

VISTA R. E. INSPECTIONS

6511 Acorn Ct. Pearland, TX 77584
(281) 642-1516 - vista.insp@gmail.com

PROPERTY INSPECTION REPORT

Prepared For: Shane Lampard and Candise Juarez
(Name of Client)

Concerning: 2421 Parkview Dr. Pearland, TX 77581
(Address or Other Identification of Inspected Property):

By: Giovanni Angel, 22909 3/10/2019
(Name and License Number of Inspector) (Date)

N/A
(Name, License Number of Sponsoring Inspector)

PURPOSE, LIMITATIONS AND INSPECTOR / CLIENTS REponsibility

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions. If any item or comment is unclear, you should ask the inspector to clarify the findings. It is important that you carefully read ALL of this information.

This inspection is subject to the rules ("Rules") of the Texas Real Estate Commission ("TREC"), which can be found at www.trec.texas.gov.

The TREC Standards of Practice (Sections 535.227-535.233 of the Rules) are the minimum standards for inspections by TREC-licensed inspectors. An inspection addresses only those components and conditions that are present, visible, and accessible at the time of the inspection. While there may be other parts, components or systems present, only those items specifically noted as being inspected were inspected. The inspector is NOT required to turn on decommissioned equipment, systems, utility services or apply an open flame or light a pilot to operate any appliance. The inspector is NOT required to climb over obstacles, move furnishings or stored items. The inspection report may address issues that are code-based or may refer to a particular code; however, this is NOT a code compliance inspection and does NOT verify compliance with manufacturer's installation instructions. The inspection does NOT imply insurability or warrantability of the structure or its components. Although some safety issues may be addressed in this report, this inspection is NOT a safety/code inspection, and the inspector is NOT required to identify all potential hazards.

In this report, the inspector shall indicate, by checking the appropriate boxes on the form, whether each item was inspected, not inspected, not present or deficient and explain the findings in the corresponding section in the

body of the report form. The inspector must check the Deficient (D) box if a condition exists that adversely and materially affects the performance of a system or component or constitutes a hazard to life, limb or property as specified by the TREC Standards of Practice. General deficiencies include inoperability, material distress, water penetration, damage, deterioration, missing components, and unsuitable installation. Comments may be provided by the inspector whether or not an item is deemed deficient. The inspector is not required to prioritize or emphasize the importance of one deficiency over another.

Some items reported may be considered life-safety upgrades to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards or Deficiencies below.

THIS PROPERTY INSPECTION IS NOT A TECHNICALLY EXHAUSTIVE INSPECTION OF THE STRUCTURE, SYSTEMS OR COMPONENTS. This inspection may not reveal all deficiencies. A real estate inspection helps to reduce some of the risk involved in purchasing a home, but it cannot eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is recommended that you obtain as much information as is available about this property, including seller's disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for and by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspector's responsibility to confirm that information obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous or future reports.

ITEMS IDENTIFIED IN THE REPORT DO NOT OBLIGATE ANY PARTY TO MAKE REPAIRS OR TAKE OTHER ACTIONS, NOR IS THE PURCHASER REQUIRED TO REQUEST THAT THE SELLER TAKE ANY ACTION. When a deficiency is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods.

Promulgated by the Texas Real Estate Commission (TREC) P. O. Box 12188, Austin, TX 78711-2188 (512) 936-3000 (<http://www.trec.texas.gov>).

Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions. Examples of such hazards include

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathrooms, kitchens, and exterior areas;
- malfunctioning arc fault protection (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered" because they were present prior to the adoption of codes prohibiting such conditions. While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate license holders also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms require a seller to remedy conditions revealed by an inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for the sale or purchase of the home.



APPROVED BY THE TEXAS REAL ESTATE COMMISSION (TREC)
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THE TEXAS REAL ESTATE COMMISSION MAINTAINS A RECOVERY FUND FOR AGGRIEVED CONSUMERS AND SERVICE RECIPIENTS. MORE INFORMATION CAN BE OBTAINED AT:
P.O. BOX 12188 , AUSTIN, TX 78711, P#: (512) 465-3900

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INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

This inspection was conducted per the Standards of Texas Real Estate Commission, Standards of Practice for real estate inspectors. Unless otherwise noted, this inspection was conducted within the limitations of visual inspection, without the use of specialized tools or procedures, destructive testing, etc. This report is not intended to be exhaustive or technical in nature but rather, provide an overview of the property's general condition. This leaves the possibility of undetected defects. Tests for any hazardous substances such as but not limited to mold, asbestos, high sulphur sheetrock were not conducted. Detection of hazardous substance are beyond the scope of this inspection and require a specialist in that field. Where questions exist, a trade's person specializing in that field should be consulted. Reporting of defects should only be expected as made reasonably detectable by the method of inspection employed here.

The following words and terms used in this report shall have no other meaning other than that described below:

Accessible: In the reasonable judgment of the inspector, capable of being approached, entered, or viewed without:

- a) Hazard to the inspector;
- b) Having to climb over obstacles, moving furnishings or large, heavy, or fragile objects;
- c) Using specialized equipment or procedures
- d) Disassembling items other than covers or panels intended to be removed for inspections.
- e) Damaging property, permanent construction or building finish, or
- f) Using a ladder for portions of the inspection other than the roof or attic space

Chapter 1102: Texas Occupations code

Component: A part of a system

Cosmetic: Related only to appearance or aesthetics and not related to performance, operability, or water penetration.

Deficiency: In the reasonable judgment of the inspector; a condition that: a) Adversely and materially affects the performance of a system, or component, or b) Constitutes a hazard to life, limb or property as specified by these standards of practice

Deficient: Reported as having one or more deficiencies

Inspect: To operate in normal ranges using ordinary controls at typical settings, look and examine accessible systems or components and report observed deficiencies as specified by these standards of practice

Performance: Achievement of an operation, function or configuration relative to acceptable industry standard practices with consideration of age and normal wear and tear from ordinary use

Report: To provide the inspector's opinions and findings on the standard inspection report form as required by 535.222 and 535.223 of this title

Specialized equipment: Equipment such as, thermal imaging equipment, moisture meters, gas or carbon monoxide detection equipment, environmental testing equipment and devices, elevation termination devices, and ladders capable of reaching surfaces over one story above ground surfaces

Specialized procedures: Procedures such as environmental testing, elevation measurement, calculations and any method employing destructive testing that damages otherwise sound materials or finishes.

Standards of practice: The standard of practice for real estate inspectors mandated by the TREC

Substantially completed: The stage of construction when a new building, addition, improvement, or alteration to an existing building is sufficiently complete that can be occupied or used for its intended purpose.

Technically exhaustive: A comprehensive investigation beyond the scope of a real estate inspection which would involve determining the cause or effect of deficiencies, exploratory probing or discovery, the use of specialized knowledge, equipment or procedures.

Client: The person or persons and only those notated as client (s) on page one of this document

Inspector – The person noted as inspector on page one of this report

House: Vacant occupied 1 story 2 story

Garage: Attached detached

Climate: Temperature (approx): 75°F

Present at the inspection: Buyer Agent Other:



I= Inspected

NI= Not Inspected

NP= Not Present

D= Deficient

I. STRUCTURAL SYSTEMS

I NI NP D

x x A. Foundations

Type of Foundation (s): Slab on grade

Comments:

This type of foundation system is designed to be kept stable by the supporting soil some movement in the foundation system is typical for this type of construction; **Care must be taken to maintain proper moisture level in the supporting soil at the foundation perimeter; a lack of moisture control will cause excessive foundation movement due to shrinkage and swelling of the soil.**

Note: Foundation inspection is limited to observation of accessible interior and exterior structural components. The rate of movement cannot be predicted during a one-time inspection.

Note: Assessment of foundation performance and condition is based solely upon this inspector's opinion, and his interpretation of the visually observed conditions at the time of inspection with out prediction of future performance. Most foundation movement occurs over an extended period of time and this inspection is of a first impression nature without the opportunity to monitor possible movement. This opinion is formed without knowledge of design type or intent of the designer. Previous foundation repairs may not be detected by this inspection.

This inspection does not include detection of fault lines, poor or deficient soil conditions, underground springs, water leaks, or any other condition not detectable within the scope of a visual only inspection. As there are not absolute criteria to judge foundation performance, other inspectors or foundation experts may form a different opinion when assessing this foundations performance. Additional information regarding foundations can be obtained at <http://www.houston-slab-foundations.info/>

Note: The Greater Houston area has expansive type soil conditions, dry and sometimes wet weather conditions. These conditions will cause movement of the foundation which will cause cracks in walls, ceilings, floors and brick exterior walls. Cracks will occur in these areas of the house sometime during the life of the house because the soil and weather conditions. Cracks that appear will have to be filled and monitored and foundation evaluation may be required. Slab on grade foundations are the most common type of residential foundation in Houston. When supported by expansive soils, this type of foundation will usually deflect enough to result in cosmetic damage (usually sheetrock, brick veneer, and tile cracking) and possible minor functional problems due to foundation movement.

Information: The foundation serves to provide support and serve as a buffer between the earth and structure. Cracks and movement can be caused by thermal stress, loading of the structure and changes in the moisture content of the framing lumber as well as changes in moisture content in the soil. Some movement can usually be tolerated before any structural damage occurs. Cracks and separation may be related to issues other than foundation movement and positively determining the cause may not be possible.

Slab integrity appears stable and appears to be performing as intended at this time.

The Texas Real Estate Commission's Standards of Practice (Rule §535.227) defines *Functioning as* performing in an expected or required manner; carrying out the design purpose or intended operation of a part, system, component or member. In this inspector's opinion, the foundation was functional and without obvious need of remediation at the time of the inspection.

- Inspector was not able to inspect the front left and rear side of the foundation due to storage building, mulch, and siding preventing inspection of same.
- Recommend the removal of mature trees in close proximity to the structure or the installation of root barriers to prevent possible damage to foundation. **Note:** Some types of mature trees can cause damage when these are too close to the structure.



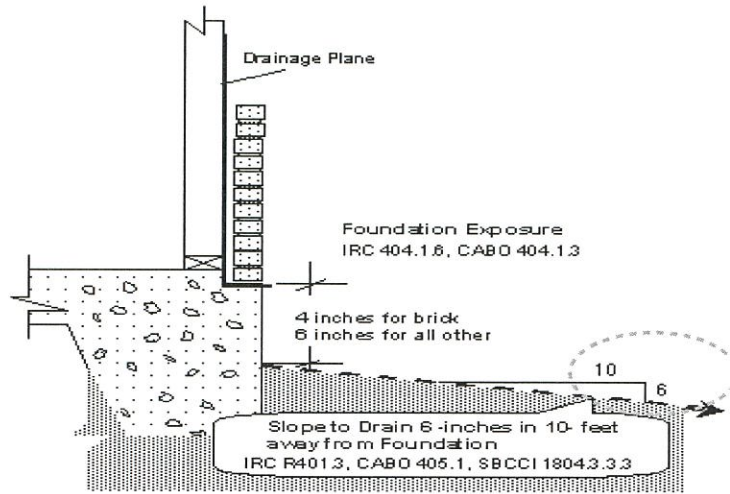
B. Grading and Drainage:

Comments:

- The soil level was high on the front side of the house. When soil levels and vegetation are high against the face of the foundation it promotes water penetration, siding rot and insect infestation. Brick veneer wall cladding should have about *4" of clearance between the soil and the first of bricks*, and other materials should have *6" of clearance between other materials and the soil*. We recommend lowering the grade. See illustration in this document's Addendum
- Soil overall is of reverse grade (low spots, negative slope, etc), creating vulnerability to the accumulation of standing water at the foundation wall, a condition known to be a factor in foundation failure. Re-grading is required for a more positive drainage



Grade clearance and sloping standard



- Install missing splash blocks at all gutter spouts to prevent erosion of soil.



