

# NETCO.

817-802-2051

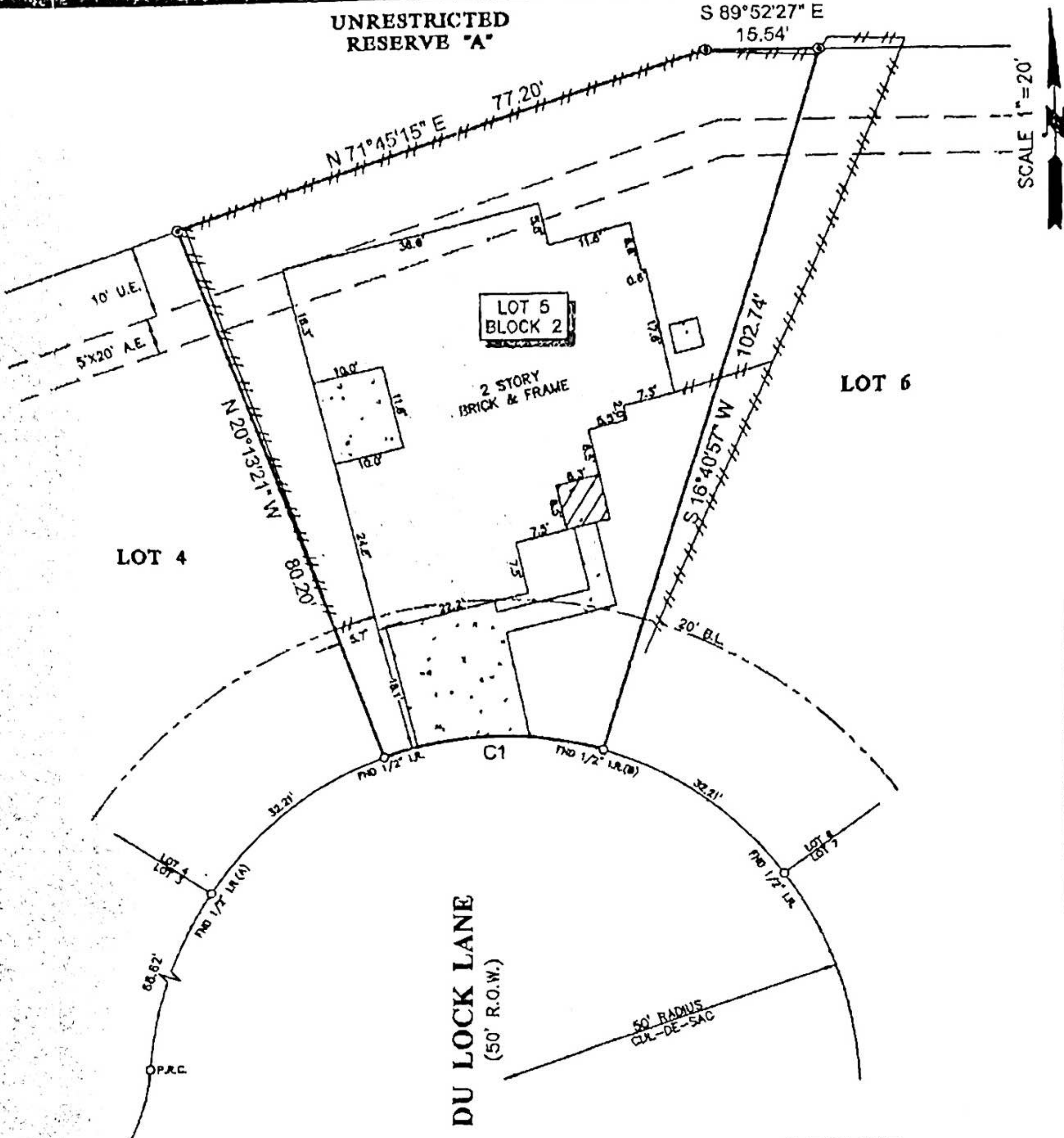
R.F. # NTX-118.3853

ISSUE DATE: SEPTEMBER 11, 2012

UNRESTRICTED RESERVE "A"

S 89°52'27" E  
15.54'

SCALE 1"=20'



- NOTES:**
1. ALL BEARINGS SHOWN HEREON ARE REFERENCED TO THE SUBDIVISION PLAT NAMED BELOW, POINTS (A) AND (B) WERE HELD FOR HORIZONTAL CONTROL.
  2. FLOOD INFORMATION IS BASED ON THE NATIONAL FLOOD INSURANCE PROGRAM'S FLOOD INSURANCE RATE MAP FOR THE COUNTY LISTED BELOW.
  3. ABSTRACT INFORMATION FOR THE SUBJECT TRACT WAS PROVIDED BY THE TITLE INSURANCE COMPANY LISTED ABOVE.
  4. THIS SURVEY IS CERTIFIED TO TSI APPRAISAL SERVICES AND THE TITLE INSURANCE COMPANY LISTED ABOVE FOR THIS TRANSACTION ONLY, IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
  5. ALL EASEMENTS AND BUILDING LINES SHOWN ARE FOR THE RECORDED PLAT UNLESS OTHERWISE NOTED.
  6. THERE ARE NO NATURAL DRAINAGE COURSES ON SUBJECT PROPERTY.
  7. RESTRICTIVE COVENANTS AS RECORDED IN VOL. 272, PG. 127 M.R. & C.F. NO. FB84381.
  8. THERE ARE NO AERIAL EASEMENT ENCROACHMENTS.

**LEGEND**

	CONCRETE		FENCE
	COVERED CONCRETE		WOOD
	SET 1/2" W/CAP MARKED "SURVEY 1"		B.L. = BUILDING LINE
			U.E. = UTILITY EASEMENT
			A.E. = AERIAL EASEMENT

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD
C1	50.00'	32.21'	S 85°13'48" W	31.65'

CALLED 32.06'

**PROJECT:**  
A LAND TITLE SURVEY OF LOT 5, IN BLOCK 2, OF BUNKER HILL FOREST, SECTION 2, A SUBDIVISION IN HARRIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 272, PAGE 127 OF THE MAP RECORDS OF HARRIS COUNTY, TEXAS.

**CLIENT:** TRAVIS LEE STONER

**ADDRESS:** 1371 DU LOCK LANE

**FLOOD ZONE:** "X"      **FLOOD MAP#:** 48201C 0645 L

**FLOOD MAP DATE:** JUNE 18, 2007      **FLOOD MAP COUNTY:** HARRIS



SURVEYORS CERTIFICATE: IN MY PROFESSIONAL OPINION, THIS PLAT REPRESENTS THE FACTS FOUND ON THE GROUND DURING THE COURSE OF A BOUNDARY SURVEY CONDUCTED UNDER MY SUPERVISION ON NOVEMBER 12, 2012 AND THAT THIS PLAT SUBSTANTIALLY COMPLIES WITH THE CURRENT STANDARDS AS ADOPTED BY THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING, AND THAT THERE ARE NO ENCROACHMENTS OR PROTRUSIONS EXCEPT AS SHOWN.

RICHARD FUSSELL  
RPLS# 4148

**SURVEY 1**      www.survey1inc.com  
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(281)393-1382 • Fax (281)393-1383

**FIELD CREW:** JR      **JOB#:** 11-17936-12

**DRAFTER:** SF      **DATE:** NOV. 13, 2012