Waterfall





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I	NI	NP	D
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Water Treatment:: Standard Chlorine, Auto-Chlorination



Spa Jets:: Air Blower (bubbler)



Heating Type:: Natural Gas Heater



Automatic Pool Cleaner: Present



**I = Inspected    NI = Not Inspected    NP = Not Present    D = Deficient**

<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D</b>
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*Control(s)::* Spa Side Control, In-house Control -  
We recommend verifying equipment with seller.



*Circuit Breaker Location(s)::* Other



*GFCI Protection::* At Equipment Area



*Equipment Bonding::* Pump(s)



*Electric Controls::* Local Subpanel

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<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D</b>
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*Wiring Type::* Watertight Flexible Conduit



*Heater Size:*

Proper size of heater and required BTU's for any particular pool/spa is not within the scope of this inspection.

*No leak testing:*

Pool leak testing is not within the scope of this inspection.

*Purifying Devices:*

Operation of chlorinated or salt water purification systems are not within the scope of this pool inspection.

*Tested manual mode only:*

The swimming pool/spa control panels/timers were operated in the manual mode only. Remote controls were not operated.

*Valves not operated:*

Valves were not operated due to possible equipment damage

### **1: Air Injection (Bubbler) Not Working**

#### **➔Recommendation**

The spa air injection or "bubbler" was not working properly and should be repaired or replaced as needed.

Recommendation: Contact a qualified Swimming Pool Contractor





<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D</b>
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**2: All Equipment Needs to Be Evaluated.**

➡Recommendation

Due to observed deficiencies, all pool equipment should be evaluated by a Pool/Spa Contractor.

Recommendation: Contact a qualified Swimming Pool Contractor

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**3: Bonding Connection Missing**

➡Recommendation

A bonding connection is missing at the pool equipment.

Recommendation: Contact a qualified electrical contractor.



**4: Door Alarms Are Not Installed.**

➡Recommendation

All doors that lead to the pool area should be protected with door alarms unless separate pool fencing is installed.

Recommendation: Contact a qualified Swimming Pool Contractor

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**5: Leak at Equipment**

➡Recommendation

Equipment leaked. Leaking equipment and/ or pumps should be fully evaluated by a qualified pool contractor.

Recommendation: Contact a qualified Swimming Pool Contractor



**6: No Wall Diving**

➡Recommendation

The raised wall above the pool surface is not designed for diving as the pool depth may not be adequate. These areas should be monitored to prevent injury.

Recommendation: Contact a qualified professional.

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<b>I</b>	<b>NI</b>	<b>NP</b>	<b>D</b>
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**7: Inadequate Perimeter Gates**

🚫 **Recommendation**

The perimeter gates that provide access to the pool/spa area should be self-closing, self-latching, and open away from the pool area.

Recommendation: Contact a qualified professional.



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**8: Pump is Loose**

🚫 **Recommendation**

The pool pump was loose. The pool pump should be properly secured or anchored to prevent movement.

Recommendation: Contact a qualified Swimming Pool Contractor



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**9: PVC Piping Not Painted**

🚫 **Recommendation**

PVC piping was not painted. PVC can be damaged by sunlight and should be painted or coated for UV protection.

Recommendation: Contact a handyman or DIY project

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I	NI	NP	D
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#### 10: Skimmer Weir Missing

➔Recommendation

Skimmer weir was missing

**Note:** *The weir has a dual function of regulating the amount of water entering the skimmer and preventing excessive debris from clogging the skimmer.*

Recommendation: Contact a qualified Swimming Pool Contractor



#### 11: Stains Noted

➔Recommendation

The pool walls were stained. This could be from a high mineral level or chemical imbalance. Recommend testing pH or having pool professional evaluate.

Recommendation: Contact a qualified professional.



#### 12: Surface Defects Present

➔Recommendation

Visible defects were noted on the pool surface material. Contact a qualified swimming pool repair company if resurfacing estimates are desired.

Recommendation: Contact a qualified Swimming Pool Contractor



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I	NI	NP	D
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**13: Water Feature Inoperable**

🚫Recommendation

Recommend evaluation by a qualified pool professional.

Recommendation: Contact a qualified professional.