- Routinely clean gutters and spouts for a more positive drainage and to prevent damage to gutters.



Maintenance Tip: Be sure soil is graded at least 6" per 10' from house with 4 or more inches of slab exposed for proper drainage. Planting flowerbeds or shrubs next to the foundation and keeping these areas flooded, will generally cause a net increase in soil moisture content and result in soil expansion around the foundation perimeter in that vicinity.

Maintenance tip: Grading and drainage conditions frequently contribute to the attraction of Wood Destroying Insects (WDI). A periodic inspection, preventative treatment for active infestations may get scheduled as necessary.

C. Roof Covering Materials:

Types of Roof Covering: Composition Shingles

Viewed from: Ground/ walked on roof

Comments:

Note: This inspection does not evaluate the roof for life expectancy or insurability

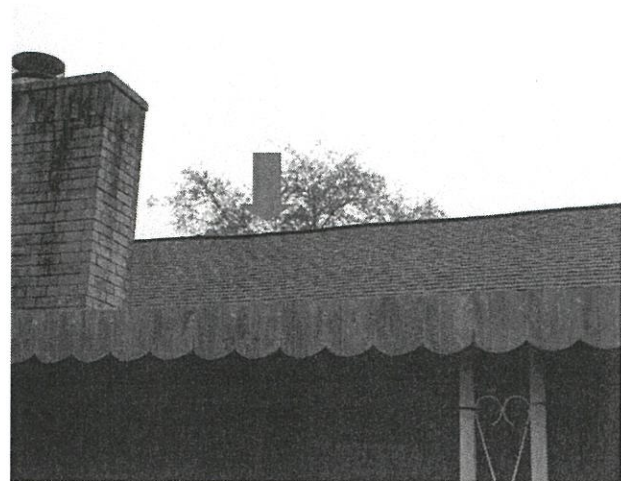
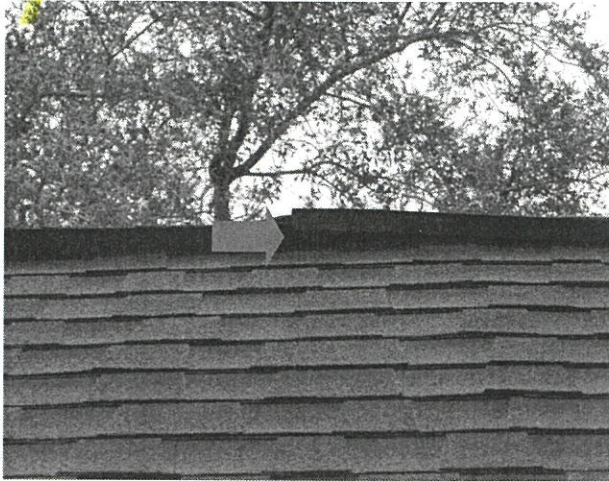
Note: Per the Texas Real Estate Commission Standard of Practice effective February 1, 2009, home inspectors are required to inspect shingle fasteners. To inspect fasteners, the lower tab of the shingle must be lifted at several locations. As is the case in most homes, this inspection was not possible without damaging the shingles. Under the Standards of Practice departure clause, this item was not inspected.



Observed lifting shingles on front, rear, and roof ridge. Repair to avoid further deterioration and possible water intrusion. Samples below.



- Noted lifting and sag in ridge vents. Sag may be caused by the damaged roof decking. Further investigate root cause and repair as needed.



- Recommend to maintain tree limbs trimmed on the right side of the house to prevent from contacting and damaging roof shingles.



D. Roofs structures and Attics:

Viewed from: Inside the attic
Approximate Average Depth of Insulation: 7-9"
Comments:

Note: Sections of or most of attic space were not accessible or safe enough to conduct a proper inspection of attic and roof deck at this time

- Recommend to insulate ladder rungs for insulating value, install weather stripping on attic door edges or on access frame for energy efficiency
- The garage attic access handrail is loose due to a missing a fastener on the top side of ladder. Replace for safety.



- Inadequate attic walkway/platform to mechanical equipment. Standards require 30" head clearance and a minimum of 24" wide solid with no gaps or obstructions

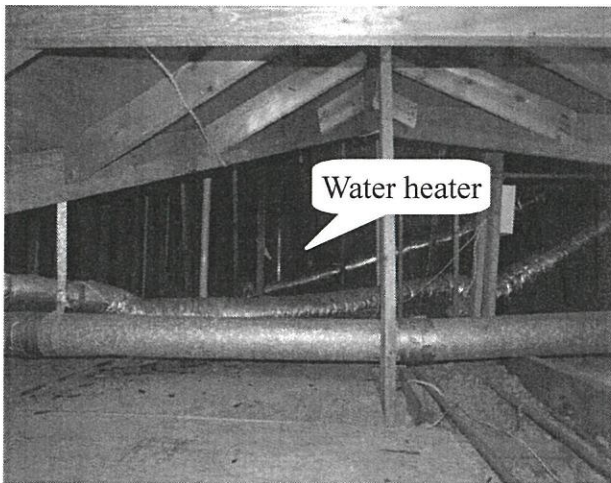
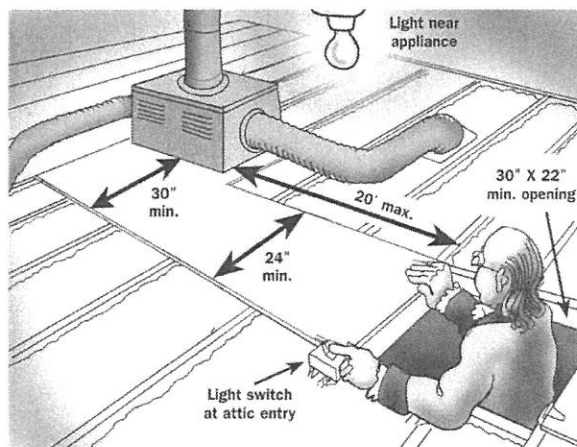
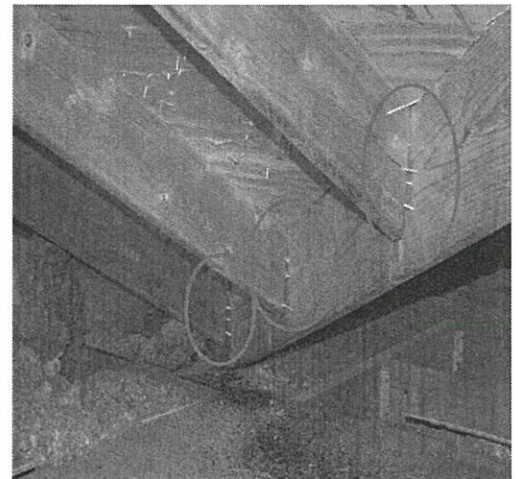
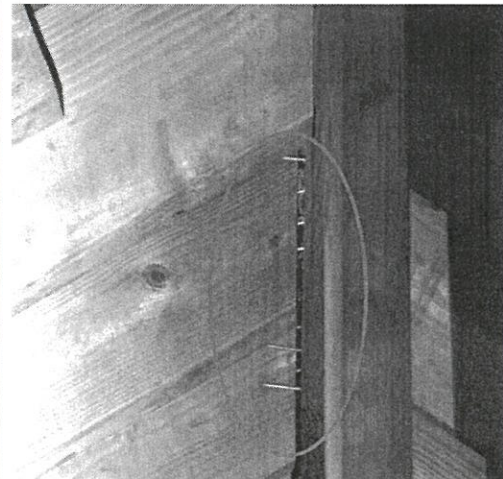


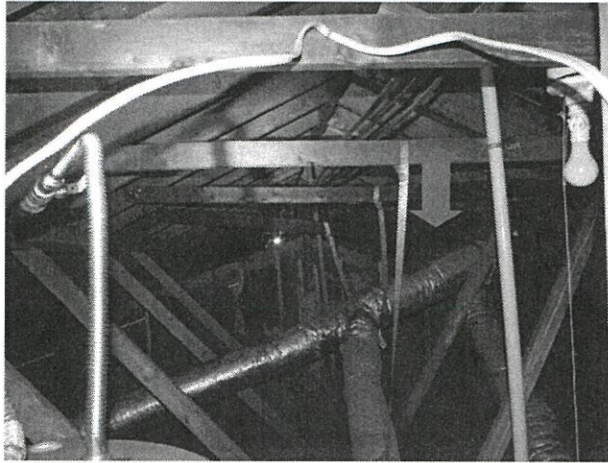
Fig. 4 • Attic Furnace



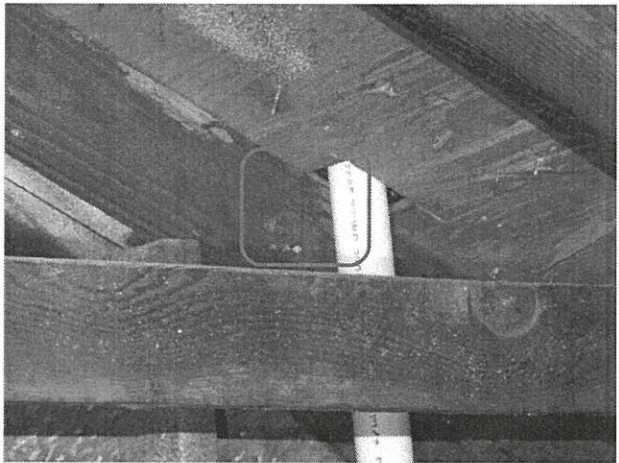
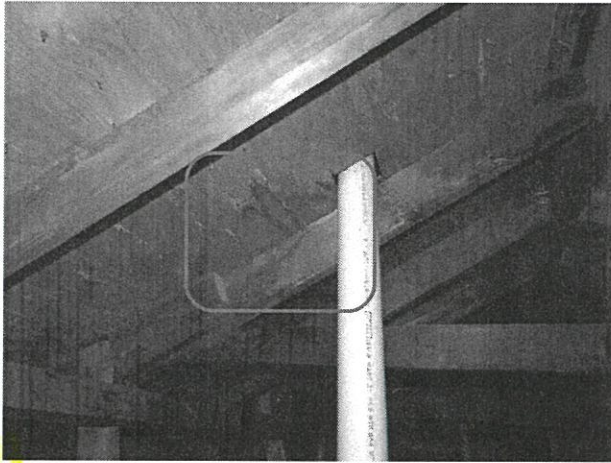
- Several roof structure rafters were observed to be poorly attached to the ridge and hip boards. Recommend repair by a qualified roofing contractor as needed. Samples below.



