

# PROPERTY INSPECTION REPORT



**15 Taupewood Place, Conroe, TX, 77384**

YEAR BUILT: 2001

SIZE: 3077 Sq Ft sq ft

INSPECTION PREPARED FOR: Matt Short

INSPECTOR: Robert Saji

LICENSE: License # 10287

DATE & TIME OF INSPECTION: 9/7/2020

WEATHER: Clear & Hot

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[robert.saji@housecheck.com](mailto:robert.saji@housecheck.com)

 832.526.2244

## PROPERTY INSPECTION REPORT

<b>Prepared For:</b>	Matt Short	
	(Name of Client)	
<b>Concerning:</b>	15 Taupewood Place, Conroe, TX 77384	
	(Address or Other Identification of Inspected Property)	
<b>By:</b>	Robert Saji, License # 10287	9/7/2020
	(Name and License Number of Inspector)	(Date)

### PURPOSE, LIMITATIONS AND INSPECTOR / CLIENT RESPONSIBILITIES

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions. If any item or comment is unclear, you should ask the inspector to clarify the findings. It is important that you carefully read ALL of this information.

This inspection is subject to the rules ("Rules") of the Texas Real Estate Commission ("TREC"), which can be found at [www.trec.texas.gov](http://www.trec.texas.gov).

The TREC Standards of Practice (Sections 535.227-535.233 of the Rules) are the minimum standards for inspections by TREC licensed inspectors. An inspection addresses only those components and conditions that are present, visible, and accessible at the time of the inspection. While there may be other parts, components or systems present, only those items specifically noted as being inspected were inspected. The inspector is NOT required to turn on decommissioned equipment, systems, utility services or apply an open flame or light a pilot to operate any appliance. The inspector is NOT required to climb over obstacles, move furnishings or stored items. The inspection report may address issues that are code-based or may refer to a particular code; however, this is NOT a code compliance inspection and does NOT verify compliance with manufacturer's installation instructions. The inspection does NOT imply insurability or warrantability of the structure or its components. Although some safety issues may be addressed in this report, this inspection is NOT a safety/code inspection, and the inspector is NOT required to identify all potential hazards.

In this report, the inspector shall indicate, by checking the appropriate boxes on the form, whether each item was inspected, not inspected, not present or deficient and explain the findings in the corresponding section in the body of the report form. The inspector must check the Deficient (D) box if a condition exists that adversely and materially affects the performance of a system or component or constitutes a hazard to life, limb or property as specified by the TREC Standards of Practice. General deficiencies include inoperability, material distress, water penetration, damage, deterioration, missing components, and unsuitable installation. Comments may be provided by the inspector whether or not an item is deemed deficient. The inspector is not required to prioritize or emphasize the importance of one deficiency over another.

Some items reported may be considered life-safety upgrades to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards or Deficiencies below.

**THIS PROPERTY INSPECTION IS NOT A TECHNICALLY EXHAUSTIVE INSPECTION OF THE STRUCTURE, SYSTEMS OR COMPONENTS.** The inspection may not reveal all deficiencies. A real estate inspection helps to reduce some of the risk involved in purchasing a home, but it cannot eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is recommended that you obtain as much information as is available about this property, including any seller's disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for or by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspector's responsibility to confirm that information obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous or future reports.

**ITEMS IDENTIFIED IN THE REPORT DO NOT OBLIGATE ANY PARTY TO MAKE REPAIRS OR TAKE OTHER ACTIONS, NOR IS THE PURCHASER REQUIRED TO REQUEST THAT THE SELLER TAKE ANY ACTION.** When a deficiency is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods.

Promulgated by the Texas Real Estate Commission (TREC) P.O. Box 12188, Austin, TX 78711-2188 (512) 936-3000  
<http://www.trec.texas.gov>.

Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

#### TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions.

Examples of such hazards include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathrooms, kitchens, and exterior areas;
- malfunctioning arc fault protection (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined.

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered" because they were present prior to the adoption of codes prohibiting such conditions. While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate licensees also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms require a seller to remedy conditions revealed by an inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for the sale or purchase of the home.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

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#### ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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### I. STRUCTURAL SYSTEMS

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. Foundations
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Type of Foundation(s):

- Post - Tension type foundation (typical for homes built after 1980)

Comments:

- About Foundations:

Two common foundation types are a concrete slab or pier and beam. Foundations are designed to provide a base for the framing and structural components of a dwelling as well as transfer the weight of the dwelling to the ground. Foundation movement can have a negative impact on the structural systems of the house. Slab-on-grade foundations are designed to move with the soil and, during the life the foundation, you can expect to find doors and windows that do not operate properly, as well as cracks to interior/exterior walls. These are common and do not necessarily indicate foundation failure or adverse performance.

- Limitation: Most components of the foundation are not visually accessible. Inspectors' opinions are limited to the visible interior and exterior structural components. Imperfections can be obstructed or hidden behind wall and floor coverings, behind walls, landscaping and other items. Inspectors do not take engineering measurements or perform any tests that would indicate the exact condition of any foundation. We recommend further evaluation by a qualified professional for further evaluation and diagnosis if there are concerns.
- Note: No signs of settlement were observed to the foundation structure at the time of the inspection.
- Performance of foundation: It is the professional opinion of the inspector that the foundation appears to be performing as intended at the time of the inspection.



DRIVEWAY OK

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. Grading and Drainage
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Comments:

• About Grading and Drainage:

Proper grading and drainage away from the structure is vital to the performance of the foundation. Water intrusion can cause wood rot, attract insects and encourage growth of possible organic materials. As a general rule, the ground should slope 6" within the first 10' away from the house. Clearance to wall siding should be at least 4" for brick, stone, or fiber cement and 6" for any other siding materials. Grading and drainage is inspected visually around the site. Flood plain research, soil and topographical studies are not performed as a part of the inspection. Any deficiencies found could be an indication of a more serious condition and should be evaluated by a qualified professional if there are concerns.

- Underground drainage was observed at the time of inspection. This is not tested as it is beyond the scope of this inspection.
- **NOTE: all slopes of the roof should be guttered to ensure that water is adequately diverted away from the structure.**
- **Evidence of standing water (ponding) was observed against or near the foundation. Poor grading was noted. This condition should be improved to promote the flow of water away from the structure.**
- **Splash block(s) at the base of the gutter downspouts should be added to prevent erosion of soil from grade. Downspouts should be present to adequately direct water away from the foundation.**



NO GUTTER SECTIONS



NO GUTTER SECTIONS

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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LOW AREAS; PRONE TO WATER PONDING



MISSING SPLASHBLOCK



EVIDENCE OF STANDING WATER / PONDING



EVIDENCE OF CLOGGING AT DRAIN CHANNEL

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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MISSING SPLASHBLOCK / EXTENSION



UNDERGROUND DRAINAGE PRESENT OK



FRENCH DRAINS PRESENT OK

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C. Roof Covering Materials
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Type(s) of Roof Covering:

- Composition shingle...30 Year Rated

Viewed From:

- Ground...Roof was visually inspected from accessible points on the interior and/or exterior. If a roof is too high, is too steep, is wet, or is composed of materials which can be damaged if walked upon, the roof is not mounted. Therefore, client is advised that this is a limited review and a licensed roofer should be contacted if a more detailed report is desired.

Comments:

- About Roof Coverings:

The roof consists of different materials and layers that come together to keep water from penetrating the structure. These systems include the outer roof covering materials, underlayment, metal flashings, sheathing, and roof decking. The roof is inspected visually and is limited to what can be seen at all accessible locations of the roof. Many elements of the roof are hidden and there is no guarantee that all damage, installation defects, and leaks can be detected. We always recommend consultation with a qualified roofing professional if there are any concerns or a need to determine insurability, life expectancy, or the potential for future problems which may arise. Any deficiencies found could be an indication of a more serious condition.

- Typical maintenance necessary, now and on an annual or semi-annual basis. This generally consists of resealing gaps at through-the-roof projections and wall-to-roof intersections.
- The roof covering was inspected and show typical signs of wear and age at the time of inspection.
- **There is debris from nearby tree on roof covering. This debris can impede the roof coverings ability to shed water causing leaks and premature aging of the roof cover. Roof coverings should remain free from debris.**



ROOF COVERING; RIGHT



ROOF COVERING; FRONT



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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ROOF COVERING; LEFT



ROOF COVERING; BACK



DEBRIS AT ROOFTOP

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	D. Roof Structure and Attics
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Viewed From:

- Walked deck or safe area
- Approximate Average Depth of Insulation:
  - Radiant Barrier Present
  - Insulation depth is between 10 and 12 inches
  - Loose Type Insulation present

Comments:

- About the Roof Structure:

The attic of a residence is important for several reasons. In warm, moist climates the attic is an essential element to creating an energy-efficient dwelling. Insulation in the attic must be of sufficient depth to achieve proper energy efficiency. There should also be sufficient air flow and/or humidity control in all confined areas of a home. The overall attic venting ratio should be at least 1/150th of the total habitable space, however, no measurements are taken as a part of the inspection.