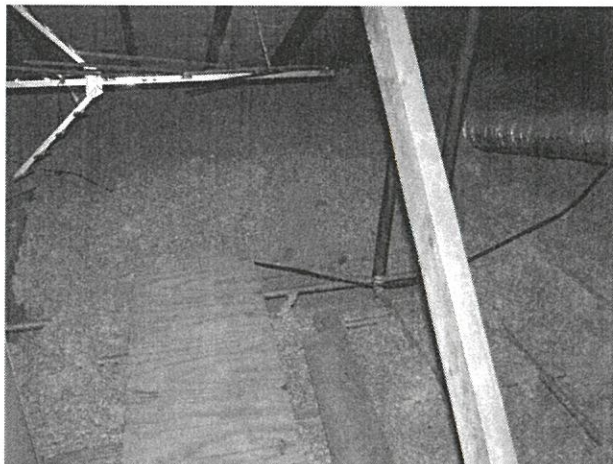
- Collar tie visible through the garage attic access is not attached to the rafter. In need of repair.



- There is evidence of previous water intrusion at plumbing vent penetrations visible through the garage attic access. Stains appear to be prior to installation of existing shingles. Further investigate condition as needed.

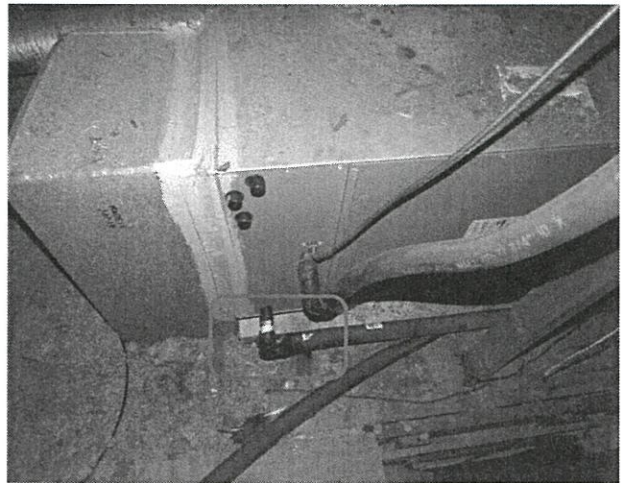
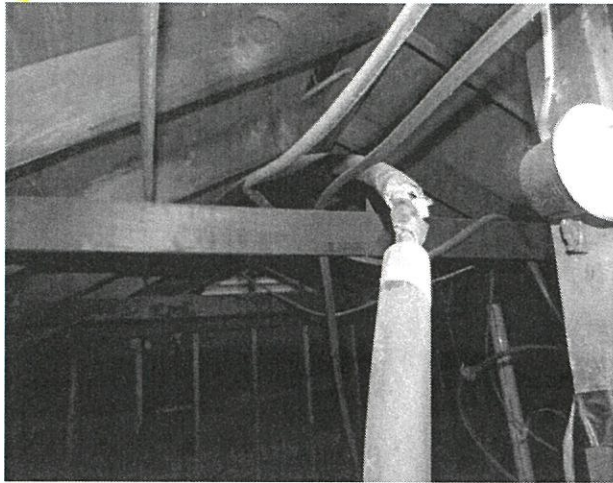


- Insulation missing near water heating equipment. Install required amount of insulation for energy conservation.
- Observed insulation in contact with range hood exhaust. There should be a min clearance of 1" for double wall/type "B" and 3" for single wall exhausts.





- Repair missing/damaged insulation on A/C refrigerant and primary drain lines to prevent possible damage from condensation.



E. Walls (Interior and Exterior)

Comments:

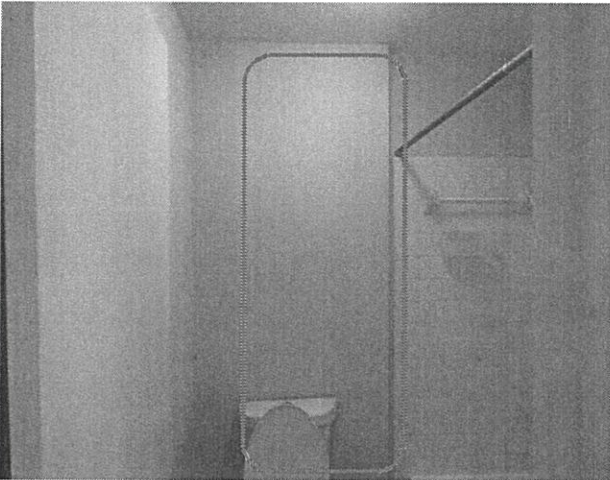
NOTE: Could not check integrity of wall framing without removal of exterior siding where wood siding deterioration may exist.



- Properly seal gaps at siding joints to prevent deterioration and moisture/water intrusion

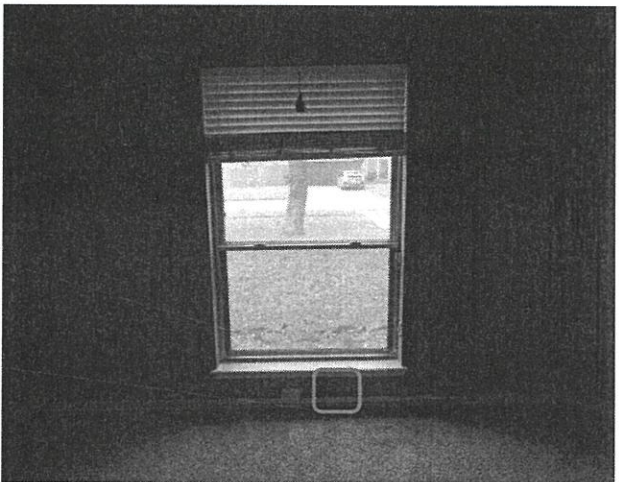
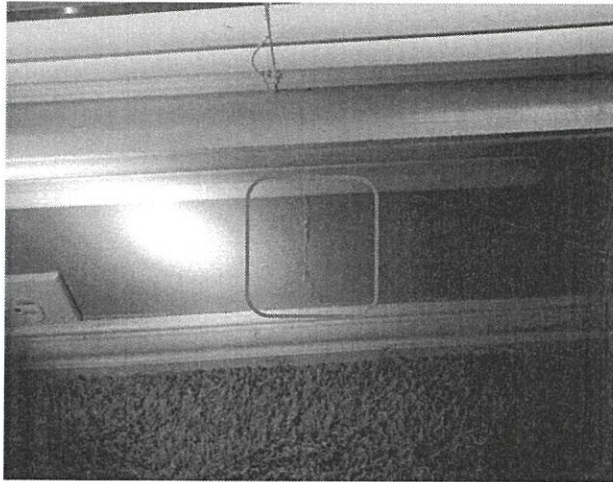
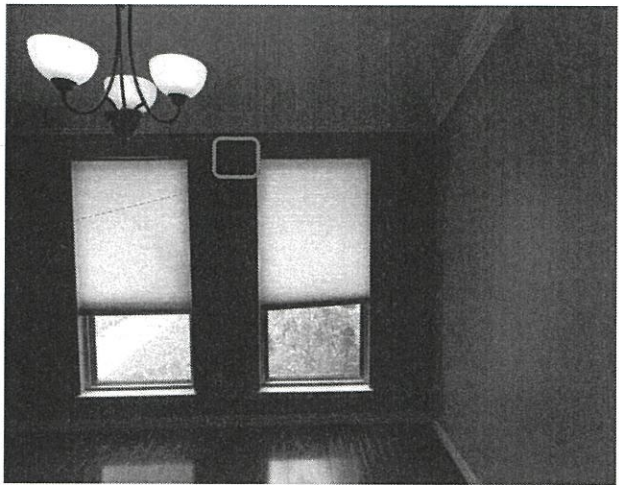
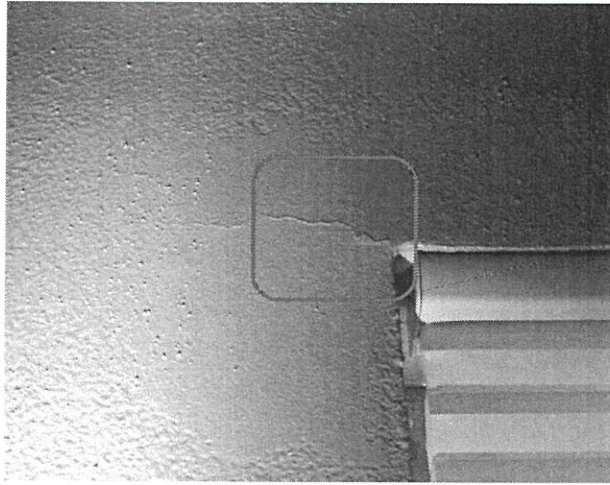


- Noted previous moisture damage in garage, kitchen, master bathroom and breakfast area baseboards. Moisture did not appear to be recent. Further investigate root cause and repair as needed.

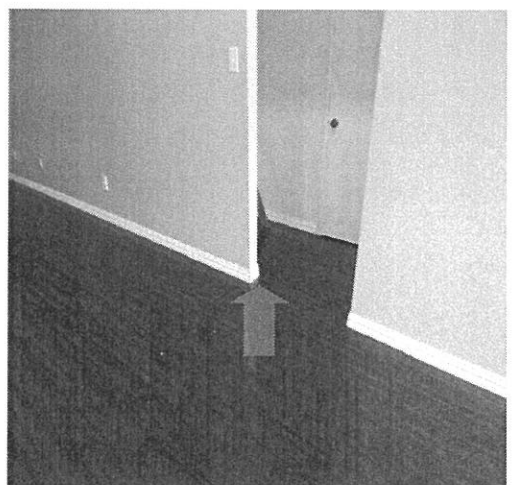
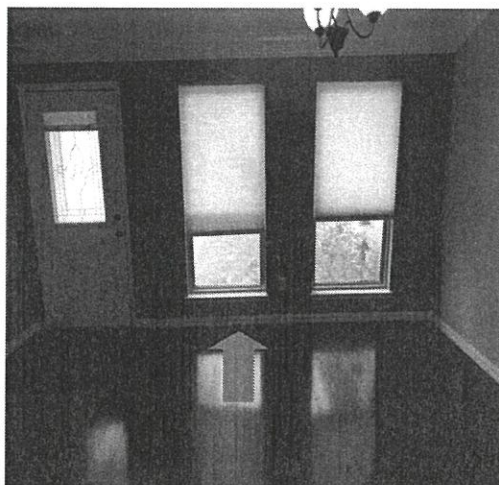


- Noted cracks on several walls that may be associated with settlement of the home. Recommend to monitor cracks over time. If concerned at this time, or should the condition continue to deteriorate, we recommend to consult with structural engineer to further assess the integrity of the foundation slab.

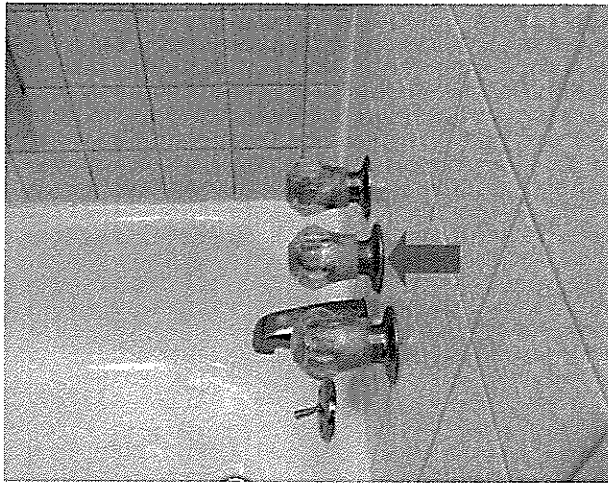




- Baseboards are pulling loose from multiple walls. Recommend proper repair.



- Properly seal gaps in shower enclosures to avoid water infiltration and damage to property



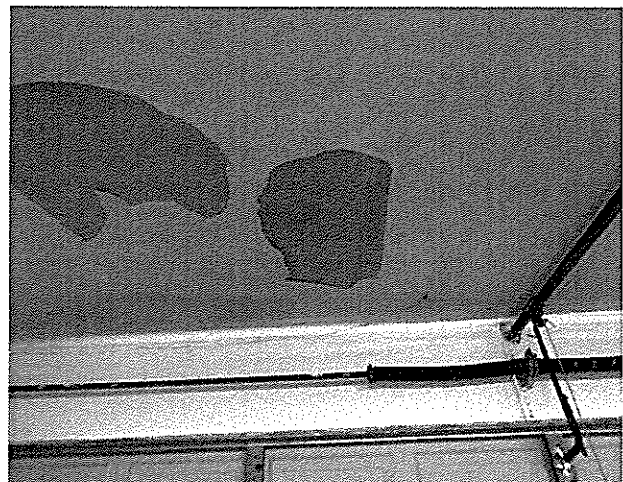
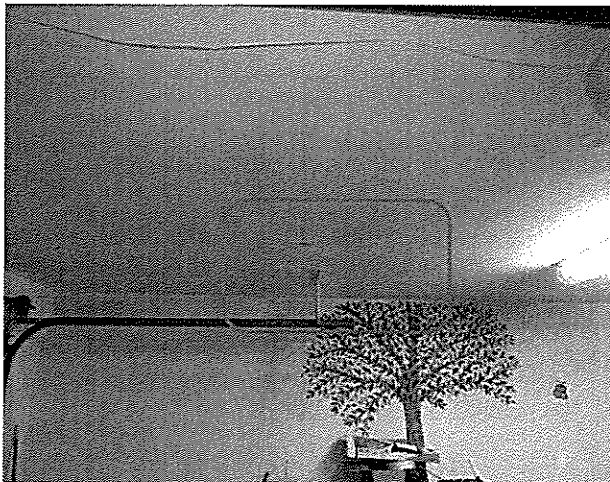
Note to customer: No mold and/or indoor air quality (IAQ) tests were performed. The inspector is not qualified / certified for such evaluations / studies. The client should be aware that various fungi, molds and mildew flourish in such an environment provided by water intrusion events, excessively moist conditions and / or water damaged conditions. A growing concern to date includes the adverse effect on indoor air quality and the potential for inherent health hazards. If concerned, the client is advised to contact a qualified IAQ Professional for further evaluations of this house

F. Ceilings and Floors

Comments:

Note: Cannot inspect under floor coverings, inspection is limited to visual inspection only.

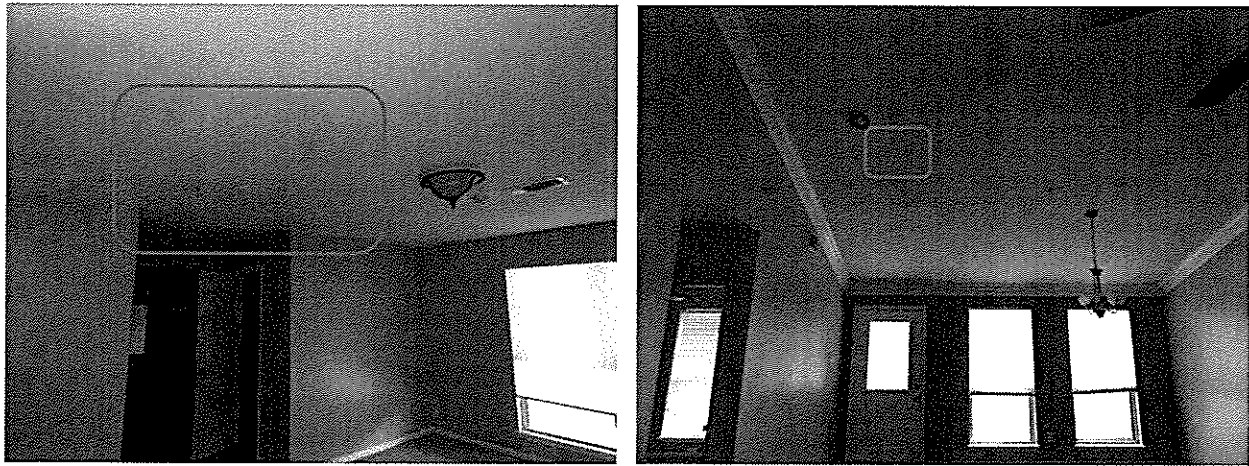
- Bubbled/blistered paint on multiple areas of the garage ceiling. This condition may be caused by excessive moisture/humidity. Further investigate root cause and repair as needed.



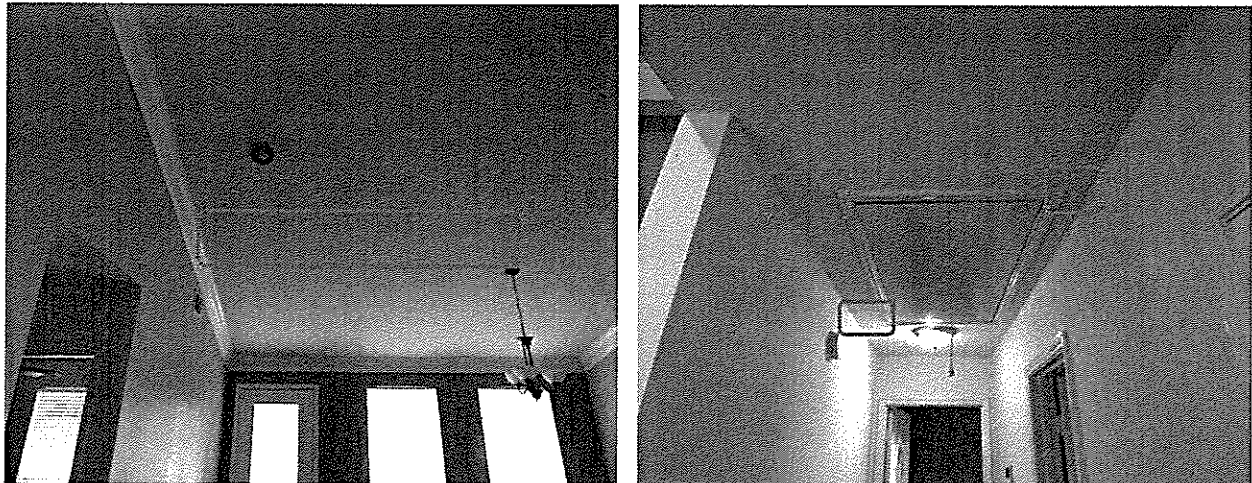
- Evidence of repairs on master bedroom, living room, and hallway bathroom. Further investigate root cause as needed.



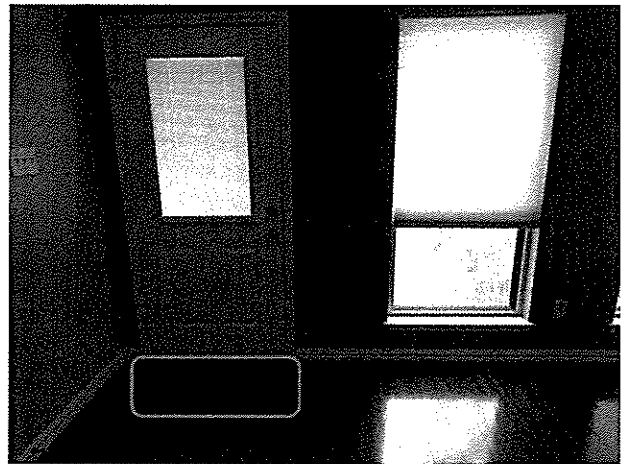
- Water/moisture stain noted on master bedroom and living room ceiling. Stains do not appear to be recent. Investigate root cause and confirm that all affected areas such as but not limited to: sheetrock, insulation, joists, etc, have been properly repaired/treated by a qualified contractor. Note: If not properly repaired and or treated, it can lead to microbial growth



- Hairline cracks noted on living room ceiling and around attic access. Repairs may be desirable.



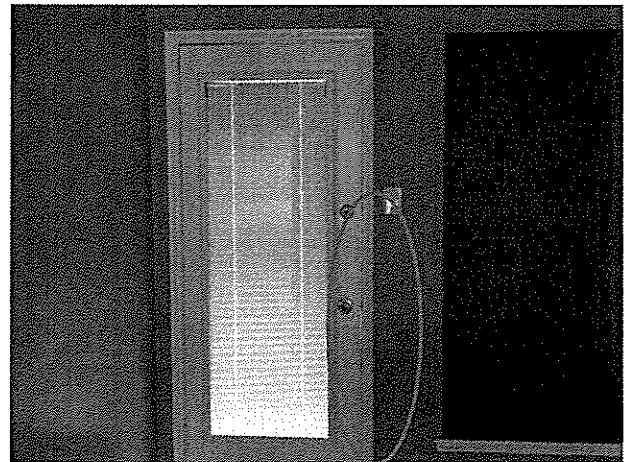
- Lifting flooring in front of the front right bedroom and also noted possible evidence of water damage on flooring at the entrance door. Repair as needed.