Other structural components in the attic include decking of the roof. Inspectors can only visibly inspect these components in areas that are accessible and considered safe to access by the inspector. Many elements of the roof and attic remain hidden or inaccessible. There is no guarantee that all damage, installation defects and leaks can be detected. Inspections are limited to accessible areas. Any deficiencies found could be an indication of a more serious condition. We recommend further evaluation by a qualified professional for further evaluation and diagnosis if there are concerns.

- Note: Adequate viewable insulation is present in the attic space per today's standards. (R-30)
- No deficiencies present at the time of inspection.



INSULATION OK



RADIANT BARRIER PRESENT

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

X			X	E. Walls (Interior and Exterior)
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## Wall Materials:

- Masonry / brick veneer, wood type frame construction, composition cement siding ("Hardi-Board")

## Comments:

- About Interior and Exterior Walls:

Walls are visually inspected for moisture penetration and general structural performance. Condition of wall finishes and cosmetic imperfections that do not indicate a more serious problem are not noted within the inspection report. Any systems enclosed within the walls are not visible and cannot be inspected.

Limitations: No additional testing is included for environmental factors such as, but not limited to: air quality, mold, insect intrusion points, excessive moisture, inadequate or defective drywall, or defective building materials. If any concerns regarding environmental factors arise, the client should consult with a certified professional in these areas. Texas law does not allow a licensed professional home inspector to positively identify and/or report the presence of mold or other environmental factors. This inspection is not a pest or wood-destroying insect (WDI) inspection. The inspector does not assume any responsibility for damage to the dwelling caused by pests or insects. Any deficiencies found could be an indication of a more serious condition and should be evaluated further by a qualified professional if there are concerns.

- Maintain all exterior finishes, caulking, and other sealants at any dissimilar material abutments and all penetrations to the walls and roof. This inexpensive task aids in the prevention of moisture intrusion and saves on costly repairs.
- All pipes, cables, and vent lines should be properly sealed, where they penetrate the exterior siding throughout the home.
- All deficiencies noted in red OR captioned in the pictures should be further evaluated by a qualified professional.
- Seal deterioration / Unsealed areas were noted at one or more exterior siding intersections. Ensure all areas are properly sealed to help prevent issues and water intrusion.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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UNSEALED AREA



UNSEALED AREA



UNSEALED AREA



SEAL DETERIORATION

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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SEAL DETERIORATION



SIDING OVERALL OK



SEAL DETERIORATION

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	F. Ceilings and Floors
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## Ceiling and Floor Materials:

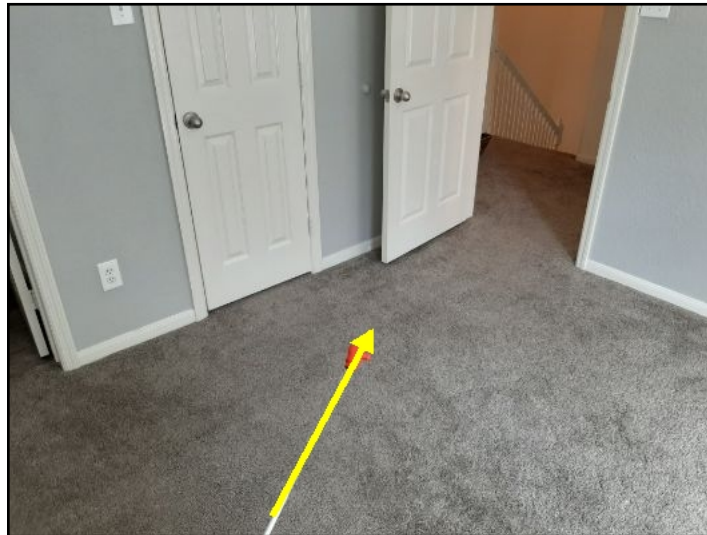
- Floor covering material is carpet
- Floor covering material is tile
- Floor covering material is wood

## Comments:

- About Ceilings and Floors:

Ceilings and floors are visually inspected for moisture penetration and general structural performance. Condition of surface finishes and cosmetic imperfections that do not indicate a more serious problem are not noted in the inspection report. Any area that is enclosed, inaccessible, or not visible cannot be inspected. Any deficiencies noted can be an indication of a more serious condition. We recommend further evaluation by a qualified professional for further evaluation and diagnosis if there are concerns.

- The sub-flooring is noisy/loose at the second story in the residence. This is common deficiency for high traffic areas throughout the home. Repairs are recommended.



NOISY SUB FLOOR

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	G. Doors (Interior and Exterior)
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Comments:

• About Doors:

Interior and exterior doors are inspected for functionality. Doors should open and close properly. Locks and latches should function as intended. Any deficiencies noted can potentially be an indication of a more serious condition. We recommend further evaluation by a qualified professional if there are concerns.

- Maintenance Tip: Caulk or grout recommended at door - floor junctions, where applicable, to prevent water that is carried in by foot traffic from entering under the flooring.
- MAINTENANCE: Recommend proper lubrication at the railing and rollers as needed to prevent issues or damage and sticking. CURRENTLY NEEDED
- All deficiencies noted in red OR captioned in the pictures should be further evaluated by a qualified professional.
- The hardware on one or more doors was found damaged / inoperable or not properly latching.
- One or more exterior doors were found incorrectly installed preventing a proper seal at the frame and weatherstripping.
- Door stops are missing for one or more interior doors throughout the residence. Recommend addition to prevent damage to walls within range of motion of each fixture.
- The weatherstripping is missing at one or more doors. Ensure all weatherstripping is present where required.
- Damaged weatherstripping was observed at one or more exterior doors.
- Minimal signs of wood rot and deterioration were noted at the exterior doors.
- Missing solid wood or fire-rated door at one or more required locations.



GARAGE DOOR OK



GAP AT DOOR AND WEATHERSTRIPPING

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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WOOD ROT AT FRAME



MISSING WEATHERSTRIPPING



INOPERABLE HARDWARE



DAMAGED SCREEN



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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MISSING DOOR STOPPER



DAMAGED WEATHERSTRIPPING



MINIMAL DETERIORATION AT DOOR



MISSING HARDWARE

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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MISSING HARDWARE



INOPERABLE HARDWARE



HOLLOW DOOR / NOT SAFETY DOOR



INOPERABLE HARDWARE

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	H. Windows
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Window Types:

- Standard sliding windows
- Windows are made of aluminum

Comments:

- About Windows:

Accessible windows are inspected for general functionality. Windows are examined for broken seals/glazing strips and the presence of tempered glass in all proper locations. Any deficiencies found can be an indication of a more serious condition. We recommend further evaluation by a qualified window repair professional if there are concerns.

- In accordance with ASHI Standards, we do not test every window in the house, and particularly if it is furnished. We do test every unobstructed window in every bedroom to ensure that at least one provides and emergency exit.
- All deficiencies noted in red OR captioned in the pictures should be further evaluated by a qualified professional.
- Seal deterioration / Unsealed areas were noted around the windows. Maintaining the proper seal around all windows helps prevent issues such as water intrusion, wood rot, and vermin activity.
- The windows are stiff or difficult to operate at one or more areas.



DAMAGED WINDOW PANE



WINDOWS CHECKED OK

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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DAMAGED WINDOW HARDWARE



WINDOWS CHECKED OK



SEAL DETERIORATION



SEAL DETERIORATION

X			
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I. Stairways (Interior and Exterior)

Comments:

- About Stairways:

Stairways are inspected for functionality and compliance with common building practices. Safety concerns of risers, steps and rails are noted within this section of the inspection report. Any deficiencies noted could indicate a more serious condition and should be evaluated by a qualified professional if there are concerns.

- The stairway(s) were inspected. No deficiencies were noted at the time of the inspection.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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STAIRWAY OK

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D





## J. Fireplaces and Chimneys

## Locations:

- Fireplace is located in the living room

## Types:

- Gas-fueled
- Prefabricated metal type fireplace was noted present.

## Comments:

- About Chimneys and Fireplaces:

Visible and accessible portions of the chimney and fireplace are inspected at the time of the inspection. Any defects observed are noted within this section of the inspection report. Inspection fireplace components include the visible firebox, flue, lintel, fuel source, and hearth extension. Proper clearance from combustibles can only be determined if the attic penetration is accessible.

Exterior chimney components include the chimney extension, spark arrestor, chimney cap and crown. Drafting capability of the chimney is not measured or tested. We always recommend a complete examination and cleaning (if necessary) by a qualified and licensed chimney sweep prior to using the fireplace or any of its accessories. Any deficiencies noted could indicate a more serious condition and should be evaluated by a qualified chimney professional if there are concerns.