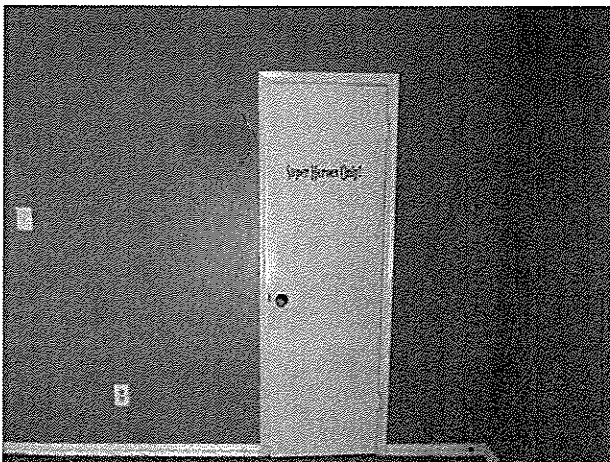
x G. Doors (Interior and Exterior)

Comments:

- Double key deadbolt observed at the front and rear exterior doors. **Note:** while this feature improves security, it may also hinder access/egress in an emergency. Recommend single key deadbolt for safety
- Observed daylight on rear exterior door. Properly seal for energy efficiency



- Front right bedroom door sticks and garage door trim is damaged. Repair as needed.



- Install missing and or replace defective door stoppers where needed to avoid damage to wall.

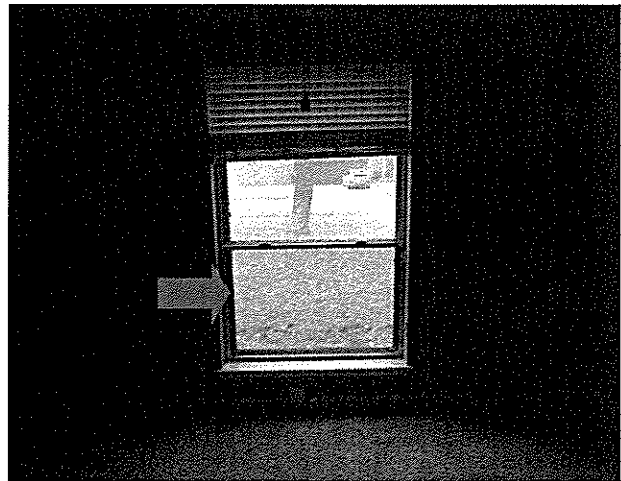
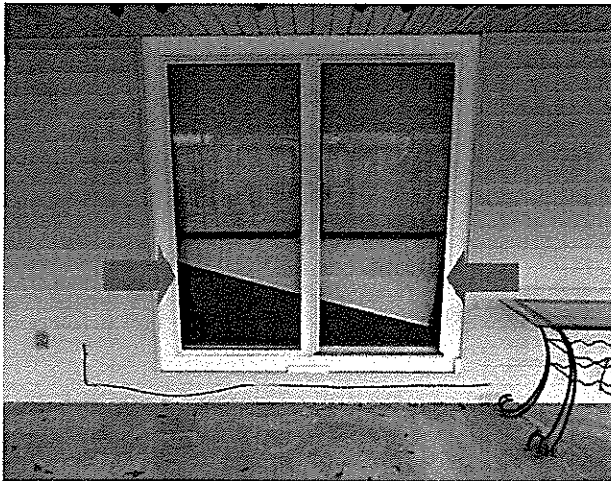
Safety Tip: The garage door separating the garage from the residence is not self-closing. Some authorities having jurisdiction over local building standards require that openings between the garage and residence shall be self closing. Without regard to your governing body, we *recommend* installing a self-closing device as a safety upgrade to preserve the fire break between the habitable area and garage

x x x x **H. Windows**

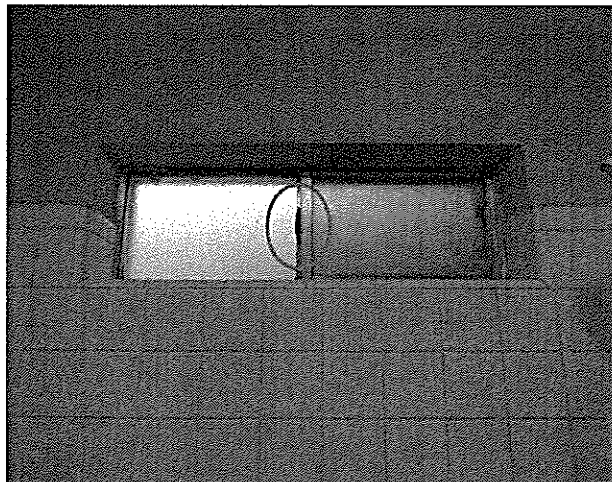
Comments: Windows are single pane windows

Note: Inspection for safety glass is not and was not inspected by this company. Inspector could not determine whether glass that is not labeled safety glass is safety glass since some tempered and particularly laminated safety glass is not permanently labeled or glass (such as at skylights, sun room covers etc) is not accessible to inspect for labels.

- Rear exterior storm windows appear to be missing. Replace as needed.
- Window in the front right bedroom did not stay open. Repair for safety.



- Master bathroom window lock is stiff. Repair as needed.



- Replace damaged window screens and install them where missing. **Note:** The Texas Real Estate Commission's Standards of Practice requires that we report missing damaged/missing window screens as a deficiency

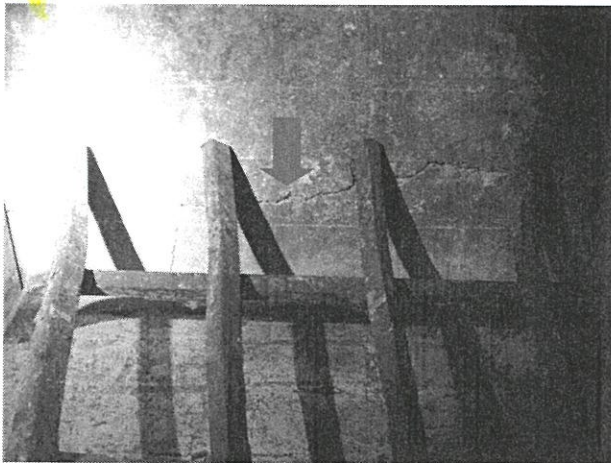
I. Stairways (Interior and Exterior)

Comments:

J. Fireplaces and Chimneys

Comments: Wood burning fire place

- Repair cracks in the firebox to prevent the escape of gases/ashes into the cavity.
- Chimney cricket is missing. **Note:** Chimneys shall be provided with crickets where the dimension parallel to the ridge line is greater than 30 inches. Repair as needed.



K. Porches, Balconies, Decks and Carports

Comments:

- Multiple Cracks on rear porch cement slab. Repair as needed. Sample below.



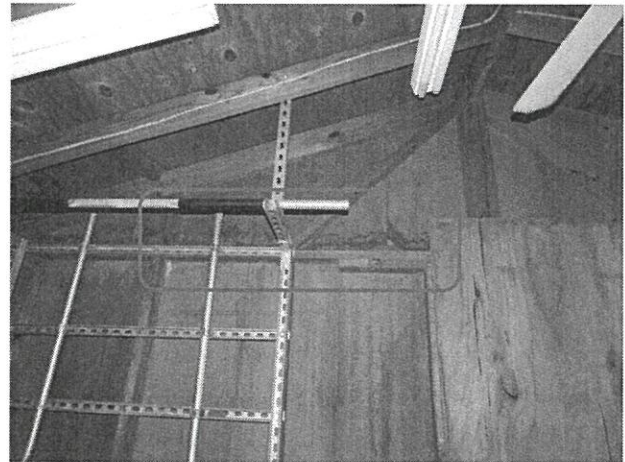
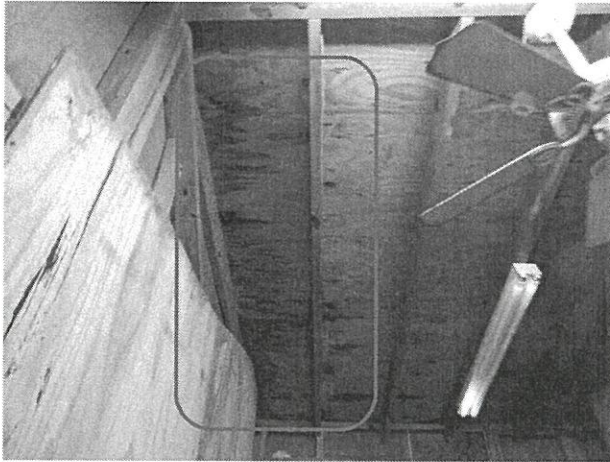
L. Others

Comments:

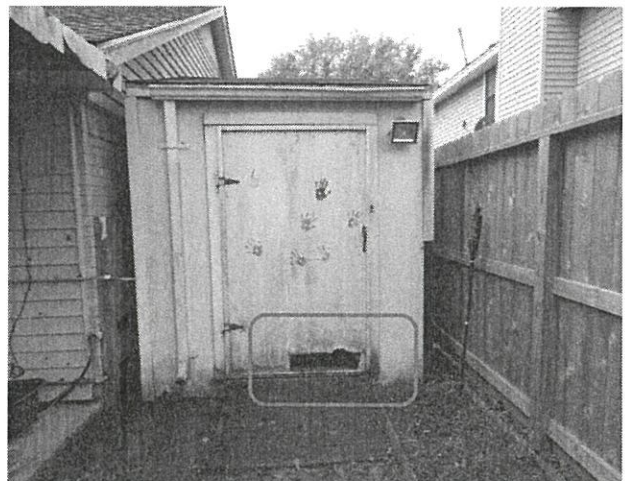
- Missing/damaged shingles on the right side of storage shed roof covering. Repair/replace to prevent further water penetration.



- Water damaged noted on storage shed roof structure and walls. Investigate root cause and repair as needed. Samples below.



- Rotted/damaged siding on storage shed. Replace as needed. Samples below.



I= Inspected

NI= Not Inspected

NP= Not Present

D= Deficient

I NI NP D

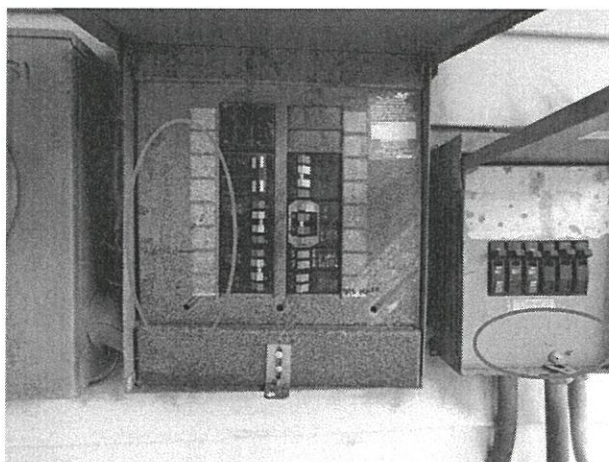
II. ELECTRICAL SYSTEMS

x A. Service Entrance and Panels

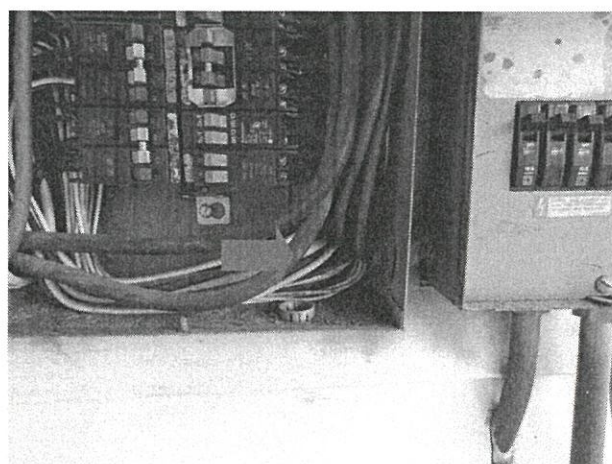
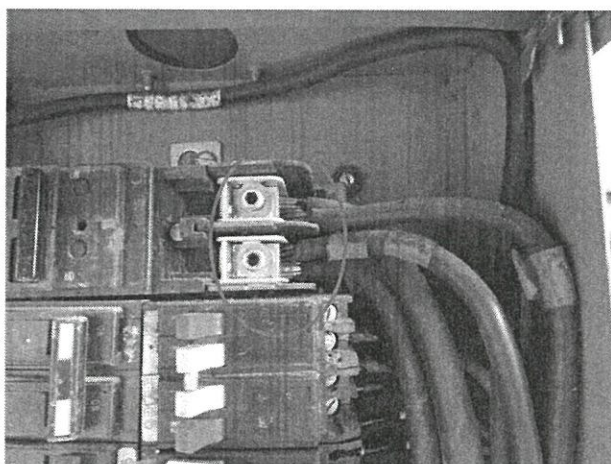
Comments: Service enters home underground located on the right exterior wall, with 150 amp main switch, main service feeder cables are aluminum, sub panel feeders are copper and copper branch wires.

Information: As of the 2014 version of the NEC, combination type AFCI circuit breakers are required on all branch circuits supplying outlets or devices installed in dwelling unit kitchens, family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, laundry areas, or similar rooms or areas.

- Noted corrosion on the dead front cover. Recommend repair/replacement of same.
- Missing circuit breakers ID labels. Accurately identify each breaker according to their function



- Main feeder and sub panel feeder cables are double tapped. This condition is hazardous and may cause overheating. Consult with a licensed electrician for proper repairs for safety.
- No anti-oxidant compound on feeder aluminum cables. As oxide builds and continues to build on aluminum wires, it also builds up resistance. Recommend Alnox or Penetrox A13k
- Branch conductors were bundled and pass through a single penetration in the panel cabinet. Such constriction of conductors may generate excessive heat and de-rate the amperage of the cables.





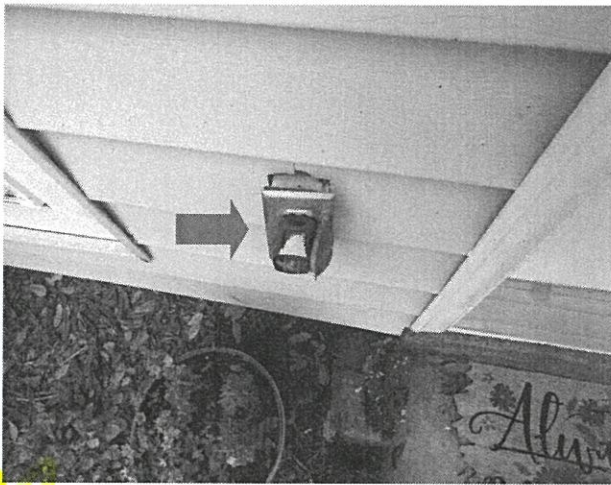
- Inspector was not able to find the bonding to the enclosure. Recommend installation for personal safety
- Recommend to consult a licensed electrician to confirm integrity of electrical system and perform required repairs and upgrade system to comply with most current NEC code as needed

B. Branch Circuits, Connected Devices, and Fixtures

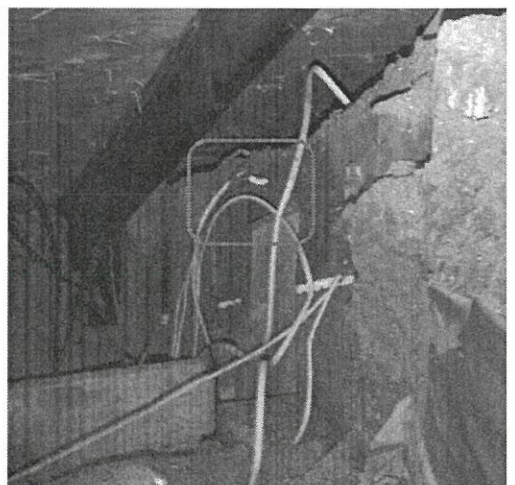
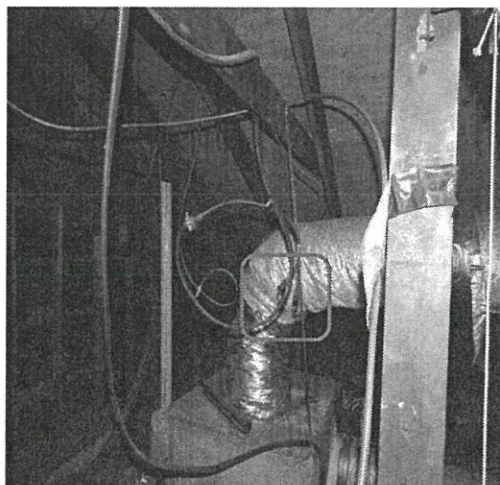
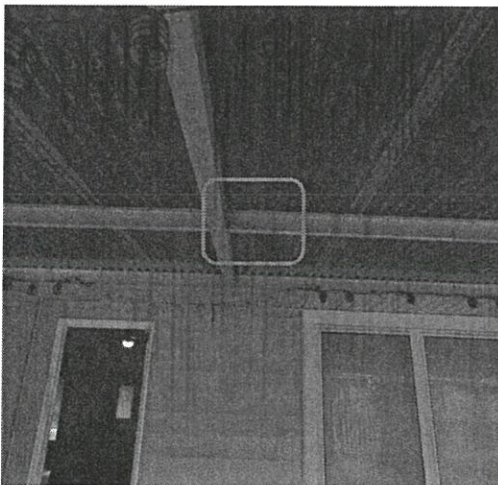
Type of Wiring: Copper

Comments:

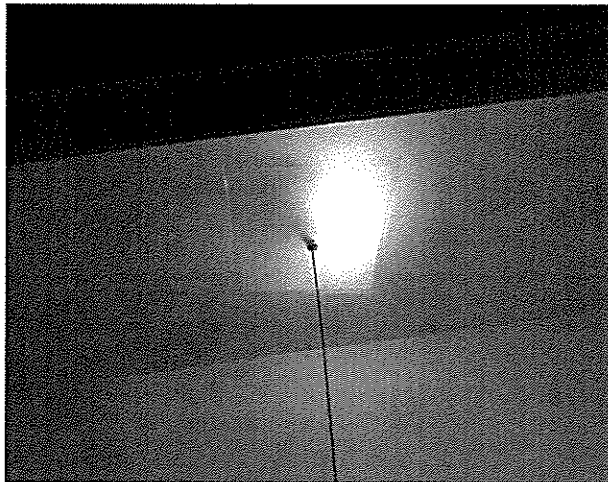
- There are missing GFCI outlets at required locations: Note: GFCIs are intended to protect persons from accidental electrocution in areas susceptible to moisture. Installations of these devices in the locations specified are recommended as safety upgrades. These locations include: All kitchen countertop receptacles, and bathroom receptacles, receptacles within 6' of water, all outdoor receptacles and all garage receptacles, including ceiling receptacles for any overhead garage door operators, except those dedicated to a fixed appliance. These devices should be tested monthly for safe and proper operation per the manufacturer.
- Properly install outlet on the front exterior side of the house to prevent possible moisture/water entry.
- Debris in outlet prong inserts on the rear side of the house. In need of repair.



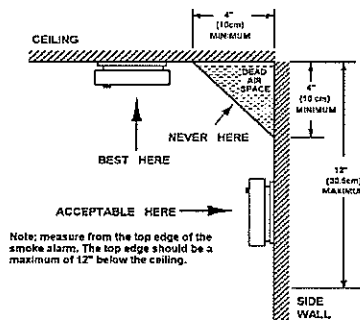
- Observed spliced wires on the rear side of the house and the right attic access. **Note:** All spliced wires should be placed inside a junction box. Properly repair for safety.



- Light fixture cover in the front right bedroom is cracked. Replace for safety.



- Install missing smoke alarms and/or carbon monoxide alarms at each required location: **Smoke alarms should be installed at each sleeping area , outside each sleeping area and on each level of the dwelling. Install smoke alarms for the safety of the occupant**



Note: The built-in test button when present only verifies proper battery and horn function, but does not test smoke sensor. Recommend fresh batteries be installed at move-in and tested monthly as recommended by the Consumer Product Safety Commission (CPSC). Additional information on smoke detectors and fire safety can be obtained at http://www.homesafetycouncil.org/safety_guide/sg_fire_w005.asp

Note: The U.S. Fire Administration, a department of FEMA, states that smoke and fire alarms have a life span of about 8 – 10 years after which the entire unit should be replaced.

Safety Tip: The National Fire Protection Association recommends that one and two-family dwellings and multifamily dwelling units should be protected with CO detectors if the dwelling has fuel-burning equipment, a fireplace, or is attached to a garage. The units should be installed following the manufacturer’s recommendation for placement in your home. Additional safety information may be viewed online at: www.nfpa.org and www.sparky.org.

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I NI NP D

III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

A. Heating Equipment

Type of Systems: Central

Energy Sources: Electric

Comments:

A full and complete evaluation of a heat exchanger requires that the furnace unit be dismantled and is, therefore, beyond the scope of this inspection.

- The electric heating system was tested for approximately 1 hour in the normal heating mode and performed as intended at the time of inspection.

B. Cooling Equipment

Type of Systems: Central

Comments: Model/Capacity: TCJD48S41S3A/4 Ton, Serial Number: W1L2257430

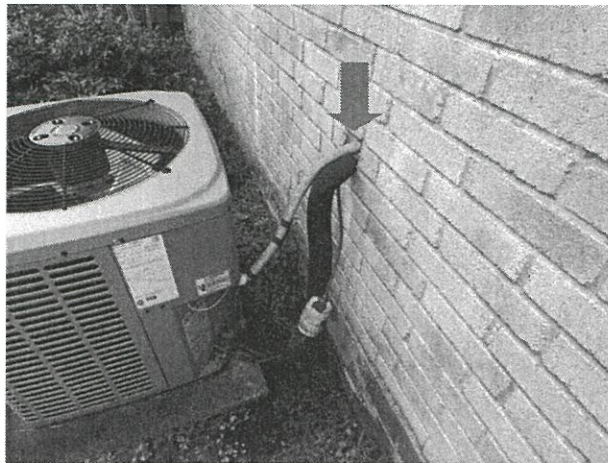
Note for Central AC systems: The inspector did not determine the efficiency, adequacy or capacity of the system. The inspector did not determine the uniformity of the supply of conditioned air to the various parts of the units nor determine the types of materials contained in the insulation, wrapping of pipes, ducts, jackets, boilers and wiring. The inspector did not operate venting systems unless the ambient air temperature or other circumstances were conducive to safe operation without damage to the equipment. The systems were not dismantled for inspection and zoned air systems, if present were not inspected for operation.