- All deficiencies noted in red OR captioned in the pictures should be further evaluated by a qualified professional.
- The Damper on the fireplace and chimney system was tested / opened and closed multiple times and found to be in satisfactory condition.
- **The fireplace does not have hearth extension or required clearance from combustibles installed. The hearth extension must extend at least 16" from the front of the fireplace and 8" on the sides as well as have at least 6 inches to the sides and top of any combustible material.**

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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CHIMNEY OK



FIREPLACE OK



INSUFFICIENT CLEARANCE AT FRONT OF FIREPLACE



DAMPER OK

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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K. Porches, Balconies, Decks, and Carports

Comments:

- About Porches, Balconies, Decks and Carports:

All porches, balconies, decks and/or carports attached to or located near the main structure are included as part of the inspection report. Detached structures and outbuildings are not included within this report section and may be omitted entirely. Any deficiencies noted could indicate a more serious condition and should be evaluated by a qualified professional if there are concerns.

- Front and back porches inspected. No deficiencies to report at the time of the inspection.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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PORCH AREA OK



DAMAGE / VOIDS AT PATIO MORTAR



DAMAGE / VOIDS AT PATIO MORTAR

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	L. Other
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Materials:

- Wood type material (typically Pine)

Comments:

- Maintenance Tip: When landscaping, keep plants, even at full growth, at least a foot (preferably 18 inches) from house siding and windows. Keep trees away from foundation and roof. Plants in contact or proximity to home can provide pathways for wood destroying insects, as well as abrade and damage siding, screens and roofs.
- No deficiencies present at the time of inspection.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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FENCING OK



FENCING OK

## II. ELECTRICAL SYSTEMS

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

## A. Service Entrance and Panels

## Panel Locations:

- Service entrance is underground

## Materials and Amp Rating:

- Aluminum wiring
- Minimum of 100 amp main breaker is required for residential homes.
- 150 amp main breaker was noted preset
- 60 amp main breaker was noted present for the subpanel....as required.

## Comments:

- About Electric Panels:

Visible and accessible portions of the electrical service system are included in the inspection. The electrical service system includes components such as the service drop, mast, meter and service panel. Inspectors will attempt to remove the cover when deemed safe by the inspector to do so.

Limitation: Much of the electrical system is not accessible as it is hidden behind walls or other obstructions. Though some conditions can be discovered by a visible inspection, there may be some underlying hazardous or damaging conditions that are hidden from view. The inspector does not verify the effectiveness or performance of any over-current devices/breakers. If the client has any concerns with the electrical system or its insurability, they are encouraged to consult with a licensed electrician. Any deficiencies found could be an indication of a more serious condition and further evaluation/diagnosis by a licensed electrician is warranted.

- Dead front removed from service panel. No deficiencies to report at the time of the inspection.
- Missing antioxidant paste for aluminum service entrance conductors at the exterior service panel.
- Pointed screw(s) observed for the service panel dead front cover. Recommend replacement by a flat-tipped screw to prevent puncture of electrical wiring and/or personal injury from electrocution.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

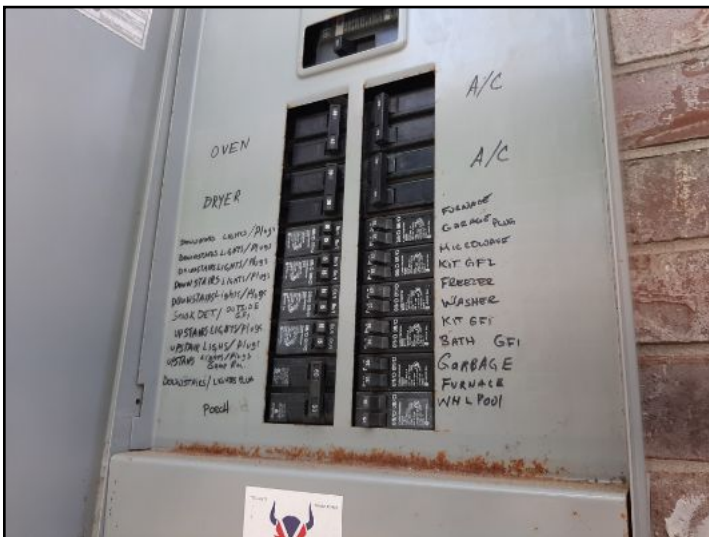
I	NI	NP	D
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MAIN GROUNDING OK



MAIN BREAKER OK



MAIN PANEL OK



SUB PANEL OK

I=Inspected

NI=Not Inspected

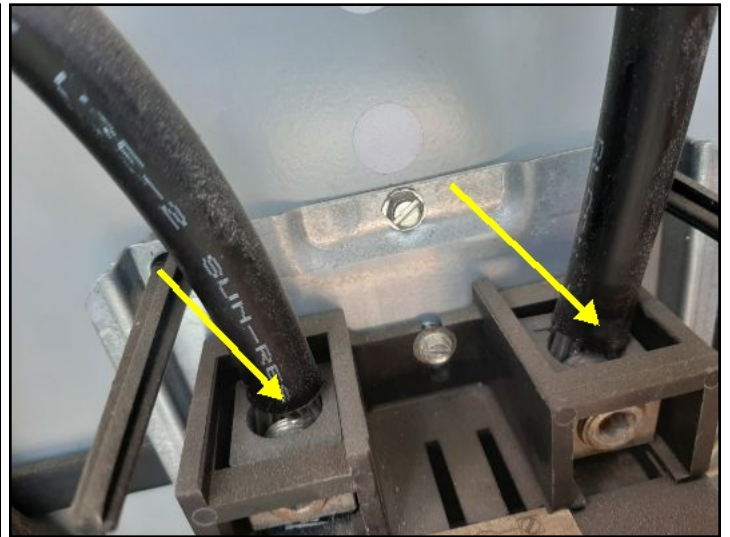
NP=Not Present

D=Deficient

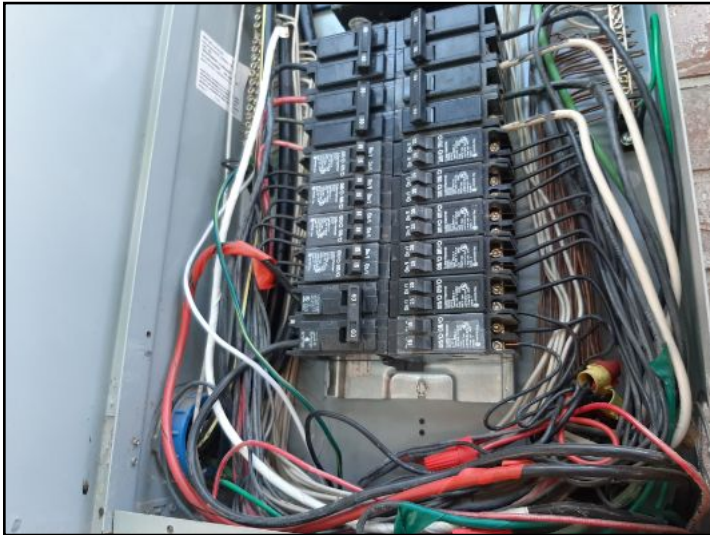
I	NI	NP	D
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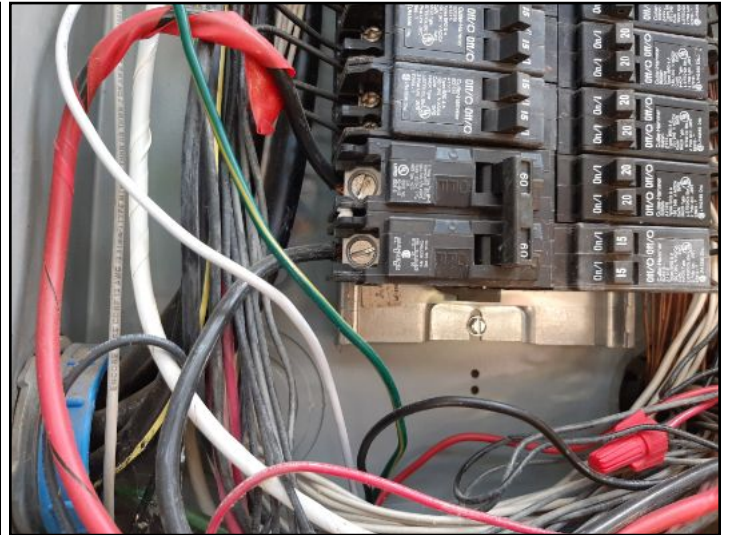
POINTED SCREWS PRESENT



MISSING ANTI-OXIDIZER LUBRICANT



INSIDE PANEL OK



SUB PANEL BREAKER OK

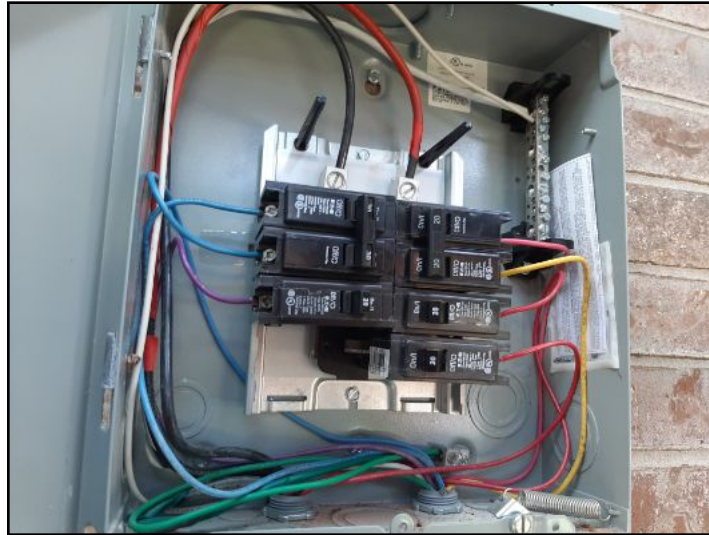
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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INSIDE SUBPANEL OK

X			
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B. Branch Circuits, Connected Devices, and Fixtures

Type of Wiring:

- Copper non-metallic sheathed cable noted.

Comments:

- About Branch Circuits, Connected Devices and Fixtures:

The electrical system includes components such as wiring, switches, outlets and fixtures. Much of the electrical system is not accessible as it is hidden behind walls or other obstructions. Though some conditions can be discovered by a visible inspection, there may be some underlying hazardous or damaging conditions that are hidden from view. **GFCI** and **AFCI** protection devices are inspected and reported by the inspector. Though general locations and power sources for smoke alarms are noted, their effectiveness, interconnectivity or suitability for the hearing impaired are not verified. Low voltage systems and disassembly of mechanical appliances are not included in the inspection.

- MAINTENANCE: Periodic testing and changing batteries yearly to ensure proper Smoke Alarm operation is required.
- No deficiencies present at the time of inspection.

III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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A. Heating Equipment

Type of Systems:

- Direct Port
- The furnace is located in the attic

Energy Sources:

- The furnace is gas powered.

Comments:

- Limitation: Did not operate the heating equipment due to outside temperature at the time of the inspection. Operating heating equipment when the exterior temperature is above 70 degrees can damage the unit and is not recommended
- About Heating Equipment:

The heating unit is designed to heat and circulate the inside air. Central heating units often work in conjunction with central cooling systems. The inspector operates the heating equipment if it deemed safe to do so. Inspectors visually inspect the heating unit for general operation and safety issues.

Inspectors are not authorized to disassemble heating or cooling components as a part of the home inspection. Inspectors do not verify compatibility of components, accuracy of the thermostat, integrity of the heat exchanger, sizing/tonnage, or uniformity of the air supply. In order to maximize the efficiency of a heating/cooling system, it is advisable to have them serviced annually. Any deficiencies can be an indication of a more serious condition, and further evaluation by a licensed HVAC specialist is advised if there are concerns.

- The heating equipment was inspected and no deficiencies were noted at the time of the inspection.



FURNACE OK



FURNACE 2 OK

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

    B. Cooling Equipment

Type of Systems:

- Split-System
- Refrigerant: R-22 (The refrigerant is allowable, but R-410A is today's standard for cooling equipment. New production and import of R-22 will be phased out by 2020. As a result, the price will likely increased based on limited supply.)

Comments:

- About Cooling Equipment:

The cooling equipment is designed to cool and circulate the inside air. Central air conditioning units often work in conjunction with central heating systems. The inspector operates the cooling equipment if the outside temperature is above 60 degrees and deemed safe to do so. Inspectors visually inspect the cooling equipment for general operation and safety issues.

Inspectors are not authorized to disassemble heating or cooling components as a part of the home inspection. Inspectors do not verify compatibility of components, accuracy of the thermostat, sizing/tonnage, or uniformity of the air supply. In order to maximize the efficiency of a heating/cooling system, it is advisable to have them serviced annually. Any deficiencies can be an indication of a more serious condition, and further evaluation by a licensed HVAC specialist is advised if there are concerns.

- MAINTENANCE: Remember to properly clean the primary drain line from the evaporator. It is recommended to clean this line with bleach every other month or as needed to prevent clogging / water damage.
- Air differential tested: Register =53 Return = 69 DELTA = 16 degrees (Standard range is 14 - 22 degrees for the cooling equipment.) YOU CAN ALWAYS VERIFY THIS INFORMATION WITH THE PROVIDED PICTURE OF THE ACTUAL MEASUREMENT
- First floor air differential tested: Register =55 Return = 75 DELTA = 20 . (Standard range is 14 - 22 degrees for the cooling equipment.)
- The secondary drain line for the evaporator was noted exiting at the BACK of the home. (If this pipe ever drips then the primary line is clogged and needs cleaning)
- NOTE: Missing / No overflow pipe OR incorrectly installed was noted present for the evaporator. (current installation does not allow for condensation drainage during emergency causing overflow through the actual evaporator)
- NOTE: According to the American Society of Heating, Refrigeration, and Air Conditioning Engineers (ASHRAE). The average life expectancy for a split system air conditioning system is 15 years. The system present is at or beyond the expected life. For more information visit: [www.ashrae.org](http://www.ashrae.org)
- Small hole or opening was noted present where the refrigerant lines enter the exterior wall.
- The air conditioner condenser coil (s) are dirty. Recommend having air conditioning system cleaned and serviced by a licensed HVAC contractor prior to purchase, and annually thereafter.
- Deteriorated insulation present at refrigerant line located at the exterior condenser. Refrigerant line should be properly insulated to prevent condensation

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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from forming.

- Drain pan does not fully cover evaporator. Ensure all areas are protected from water leaks and overflow.



CONDENSING UNIT OK



LABEL NOT LEGIBLE



LABEL



UNSEALED AREAS



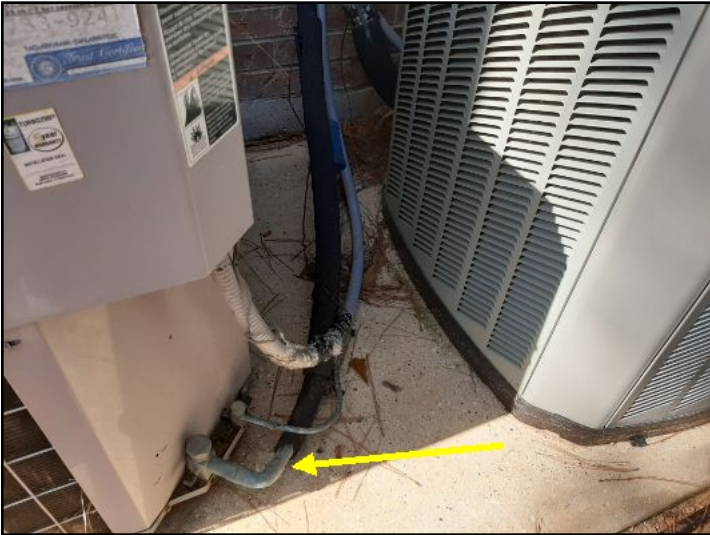
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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INSULATION DETERIORATION



DIRTY / DAMAGED COILS



EVAPORATOR SECONDARY DRAIN PIPE  
ROUTED HERE



THERMOSTAT OK

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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DRAIN PAN DOES NOT FULLY COVER EVAPORATOR



MISSING OVERFLOW DRAIN PIPE



MISSING / NO ACCESS TO PIPE FOR CLEANING AND MAINTENANCE



THERMOSTAT 2 OK

I=Inspected

NI=Not Inspected

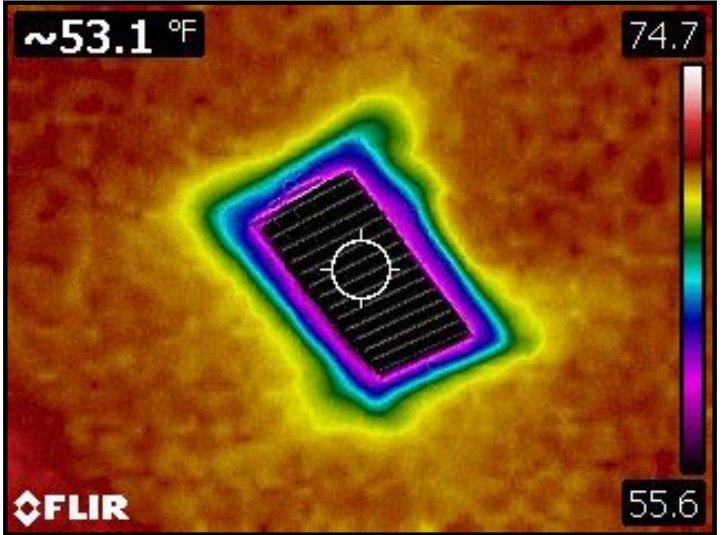
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D=Deficient

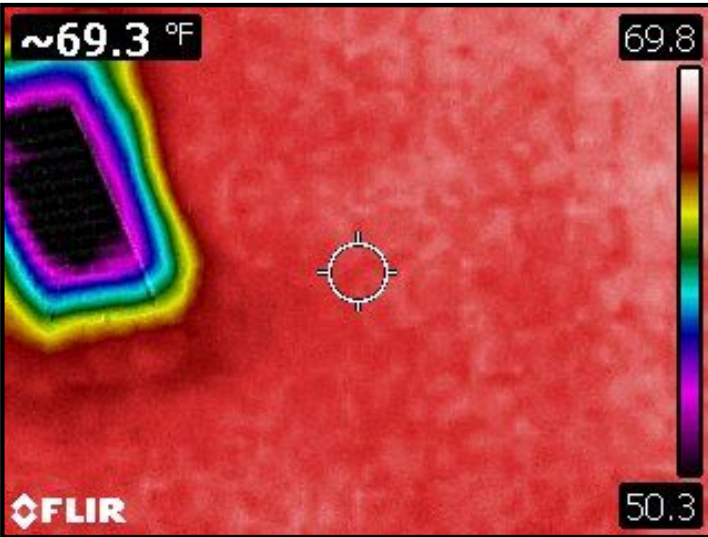
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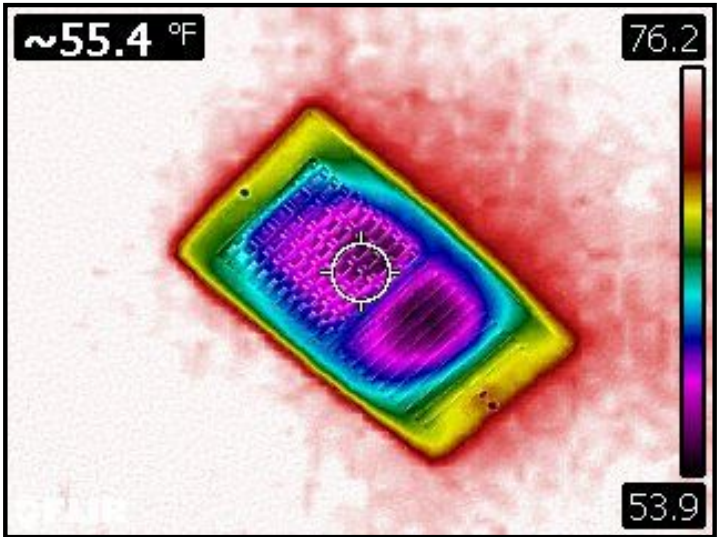
MISSING OVERFLOW DRAIN



DIFFERENTIAL SUPPLY



DIFFERENTIAL RETURN



DIFFERENTIAL SUPPLY 2

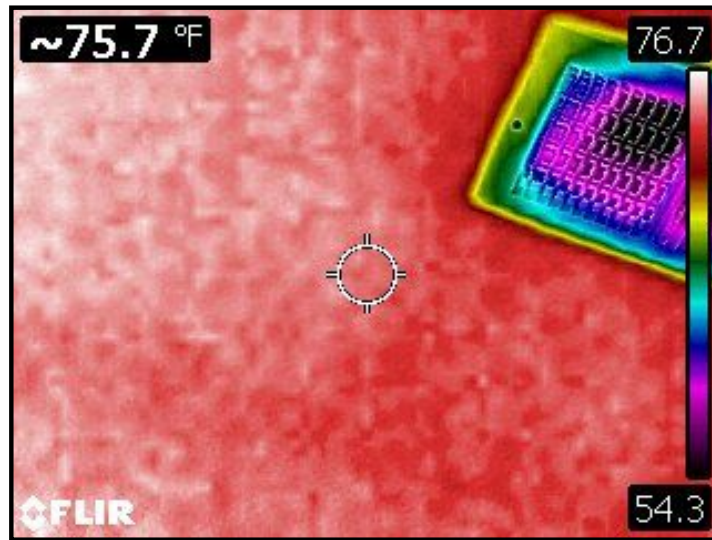
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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DIFFERENTIAL RETURN 2

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D





## C. Duct Systems, Chases, and Vents

## Comments:

- The visible ductwork and air flow presence is verified at very accessible register throughout the residence. Any deficiencies which can be identified in the duct system, chases or vents will be reported. Ventilation in the residence and attic is very important for the overall performance of the structure. Proper ventilation can help to control moisture levels and vent out harmful combustion gases.

Limitation of Scope: A home inspection is not a mold or air quality assessment. Texas law does not allow a home inspector to positively identify or report the presence of mold. Environmental and mold investigations should be only be conducted by a trained and state licensed professional. Any issues noted could indicate a more serious condition and should be evaluated further by a licensed HVAC professional if there are concerns.

- MAINTENANCE: The air filter(s) should be inspected at least monthly and cleaned or replaced as required. Filters help clean the house air, making the environment more pleasant. Filters also clean the air before it passes through the blower and heat exchanger. This helps to keep the furnace components working efficiently. There are two types of filters commonly used: (1) Washable filters, (constructed of aluminum mesh, foam, or reinforced fibers) these may be cleaned by soaking in mild detergent and rinsing with water. Or (2) Fiberglass disposable filters that must be REPLACED before they become clogged. Remember that dirty filters are the most common cause of inadequate heating or cooling performance.

- The temperature of warm and/or cool air detected is consistent at all interior registers throughout the residence.

- All deficiencies noted in red OR captioned in the pictures should be further evaluated by a qualified professional.

- The return filter(s) for the HVAC unit is excessively dirty. Recommend replacement to ensure proper performance of the HVAC equipment.

- The foil/mastic tape is missing or not properly sealed at the duct / plenum / unit transitions. A fiber paint also known as ""pookie" is used to seal all areas preventing air loss.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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FILTER DIRTY 20X25X1



FILTER OK 14X25X1



FILTER OK 16X25X1 2X



UNSEALED AREAS / COOL AIR ESCAPING

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

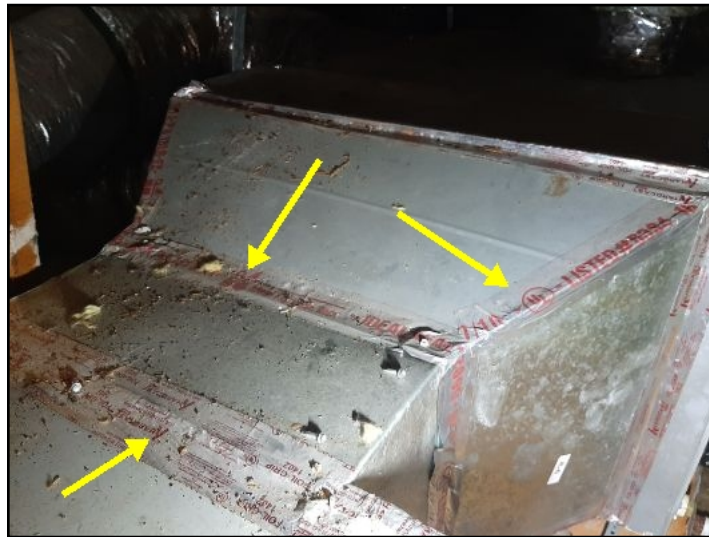
I	NI	NP	D
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DUCTING OK



MISSING / NO FIBER PAINT



MISSING / NO FIBER PAINT

#### IV. PLUMBING SYSTEMS

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D





## A. Plumbing Supply, Distribution System and Fixtures

Location of Water Meter:

- Front of home.

Location of Main Water Supply Valve:

- Located inside the GARAGE.
- The main water supply line for the home was noted of the following size (minimum of 3/4 inch required):

3/4 INCH

Comments:

- About Plumbing Supply Systems:

The plumbing system of a home includes the shutoff valve, water supply lines, plumbing drains, plumbing vents, and fixtures. Much of the plumbing system is not accessible as it is hidden behind walls or other obstructions. Though some conditions can be discovered by a visible inspection, there may be some underlying hazardous or damaging conditions that are hidden from view.

Limitation of scope: The inspector does not operate any shutoff valves and is not required to inspect (beyond a visual inspection) other mechanical systems such as pool pumps, underground irrigation lines, filter systems, fire sprinklers or backflow devices. Potability and/or water quality is not assessed as part of a home inspection. Water testing should only be done by qualified professionals if there are concerns. Any deficiencies noted could be an indication of a more serious condition, and further evaluation is advised if there are concerns.

- Suggest all tile edges and tub/shower walls be caulked and sealed to prevent moisture penetration. All missing/damaged grouting should be replaced. Failure to keep walls sealed can cause deterioration and extensive moisture damage to the interior walls and surrounding sub-flooring. This damage is not always visible or accessible to the inspector at the time of inspection.
- Plumbing Supply Material(s): CPVC
- Static Water Pressure Reading: 75 PSI
- Seal deterioration / Unsealed areas were noted at the shower pan. If not properly sealed water penetration / leaks into the wall can occur. Ensure all areas are sealed.
- The exterior hose bibb(s) leak at the following locations: .
- The hot and cold supply lines are reversed at one or more plumbing fixtures in the following locations: master bathroom.
- Water level inside the commode tank was noted too high resulting in continuous water flow. Adjustment / repairs will be needed prior to use.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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WATER PRESSURE OK; 75 PSI



LEAKING VALVE WHEN IN THE OPEN POSITION



WATER METER LOCATED HERE



HOT WATER OK

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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WATER LEVEL TOO HIGH; CONTINUES TO RUN



MAIN WATER VALVE OK



HOT AND COLD SUPPLY REVERSED



SEAL DETERIORATION / UNSEALED AREAS

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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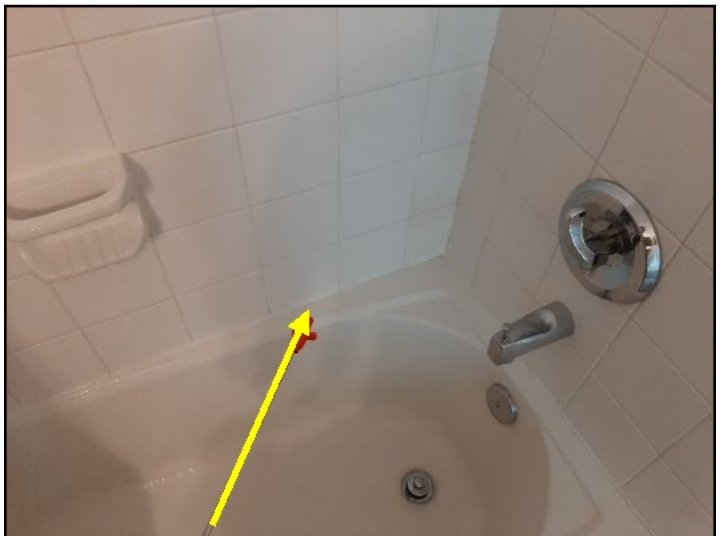
SEAL DETERIORATION / UNSEALED AREAS



WATER LEVEL TOO HIGH; CONTINUES TO RUN



SEAL DETERIORATION / UNSEALED AREAS



SEAL DETERIORATION / UNSEALED AREAS

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B. Drains, Wastes, and Vents
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Comments:

- About Drains and Waste Vents:

The inspection of the plumbing drainage system includes basins which hold water, drain stops, overflow drains, visual drain pipes, and clean-outs spaced throughout the residence.

Limitation of scope: Much of the plumbing drain line system is not accessible and is hidden behind walls, attic spaces, or other obstructions. Functionality of floor drains can only be assessed by running plumbing supplies within the corresponding wet areas.

- All sinks and tubs throughout the home were completely filled and drained. This applies maximum pressure to the drain lines. The system performed as intended at the time of the inspection.
- The **A/C** condensate line drains into the bathroom sink. Cleaning this pipe with bleach every other month or as needed to prevent clogging is a good maintenance plan.



SINK / TUB FILLED AND TESTED



EVAPORATOR DRAINS INTO THIS SINK

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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EVAPORATOR DRAINS INTO THIS SINK



SINK / TUB FILLED AND TESTED

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	C. Water Heating Equipment
-------------------------------------	--------------------------	--------------------------	-------------------------------------	----------------------------

Energy Source:

- Water heater is gas-fueled
- Water heater is located in the attic

Capacity:

- Unit capacity is 50 gallons

Comments:

- About Water Heaters:

Water heaters are designed to heat water throughout designated fixture supplies throughout the home. This report includes the energy source and capacity of the water heating unit (if available or listed). General installation and safety issues are assessed by the inspector. Annual maintenance (or whatever maintenance schedule the manufacturer advises) should be performed to residential water heaters. If the client is not comfortable performing general water heater maintenance, consultation with a qualified professional is advised. Any deficiencies noted could be an indication of a more serious condition, and further evaluation by a licensed plumber is also recommended if there are concerns.

Limitation of scope: Water heaters should be equipped with a temperature and pressure relief valve that is designed to relieve back pressure in the unit if the pressure or temperature exceeds the unit's capacity. This component is not tested as a part of the inspection for each water heating unit, as any failure may result in unforeseen damage to persons or property.

- All deficiencies noted in red OR captioned in the pictures should be further evaluated by a qualified professional.
- **The metal "B" vent or flue from the heater was noted incorrectly installed / secured. (not properly secured over the exhaust chamber). Ensure this vent is properly installed as needed to prevent overheating and CO2 buildup.**

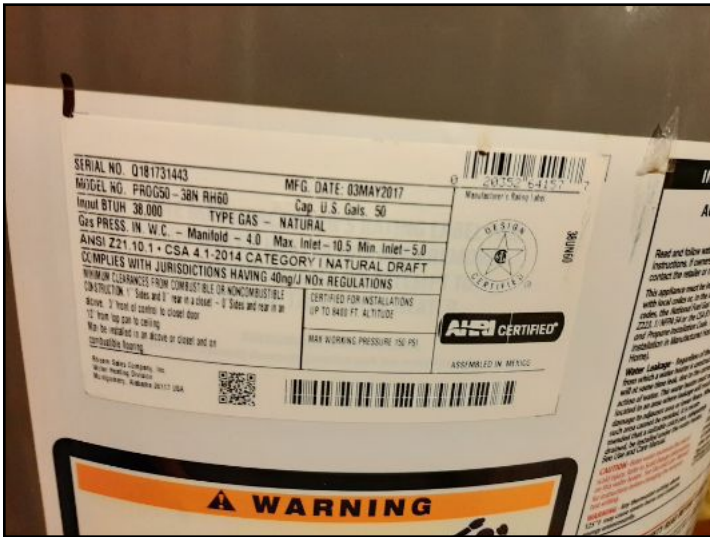
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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LABEL



WATER HEATER OK



UNSECURED EXHAUST VENT

D. Hydro-Massage Therapy Equipment

Comments:

E. Other

Materials:

Comments:

- All counter top areas appear to be in good functioning condition.
- Minimal signs of seal deterioration or Unsealed areas were noted at the kitchen counter-top and wall intersections.
- Unfinished / Unsealed areas noted present at the kitchen island.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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UNPAINTED AREA



UNSEALED AREA

V. APPLIANCES

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. Dishwashers
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Comments:

- The dishwasher was operated in 'Normal' mode and performed as intended. No deficiencies to report at the time of the inspection.



DISHWASHER OK



LABEL

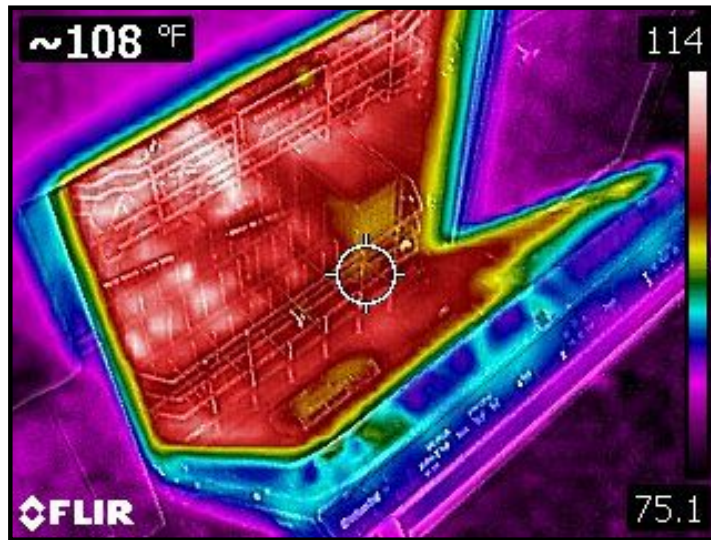
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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DISHWASHER OPERATIONAL

X			
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B. Food Waste Disposers

Comments:

- The unit was operated and appeared functional at time of the inspection.



DISPOSAL OK

X			
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C. Range Hood and Exhaust Systems

Comments:

- Type: Hood with fan (unit vents to the exterior)
- Range hood light fixture and all fan speeds were tested (the unit appears to be functional at the time of the inspection).
- Seal deterioration / Unsealed areas were noted at the exterior brick wall. Although minor recommend properly sealing all areas as needed to prevent issues or vermin intrusion.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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SEAL DETERIORATION AT EXTERIOR VENT



VENT HOOD OK

X			
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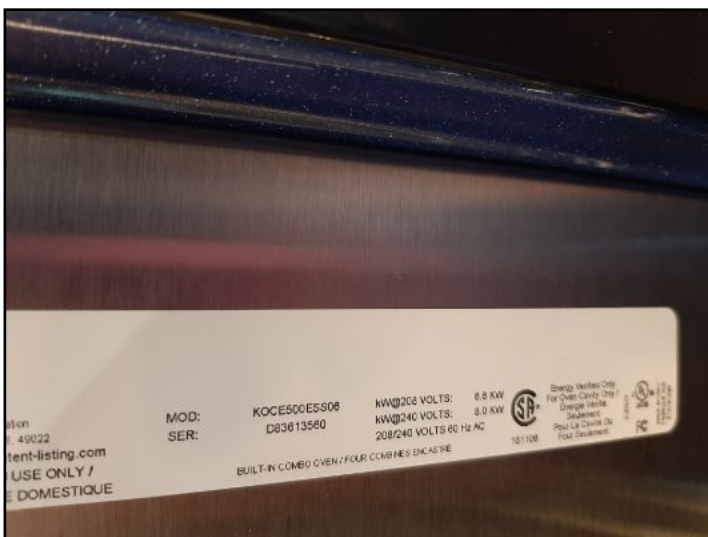
D. Ranges, Cooktops, and Ovens

Comments:

- Cooktops: natural gas
- Oven : electric
- Oven operated when tested and achieve proper temperature settings. Oven is tested at 350 degrees F



COOKTOP OK



LABEL

I=Inspected

NI=Not Inspected

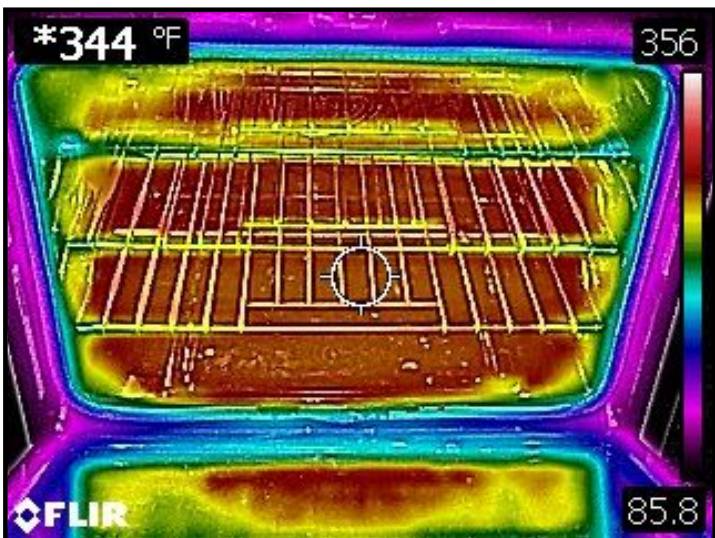
NP=Not Present

D=Deficient

I NI NP D



OVEN OK



OVEN TEMPERATURE OK

E. Microwave Ovens

Comments:

- The unit was tested. No deficiencies to report.



MICROWAVE OK

F. Mechanical Exhaust Vents and Bathroom Heaters

Comments:

- All exhaust fans and/or bathroom heaters were operated and no deficiencies were noted.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	G. Garage Door Operators
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Door Type:

- Two - single 8', steel panel, sectional doors.

Comments:

- The overhead garage door(s) operated normally when tested. No deficiencies were observed regarding operation.
- The reverse sensors were tested for the overhead garage door and performed as intended.
- All deficiencies noted should be evaluated and repaired by an garage door installation professional.
- **The anchor bolts for the garage door track are not properly installed / secured.**



GARAGE DOOR OPENER OK



LOOSE / UNSECURED GARAGE DOOR RAIL

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	H. Dryer Exhaust Systems
-------------------------------------	--------------------------	--------------------------	--------------------------	--------------------------

Comments:

- The washer / dryer or appliances were noted present and connected thus the connections and drain line could not be fully verified.
- Both gas and electrical type supply connections were noted present for the dryer.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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APPLIANCES PRESENT

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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I. Other

Observations:

- The main gas meter and valve were noted present on the LEFT side of the home.
- The main gas valve and meter for the home did NOT appear to be bonded. If not bonded recommend proper repairs / updates as needed to prevent issues or shock.
- Improper transition material / Missing sleeve noted at the wall and gas pipe transition. Ensure proper installation as needed to prevent rust and corrosion.
- Evidence of gas leak and smell noted present at the pool heater and connections. Further evaluation recommended by the utility district.



GAS METER OK



MISSING BONDING AND PROPER WALL TRANSITION

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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EVIDENCE OF GAS SMELL / LEAK

VI. OPTIONAL SYSTEMS

X			X
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A. Landscape Irrigation (Sprinkler) Systems

Comments:

- All zones tested. The irrigation system performed as intended at the time of the inspection.
- Irrigation system has a damaged / unsecured rain sensor present.



SPRINKLER BACKFLOW OK



DAMAGED / UNSECURED SPRINKLER RAIN SENSOR

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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SPRINKLER ZONES OK



SPRINKLER CONTROL OPERATIONAL; 8 ZONES PRESENT

X			X
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B. Swimming Pools, Spas, Hot Tubs, and Equipment

Type of Construction:

- Disclosure: All pools, spas and related equipment are inspected visually only. The water is not removed from these items to examine the interior surfaces. The pool, spa and plumbing were not inspected for underground leaks. The comments made relate to the condition of visual items at the time of inspection only. No comments regarding the future condition of pools, spas and related equipment are made in this report

- In-Ground
- Plaster Lining

Comments:

- The pool was inspected and all equipment was operated using normal controls and there were no issues observed regarding operation.
- Water quality was not evaluated at the time of the inspection. Recommend further evaluation by a licensed pool operator/inspector.
- A proper safety fence is not present around the pool. A 3' safety fence with an outward-swinging gate should be installed around the perimeter of the pool.
- Missing / No "drip leg" was noted present on the gas supply line to the heater.
- The backwash for the swimming pool was noted incorrectly draining or routed the old traditional manner. Recommend proper repairs and updates as needed to properly drain pool water into the homes drainage system.
- Missing / No light fixture or electrical outlet was noted present at the pool equipment area. Recommend proper repairs and updates as required to properly service equipment when necessary.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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MISSING DRIP-LEG



POOL HEATER OPERATIONAL



FILTER IN GOOD CONDITION



MISSING / NO BACKWASH SYSTEM PRESENT

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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POOL WATER PRESSURE OK



POOL PUMP OK



MISSING LIGHT FIXTURE AT POOL EQUIPMENT AREA



POOL CONTROL OPERATIONAL



I=Inspected

NI=Not Inspected

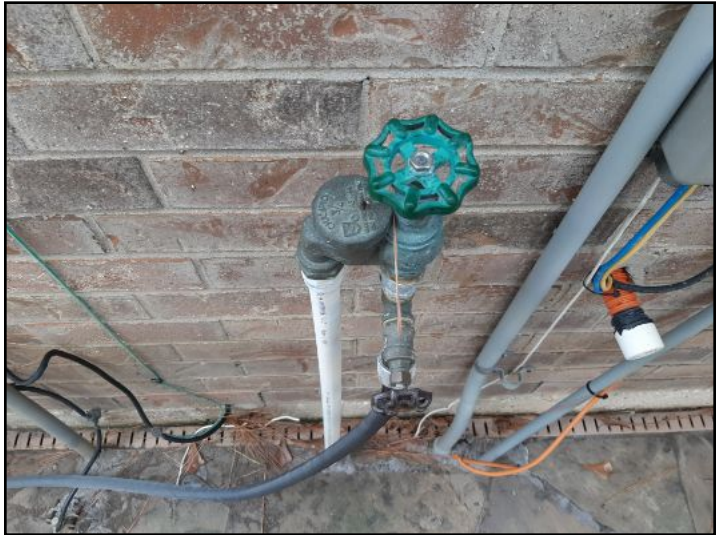
NP=Not Present

D=Deficient

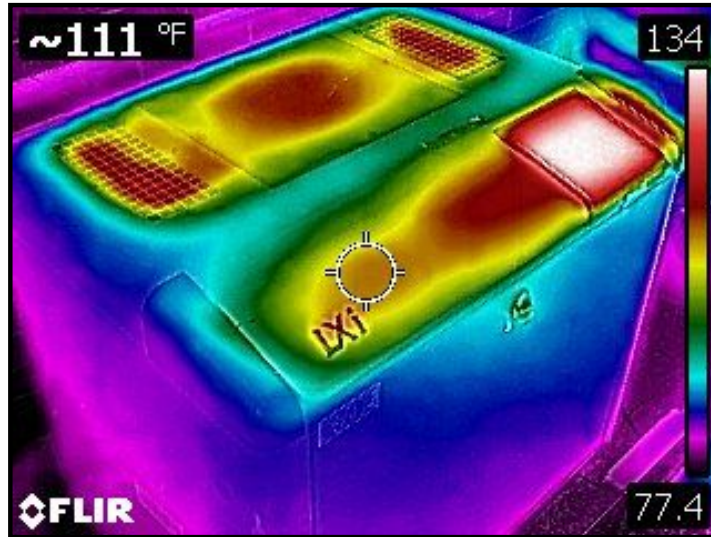
I	NI	NP	D
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POOL FULLY OPERATIONAL



POOL FILL VALVE OK



POOL FURNACE OPERATIONAL

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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C. Outbuildings

Materials:  
Comments:

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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D. Private Water Wells (A coliform analysis is recommended)

Type of Pump:  
Type of Storage Equipment:  
Comments:

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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E. Private Sewage Disposal (Septic) Systems

Type of System:  
Location of Drain Field:  
Comments:

F. Other

Comments:



NOT INSPECTED / VERIFIED

## Glossary

Term	Definition
A/C	Abbreviation for air conditioner and air conditioning
AFCI	Arc-fault circuit interrupter: A device intended to provide protection from the effects of arc faults by recognizing characteristics unique to arcing and by functioning to de-energize the circuit when an arc fault is detected.
GFCI	A special device that is intended for the protection of personnel by de-energizing a circuit, capable of opening the circuit when even a small amount of current is flowing through the grounding system.

## Report Summary

STRUCTURAL SYSTEMS		
Page 4 Item: B	Grading and Drainage	<ul style="list-style-type: none"> <li>• NOTE: all slopes of the roof should be guttered to ensure that water is adequately diverted away from the structure.</li> <li>• Evidence of standing water (ponding) was observed against or near the foundation. Poor grading was noted. This condition should be improved to promote the flow of water away from the structure.</li> <li>• Splash block(s) at the base of the gutter downspouts should be added to prevent erosion of soil from grade. Downspouts should be present to adequately direct water away from the foundation.</li> </ul>
Page 7 Item: C	Roof Covering Materials	<ul style="list-style-type: none"> <li>• There is debris from nearby tree on roof covering. This debris can impede the roof coverings ability to shed water causing leaks and premature aging of the roof cover. Roof coverings should remain free from debris.</li> </ul>
Page 10 Item: E	Walls (Interior and Exterior)	<ul style="list-style-type: none"> <li>• Seal deterioration / Unsealed areas were noted at one or more exterior siding intersections. Ensure all areas are properly sealed to help prevent issues and water intrusion.</li> </ul>
Page 13 Item: F	Ceilings and Floors	<ul style="list-style-type: none"> <li>• The sub-flooring is noisy/loose at the second story in the residence. This is common deficiency for high traffic areas throughout the home. Repairs are recommended.</li> </ul>
Page 14 Item: G	Doors (Interior and Exterior)	<ul style="list-style-type: none"> <li>• The hardware on one or more doors was found damaged / inoperable or not properly latching.</li> <li>• One or more exterior doors were found incorrectly installed preventing a proper seal at the frame and weatherstripping.</li> <li>• Door stops are missing for one or more interior doors throughout the residence. Recommend addition to prevent damage to walls within range of motion of each fixture.</li> <li>• The weatherstripping is missing at one or more doors. Ensure all weatherstripping is present where required.</li> <li>• Damaged weatherstripping was observed at one or more exterior doors.</li> <li>• Minimal signs of wood rot and deterioration were noted at the exterior doors.</li> <li>• Missing solid wood or fire-rated door at one or more required locations.</li> </ul>
Page 18 Item: H	Windows	<ul style="list-style-type: none"> <li>• Seal deterioration / Unsealed areas were noted around the windows. Maintaining the proper seal around all windows helps prevent issues such as water intrusion, wood rot, and vermin activity.</li> <li>• The windows are stiff or difficult to operate at one or more areas.</li> </ul>
Page 21 Item: J	Fireplaces and Chimneys	<ul style="list-style-type: none"> <li>• The fireplace does not have hearth extension or required clearance from combustibles installed. The hearth extension must extend at least 16" from the front of the fireplace and 8" on the sides as well as have at least 6 inches to the sides and top of any combustible material.</li> </ul>
ELECTRICAL SYSTEMS		

Page 25 Item: A	Service Entrance and Panels	<ul style="list-style-type: none"> <li>• Missing antioxidant paste for aluminum service entrance conductors at the exterior service panel.</li> <li>• Pointed screw(s) observed for the service panel dead front cover. Recommend replacement by a flat-tipped screw to prevent puncture of electrical wiring and/or personal injury from electrocution.</li> </ul>
<b>HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS</b>		
Page 31 Item: B	Cooling Equipment	<ul style="list-style-type: none"> <li>• NOTE: Missing / No overflow pipe OR incorrectly installed was noted present for the evaporator. (current installation does not allow for condensation drainage during emergency causing overflow through the actual evaporator)</li> <li>• NOTE: According to the American Society of Heating, Refrigeration, and Air Conditioning Engineers (ASHRAE). The average life expectancy for a split system air conditioning system is 15 years. The system present is at or beyond the expected life. For more information visit: <a href="http://www.ashrae.org">www.ashrae.org</a></li> <li>• Small hole or opening was noted present where the refrigerant lines enter the exterior wall.</li> <li>• The air conditioner condenser coil (s) are dirty. Recommend having air conditioning system cleaned and serviced by a licensed HVAC contractor prior to purchase, and annually thereafter.</li> <li>• Deteriorated insulation present at refrigerant line located at the exterior condenser. Refrigerant line should be properly insulated to prevent condensation from forming.</li> <li>• Drain pan does not fully cover evaporator. Ensure all areas are protected from water leaks and overflow.</li> </ul>
Page 36 Item: C	Duct Systems, Chases, and Vents	<ul style="list-style-type: none"> <li>• The return filter(s) for the HVAC unit is excessively dirty. Recommend replacement to ensure proper performance of the HVAC equipment.</li> <li>• The foil/mastic tape is missing or not properly sealed at the duct / plenum / unit transitions. A fiber paint also known as ""pookie" is used to seal all areas preventing air loss.</li> </ul>
<b>PLUMBING SYSTEMS</b>		
Page 39 Item: A	Plumbing Supply, Distribution System and Fixtures	<ul style="list-style-type: none"> <li>• Seal deterioration / Unsealed areas were noted at the shower pan. If not properly sealed water penetration / leaks into the wall can occur. Ensure all areas are sealed.</li> <li>• The exterior hose bibb(s) leak at the following locations: .</li> <li>• The hot and cold supply lines are reversed at one or more plumbing fixtures in the following locations: master bathroom.</li> <li>• Water level inside the commode tank was noted too high resulting in continuous water flow. Adjustment / repairs will be needed prior to use.</li> </ul>
Page 45 Item: C	Water Heating Equipment	<ul style="list-style-type: none"> <li>• The metal "B" vent or flue from the heater was noted incorrectly installed / secured. (not properly secured over the exhaust chamber). Ensure this vent is properly installed as needed to prevent overheating and CO2 buildup.</li> </ul>
Page 45 Item: E	Other	<ul style="list-style-type: none"> <li>• Minimal signs of seal deterioration or Unsealed areas were noted at the kitchen counter-top and wall intersections.</li> <li>• Unfinished / Unsealed areas noted present at the kitchen island.</li> </ul>
<b>APPLIANCES</b>		

Page 48 Item: C	Range Hood and Exhaust Systems	<ul style="list-style-type: none"> <li>• Seal deterioration / Unsealed areas were noted at the exterior brick wall. Although minor recommend properly sealing all areas as needed to prevent issues or vermin intrusion.</li> </ul>
Page 50 Item: G	Garage Door Operators	<ul style="list-style-type: none"> <li>• The anchor bolts for the garage door track are not properly installed / secured.</li> </ul>
Page 51 Item: I	Other	<ul style="list-style-type: none"> <li>• The main gas valve and meter for the home did NOT appear to be bonded. If not bonded recommend proper repairs / updates as needed to prevent issues or shock.</li> <li>• Improper transition material / Missing sleeve noted at the wall and gas pipe transition. Ensure proper installation as needed to prevent rust and corrosion.</li> <li>• Evidence of gas leak and smell noted present at the pool heater and connections. Further evaluation recommended by the utility district.</li> </ul>
<b>OPTIONAL SYSTEMS</b>		
Page 52 Item: A	Landscape Irrigation (Sprinkler) Systems	<ul style="list-style-type: none"> <li>• Irrigation system has a damaged / unsecured rain sensor present.</li> </ul>
Page 53 Item: B	Swimming Pools, Spas, Hot Tubs, and Equipment	<ul style="list-style-type: none"> <li>• A proper safety fence is not present around the pool. A 3' safety fence with an outward-swinging gate should be installed around the perimeter of the pool.</li> <li>• Missing / No "drip leg" was noted present on the gas supply line to the heater.</li> <li>• The backwash for the swimming pool was noted incorrectly draining or routed the old traditional manner. Recommend proper repairs and updates as needed to properly drain pool water into the homes drainage system.</li> <li>• Missing / No light fixture or electrical outlet was noted present at the pool equipment area. Recommend proper repairs and updates as required to properly service equipment when necessary.</li> </ul>