Information for Central AC systems: Unless specified, the following is not determined: system capacity or sizing; code compliance, refrigerant leaks or refrigerant type (R22 versus its replacement); remaining lifespan; evaporator coils condition or tilt, condensing units and air handlers are not disassembled and the condition of these systems interior components remains undetermined. This inspection does not check for microbiologicals such as mold or air quality

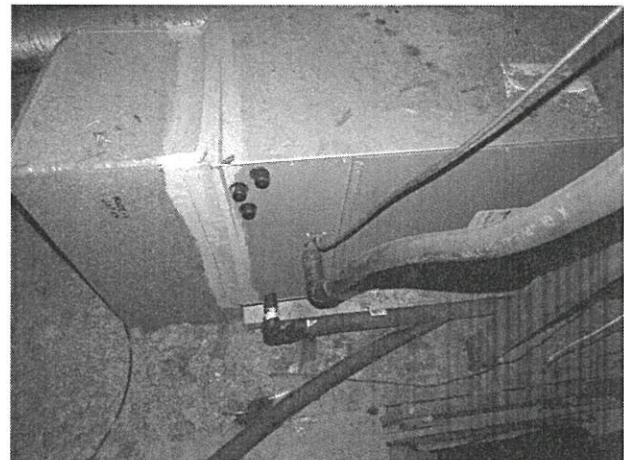
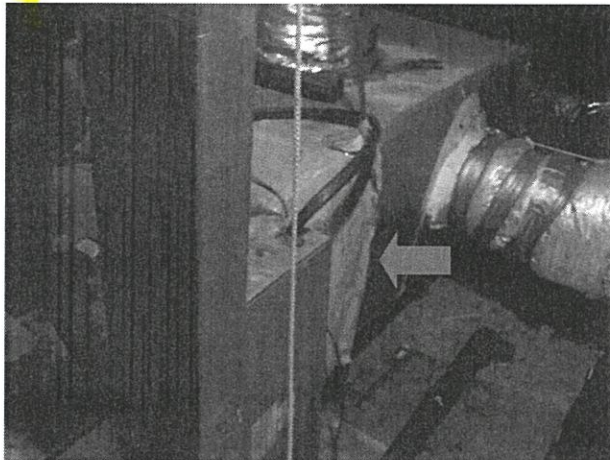
Note: The delta temperature is the difference between the intake and output air temperature. The acceptable operation range is between 14° F and 20° F.

Intake/Return: 67°F, Output: 50°F, Differential: 17°F **WITHIN STANDARD**

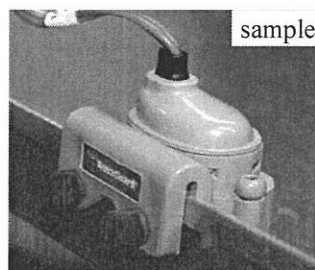
- Properly secure condenser unit to mounting pad to prevent damage from excessive vibration/movement.
- Corrosion-resistive flashing required at the penetrations utilized by the A/C refrigerant lines was not evident. Such flashing should be provided in the exterior wall envelope in such a manner as to prevent entry of water into the wall cavity or penetration of water to the building structural components. The flashing should extend to the *surface of the exterior wall finish* and should be installed to prevent water from reentering the exterior wall envelope.



- Air leaking from plenum. Properly seal to prevent the escape of air/moisture.
- Recommend to unplug secondary drain line and elbow it down to drain pan using pvc.



- Recommend the installation of an “Overflow” switch on secondary drain pan to prevent possible spills



Maintenance Tip: Routinely, clean inside intakes, ducts, and replace filters to protect evaporator coil from clogging or damage.

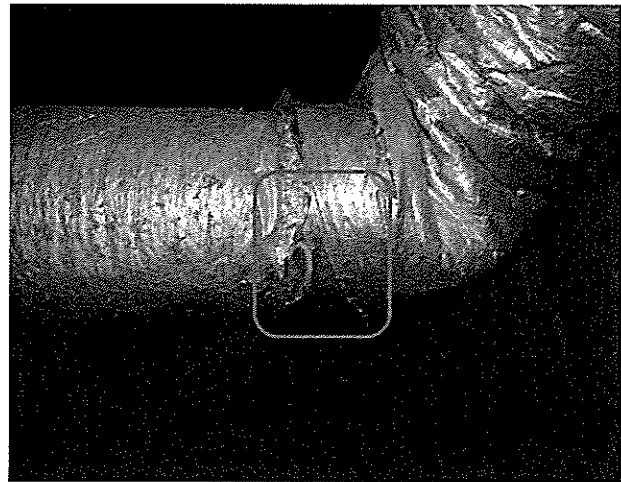
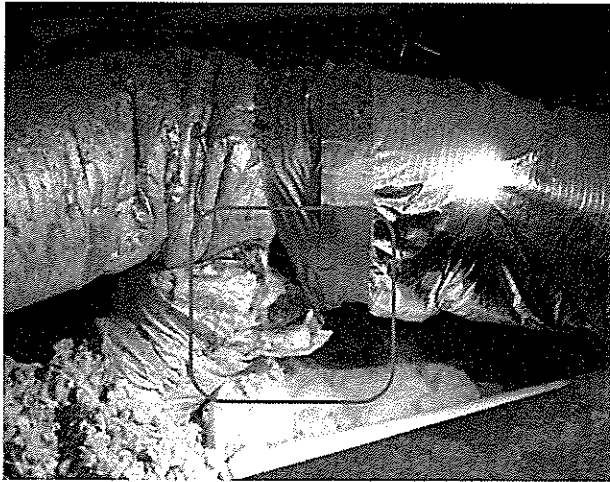
Note: The Texas Real Estate Standards of Practice , to which we must adhere, specifically excludes verifying compatibility of components, tonnage match of indoor/outside coils or condensing units, or determining sizing, efficiency, or adequacy of the system. Performance of this equipment was based on evaluation at the time of inspection. Recent service, which may include adding refrigerant, may allow the equipment to perform in an acceptable manner and hide performance or life-span concerns

x x C. Duct Systems, Chases, and Vents

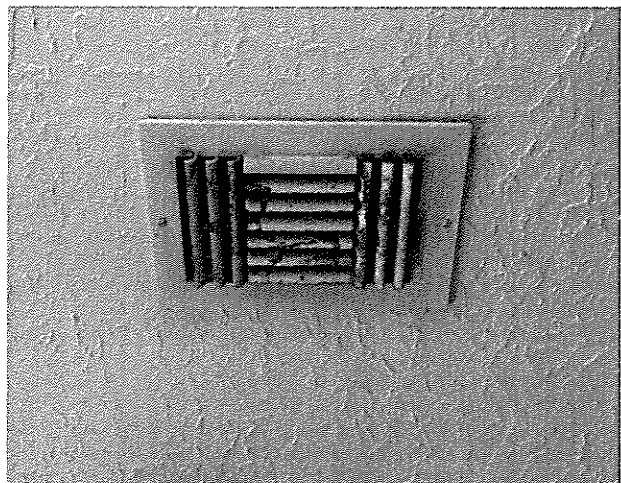
Comments:

While the HVAC duct system was evaluated visually, including any notation of damaged duct, constricted duct and poorly run or hung duct, a complete determination of air flow or balance was outside of the scope of this inspection.

- Corrosion on ducts located on the right side of the house. Recommend to consult with a qualified HVAC tech to further assess the integrity of the duct system and properly repair/replace as needed.



- Ducts are to be suspended using 1 1/2" straps at every 4ft
- Possible evidence of microbial growth on multiple vents throughout the house. This condition may be caused by condensation and/or leaking air ducts. Further investigate root cause and properly repair as needed



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I NI NP D

IV. PLUMBING SYSTEMS

A. Plumbing Supply, Distribution Systems and Fixtures

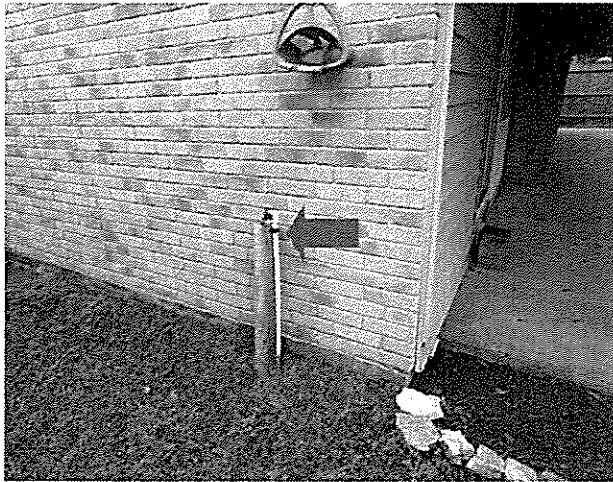
Location of water meter: By Street Right of Way

Location of main water supply valve: Right exterior wall

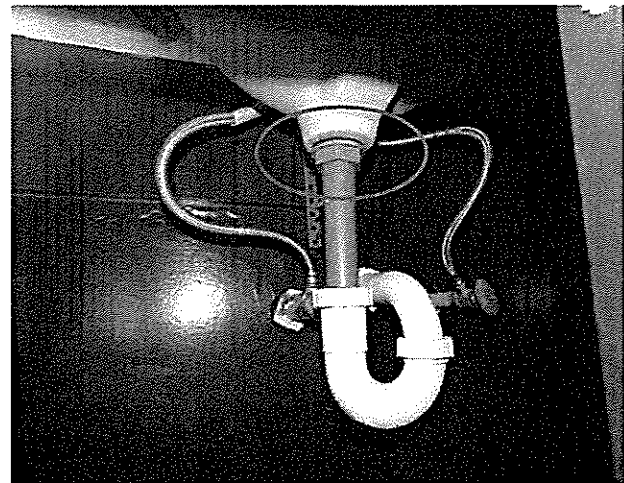
Static water pressure reading: 55 PSI. Standard: Min 40 PSI, Max: 80 PSI

Comments:

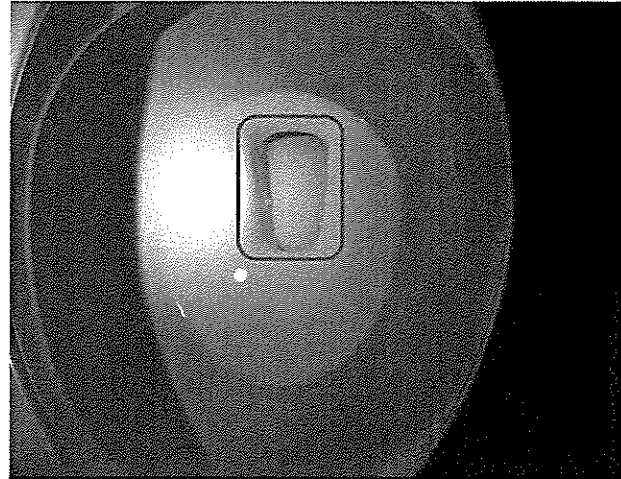
- Hose bib on the rear right side of the house did not have water supply. Consult with a qualified plumber to further investigate condition and repair as needed.
- Noted missing "Back Flow Prevention" device on hose bibs. This prevents contaminants such as sewage etc from being siphoned into the water supply. Recommend installation of device for safety



- Observed non-approved drain connector in upstairs bathroom plumbing. Note: Drainage fittings shall have a smooth interior waterway of the same diameter as the piping served. All fittings shall conform to the type of pipe used. Drainage fittings shall have no ledges, shoulders or reductions which can retard or obstruct drainage flow in the piping. Any configuration other than smooth interior will cause solids to catch and begin to clog the pipe
- Leak at master bathroom sink connection. In need of repair.



- Sediment in both toilet tanks and also noted debris in the hallway toilet bowl when flushed. This condition may be indicative of corrosion in plumbing and/or water heating equipment. Recommend to consult with a licensed plumber to further investigate root cause and properly repair as needed.
- Observed loose toilets in both bathrooms. Properly secure to avoid water leaks **Note:** If excessive movement of toilet is noticed, we recommend that the seal be replaced.



- Note: We strongly recommend the installation of a “plumbing access” (ex: 12”x12” opening) at each shower, bathtub/whirlpool to confirm for possible defective plumbing and or water leaks.
- Recommend to consult a licensed plumber to perform repairs appropriately and comply with UPC code where needed

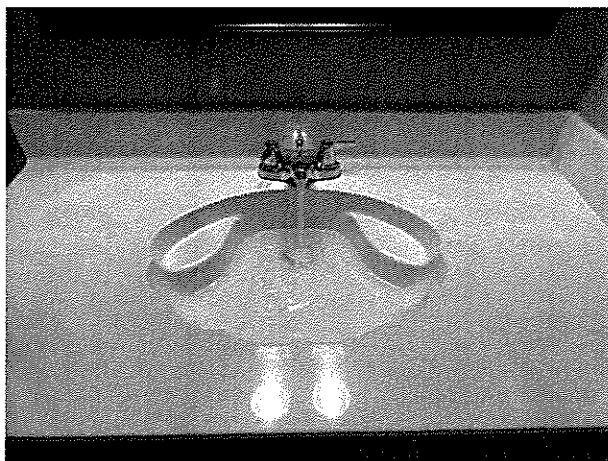
-Note: Plumbing fixtures are not operated if appliances or timers are connected to them; refer to the seller's disclosure for information. The type or condition of plumbing materials in inaccessible areas is not determined. Unless specified, fixtures and vessels are not filled to capacity for inspection reasons in order to prevent inadvertent water damage to the property. This means some leaks may go undetected, especially at bathtub overflows. Comprehensive water leak checks are available from plumbers.

B. Drains, Wastes, and Vents

Comments:

-Unless stated, this inspection does not determine the condition or material type of inaccessible or underground piping. *Location, presence or adequacy of clean-out provisions is not determined. Refer to the seller's disclosure for possible information pertaining to past drain performance and repairs. This inspection does not include buried sewer/drain lines, or washer drains.*

- Slow drain in the hallway bathroom. Further investigate root cause and properly repair as needed.



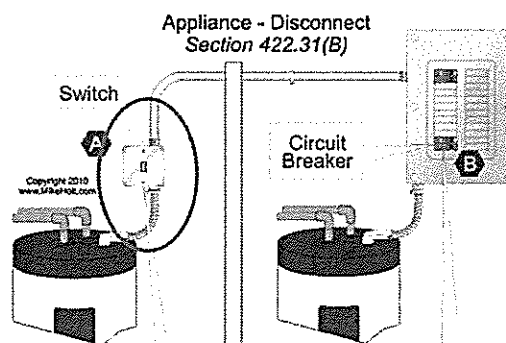
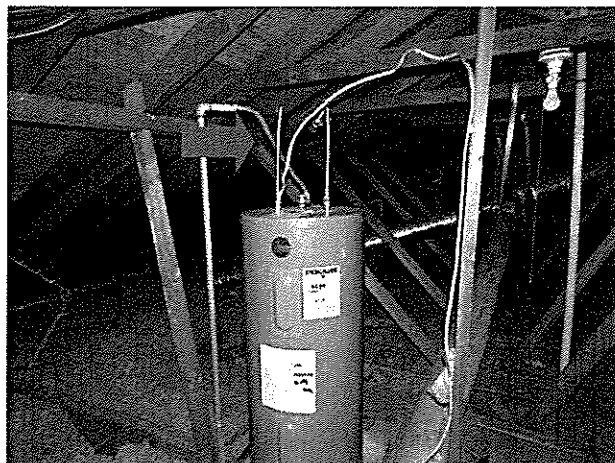
C. Water Heating Equipment

Energy Sources: Electric

Capacity: 40 gls

Comments: Located in attic

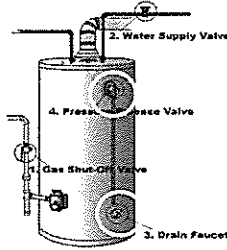
- Inspector was not able to verify bonding of the metal water supply piping. **Note:** The metal gas water supply piping should be grounded or bonded to the electrical system. Recommend verification and/or installation of same for safety precautions.
- The temperature/pressure relief discharge pipe should be as short and as straight as possible so as to avoid undue stress on the valve and be installed so as to drain by flow of gravity. In need of repair.
- The water heating equipment is missing the required in-sight direct disconnect or lockable switch. Install same for safety precautions.



The disconnect must be within sight of the appliance, or it must be capable of being locked in the open position, and the provision for locking remains in place whether locked or unlocked.

Maintenance tip.:

- Drain tank at least once a year, test TPR (Temperature Pressure Release) valve semi-annual, and replace it once /3 years
- It's always best to follow manufacturer's maintenance instructions.



- Note: TPR (temperature relief) valve does not get tested at this inspection to prevent damage to valve, and possible damages to the property
- Note: The life expectancy of a well maintained water heater is approx. 13 yrs. Note: It may vary depending on manufacturer.
* Existing unit appeared to be manufactured on 2/2013

D. Hydro-Massage Therapy Equipment

Comments:

E. Other

Comments: N/A

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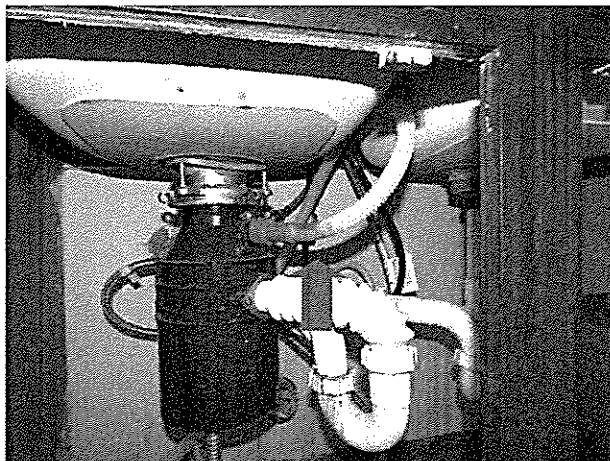
I NI NP D

V. APPLIANCES

A. Dishwashers

Comments: Operated as intended at the time of inspection

- Debris noted in the dishwasher drain line. Note: Maintain drain line free of debris to prevent blockage of drain line.



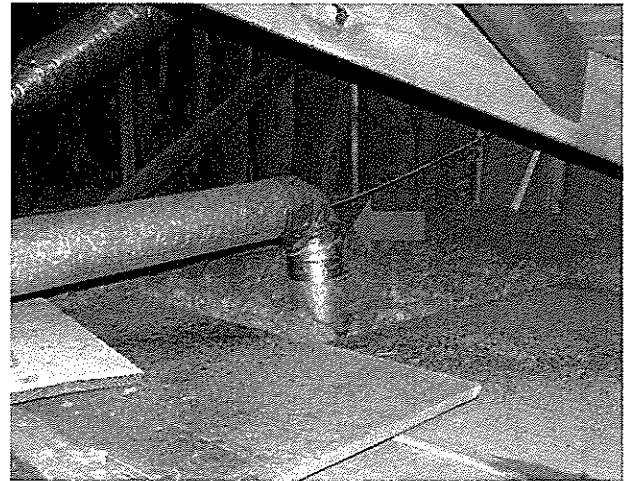
B. Food Waste Disposer

Comments: Performed as intended at the time of inspection

C. Range Hood and Exhaust Systems

Comments: Operated as intended at the time of inspection

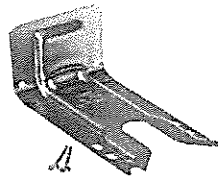
- Noticed duct tape (flammable) being used on connectors. Recommend replace duct tape for aluminum tape



D. Ranges, Cooktops and Ovens

Comments: Operated as intended at the time of inspection

- Range oven standard: 350° F +/- 25° F, **Actual: 340° F** (approx)
- Noted missing anti-tip device on range. Recommend installation for child safety



E. Microwave Ovens

Comments: Performed as intended at the time of inspection

F. Mechanical Exhaust Vents and Bathroom Heaters

Comments: Functional windows in place

G. Garage Door Operators

Comments:

- The garage door jerks when operated. Recommend to consult with a qualified contractor to further investigate root cause and repair as needed.

H. Dryer Exhaust Systems

Comments:

- The dryer vent cap is not installed. In need of repair. **Note:** recommend checking dryer hoses and cleaning ducts approx. every six months. Hoses should be replaced every five years. A dryer can erupt in flames if lint builds up inside the machine or its ducts. **Note:** Exhaust duct terminations shall be equipped with a back draft damper. Screens shall not be installed at the duct termination



I. Other

Comments:

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NP= Not Present

D= Deficient

I NI NP D

VI. OPTIONAL SYSTEMS

A. Landscape Irrigation (Sprinkler) Systems

Comments:

B. Swimming Pools, Spas, Hot Tubs, and Equipment

Type of Construction:

Comments:

C. Outbuildings

Comments:

D. Private Water Wells (A coliform analysis is recommended.)

Type of Pump:

Type of Storage Equipment:

Comments:

E. Private Sewage Disposal (Septic) Systems

Type of System:

Location of Drain Field:

Comments:

F. Other

Comments: