

GENERAL PLAN NOTES

1. THESE DRAWINGS SHOULD BE REVIEWED BY THE BUILDER, SUBCONTRACTORS, AND/OR HOMEOWNER PRIOR TO ANY CONSTRUCTION. KENT & KENT INC. SHOULD BE CONTACTED IMMEDIATELY SHOULD ANY ERRORS AND/OR OMISSIONS BE FOUND IN THESE DRAWINGS. IF NOTIFIED, KENT & KENT INC. WILL REVISE THESE DRAWINGS IN A TIMELY AND PROFESSIONAL MANNER AND PROVIDE REVISED DOCUMENTS TO THE BUILDER, SUBCONTRACTORS, AND/OR HOMEOWNER. KENT & KENT INC. WILL NOT BE HELD LIABLE FOR ANY CONSTRUCTION EXPENSES OR JOB DELAYS WHILE REVISING DRAWINGS. IF KENT & KENT INC. IS NOTIFIED PRIOR TO BEGINNING CONSTRUCTION, THE BUILDER, SUBCONTRACTORS, AND/OR HOMEOWNER SHALL BE RESPONSIBLE FOR ANY DELAYS AND/OR EXPENSES INCURRED DURING CONSTRUCTION. ALL CONSTRUCTION DOCUMENTS ARE THE COPYRIGHTED INTELLECTUAL PROPERTY OF KENT & KENT INC. NEITHER OR NOT THE PROJECT FOR WHICH THEY WERE DESIGNED IS CONSIDERED TO BE REPRODUCED BY ANY METHOD NOR MAY THEY BE USED BY ANYONE FOR REPEAT CONSTRUCTION WITHOUT THE WRITTEN CONSENT OF KENT & KENT INC. FURTHERMORE, THESE DOCUMENTS MAY NOT KNOWINGLY BE FURNISHED TO OTHERS FOR SUCH PURPOSES. THE CUSTOMER IS EXPRESSLY GRANTED A SINGLE USE LICENSE TO USE THESE CONSTRUCTION DOCUMENTS CONDITIONAL ON FULL AND FINAL PAYMENT OF ALL FEES DUE TO KENT & KENT INC.
2. KENT & KENT INC. IS A PROFESSIONAL BUILDING DESIGN FIRM IN THE STATE OF TEXAS. WE ARE NOT AN ENGINEERING FIRM. A LICENSED PROFESSIONAL STRUCTURAL ENGINEER'S SEAL BEING PRESENT ON THESE DRAWINGS, THE ENGINEER OF RECORD SHALL BEAR ALL RESPONSIBILITY FOR THE STRUCTURAL DRAWINGS, FOUNDATION AND FOUNDATION DESIGN FOR THIS PROJECT. KENT & KENT INC. WILL NOT BE HELD LIABLE FOR THE STRUCTURAL ENGINEER'S DESIGN SHOULD AN ENGINEER'S SEAL BE PRESENT ON THESE DRAWINGS.
3. PERMITS AND/OR INSURANCE REQUIREMENTS SHALL BE THE RESPONSIBILITY OF THE BUILDER. KENT & KENT INC. WILL NOT BE HELD RESPONSIBLE FOR THE STRUCTURAL ENGINEER'S DESIGN SHOULD AN ENGINEER'S SEAL BE PRESENT ON THESE DRAWINGS.
4. RESIDENCE TO BE BUILT IN ACCORDANCE WITH 2012 INTERNATIONAL RESIDENTIAL BUILDING CODE.
5. RESIDENCE TO BE BUILT IN ACCORDANCE WITH TEXAS CATASTROPHE PROPERTIES INSURANCE ASSOCIATION BUILDING CODE.
6. FOR WINDSTORM RESISTANCE CONSTRUCTION.

**SQUARE FOOTAGE**

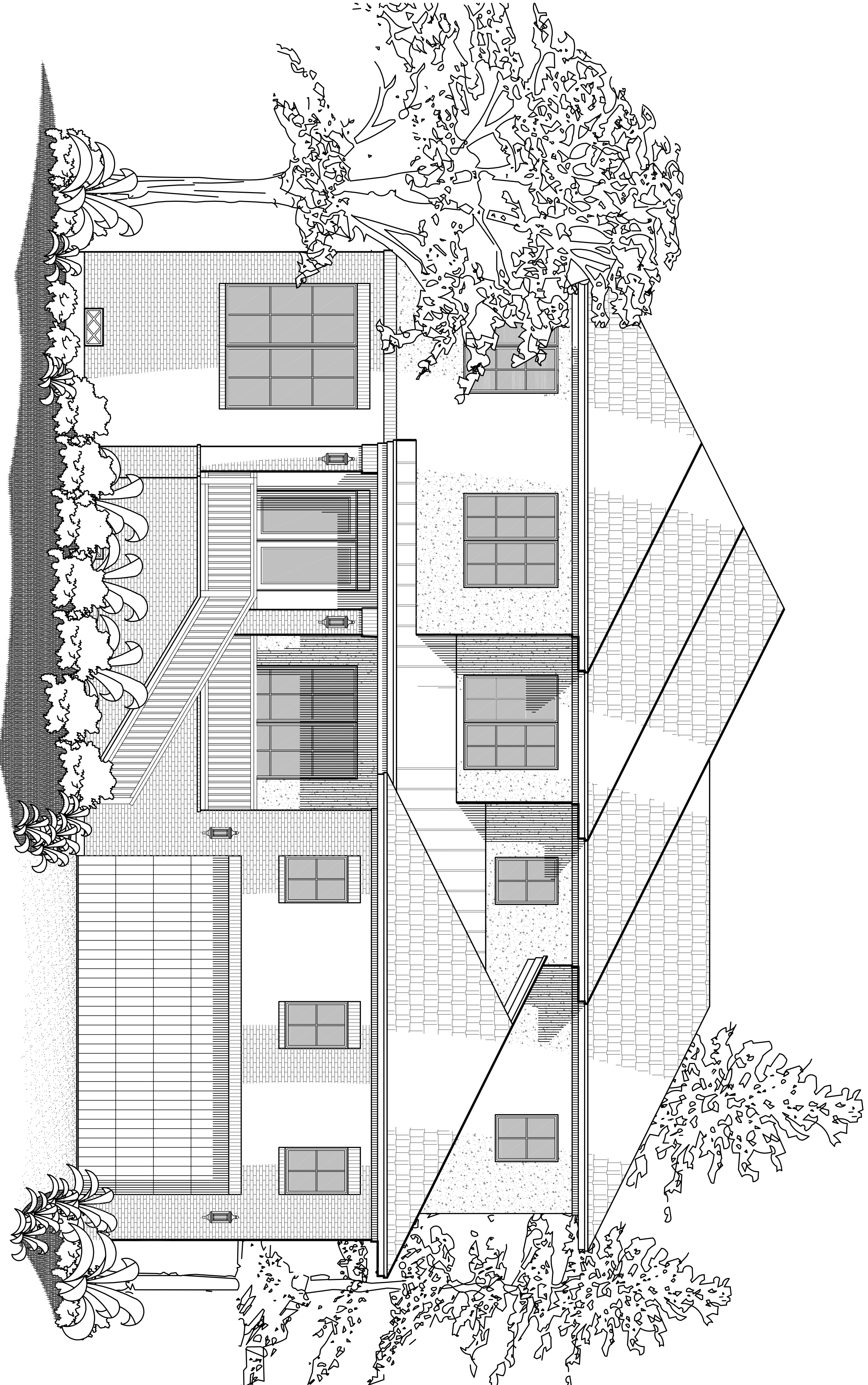
FIRST FLOOR	2222 SF
SECOND FLOOR	2200 SF
LIVING AREA	4422 SF
FRONT PORCH	213 SF
COVERED PATIO	245 SF
COVERED PORCH	180 SF
GARAGE	340 SF
TOTAL AREA	5660 SF

SITE PLAN NOTES

- BUILDER RESPONSIBLE FOR LOCATING ALL EASEMENTS, BUILDING LINES, AND PROPERTY LINES PRIOR TO CONSTRUCTION. BUILDER RESPONSIBLE FOR PROTECTING ALL TREES DURING CONSTRUCTION. THE FINISHED FLOOR OF THIS BUILDING SHALL BE NO LESS THAN 12 INCHES ABOVE THE NEAREST SANITARY SEWER MANHOLE RUN OF THE SEWER CONNECTED TO THE BUILDING. TREE SURVEY AND TREE INFORMATION WAS PROVIDED BY OWNER. APPROXIMATE ELEVATIONS PROVIDED BY OWNER. LOT DOES LIE IN THE 100 YEAR FLOOD PLAIN AND IS IN ZONE AE. PROVIDE 3" PVC SLEEVE BELOW WALK AND DRIVE FOR FUTURE USE.

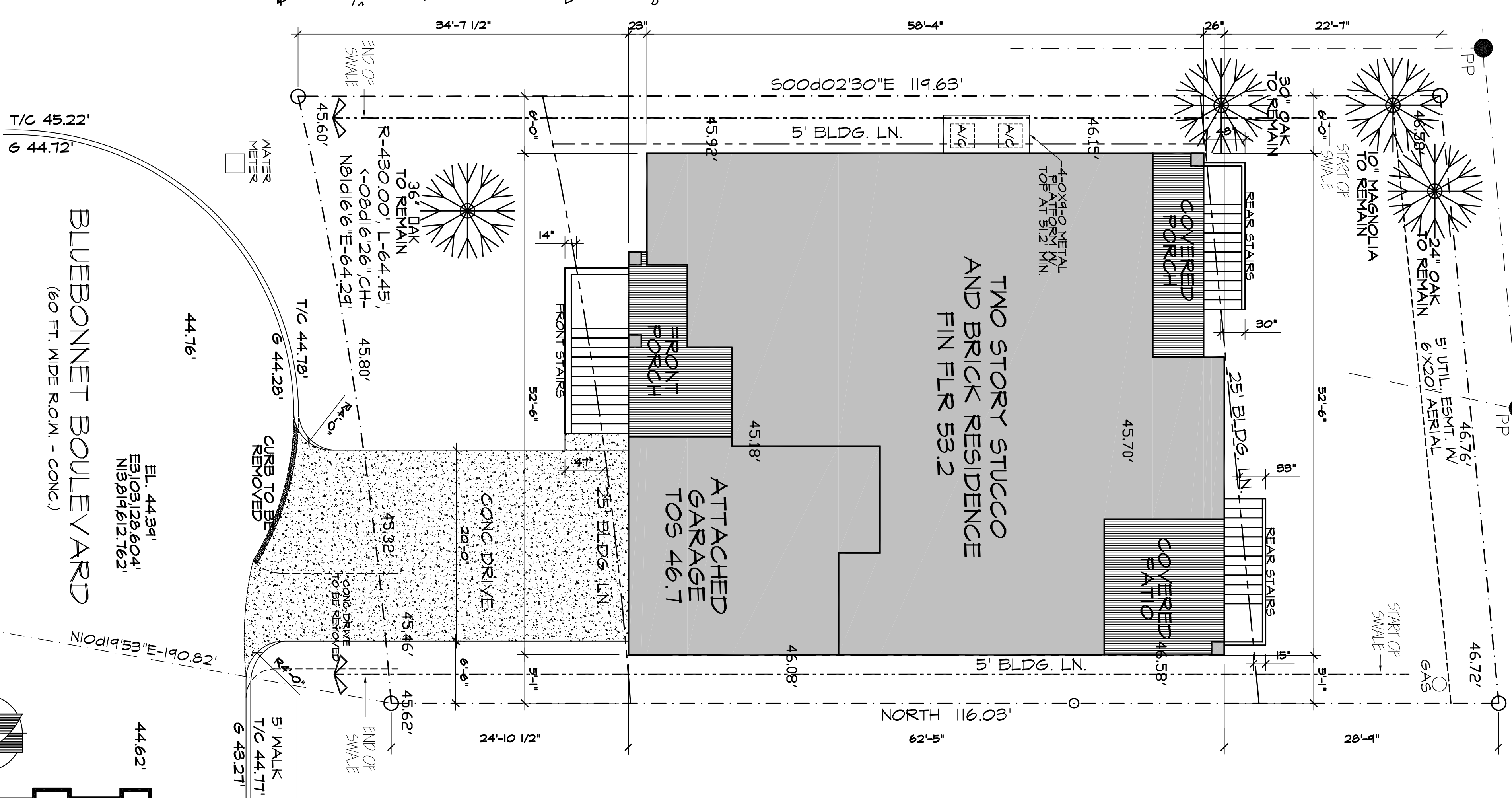
**LOT PERCENTAGE COVERAGE**

LOT	9	7442.04 SF
BUILDING(S)	3460.00 SF	46.00 %
CONCRETE DRIVE/WALK(S)	542.00 SF	7.29 %
TOTAL IMPERVIOUS AREA	4002.00 SF	53.77 %
% IMPERVIOUS AREA	53.77 %	



FRONT VIEW

NOT TO SCALE

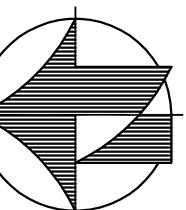


SITE PLAN

1/8" = 1'-0"

BLUEBONNET BOULEVARD  
(60 FT. WIDE R.O.N. - CONC.)

(NEAREST SAN MH TOP 45.61')



RESIDENCE FOR: CALTEX RESIDENTIAL INVESTMENTS, LLC -- BP DESIGNS  
PROJECT LOCATION: 3021 BLUE BONNET -- HOUSTON

2900 MILLCREST HOUSTON, TX 77042  
713-477-0778  
dick@kentandkent.com

PLAN NO. 4422  
DATE 06/27/2019  
SHEET NO. 1 OF 7



**GENERAL PLAN NOTES**

1. THESE DRAWINGS SHOULD BE REVIEWED BY THE BUILDER, SUBCONTRACTORS, AND/OR HOMEOWNER PRIOR TO ANY CONSTRUCTION. KENT & KENT INC. SHOULD BE CONTACTED IMMEDIATELY SHOULD ANY ERRORS AND/OR OMISSIONS BE FOUND IN THESE DRAWINGS. IF NOTIFIED, KENT & KENT INC. WILL REVISE THESE DRAWINGS IN A TIMELY AND PROFESSIONAL MANNER AND PROVIDE REVISED DRAWINGS TO THE BUILDER, SUBCONTRACTORS, AND/OR HOMEOWNER. KENT & KENT INC. WILL NOT BE HELD LIABLE FOR ANY CONSTRUCTION EXPENSES OR DELAYS DUE TO THE BUILDER'S FAILURE TO REVIEW DRAWINGS. IF KENT & KENT INC. IS NOT NOTIFIED PRIOR TO BEGINNING CONSTRUCTION, KENT & KENT INC. WILL NOT BE HELD LIABLE FOR ANY CONSTRUCTION EXPENSES OR DELAYS DUE TO THE BUILDER'S FAILURE TO REVIEW DRAWINGS.
2. ALL CONSTRUCTION DOCUMENTS ARE THE COPYRIGHTED INTELLECTUAL PROPERTY OF KENT & KENT INC. MEMBER OR NOT THE PROJECT FOR WHICH THEY WERE DESIGNED IS CONSIDERED. THESE DOCUMENTS MAY NOT BE REPRODUCED BY ANY METHOD NOR MAY THEY BE USED BY ANYONE FOR REPEAT CONSTRUCTION WITHOUT THE WRITTEN CONSENT OF KENT & KENT INC. FURTHERMORE, THESE DOCUMENTS MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN CONSENT OF KENT & KENT INC. FURTHERMORE, THESE DOCUMENTS MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN CONSENT OF KENT & KENT INC.
3. KENT & KENT INC. IS A PROFESSIONAL BUILDING DESIGN FIRM IN THE STATE OF TEXAS. WE ARE NOT AN ENGINEERING FIRM. A LICENSED PROFESSIONAL STRUCTURAL ENGINEER SHOULD BE CONTACTED AND CONSULTED IMMEDIATELY REGARDING STRUCTURAL FRAMING, BRACING, AND FOUNDATION DESIGN. SHOULD AN ENGINEER'S SEAL BE PRESENT ON THESE DRAWINGS, THE ENGINEER OF RECORD SHALL BEAR ALL RESPONSIBILITY FOR THE STRUCTURAL FRAMING, BRACING, AND FOUNDATION DESIGN FOR THIS PROJECT. KENT & KENT INC. WILL NOT BE LIABLE OR HELD RESPONSIBLE FOR THE STRUCTURAL ENGINEER'S DESIGN SHOULD ANY ERRORS AND/OR OMISSIONS BE FOUND IN THESE DRAWINGS.
4. PERMITS AND/OR INSURANCE REQUIREMENTS SHALL BE THE RESPONSIBILITY OF THE BUILDER. KENT & KENT INC. WILL NOT BE HELD RESPONSIBLE FOR THE BUILDER'S FAILURE TO OBTAIN PERMITS AND/OR INSURANCE.
5. RESIDENCE TO BE BUILT IN ACCORDANCE WITH 2012 INTERNATIONAL RESIDENTIAL BUILDING CODE.
6. FOR WINDSTORM RESISTANCE CONSTRUCTION.

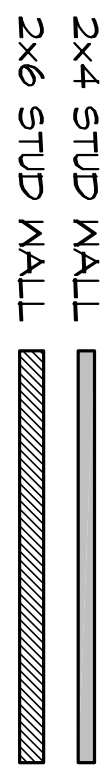
**FLOOR PLAN NOTES**

1. TOP OF LIVING AREA FINISHED FLOOR TO BE 59.2.
2. PERMITTING MUNICIPALITY AND FLOOD PLAN CRITERIA TO HAVE PRECEDENCE OVER MINIMUM STANDARD STATED ABOVE.
3. ALL UTILITY OVERFLOW PANS TO BE INSTALLED WITH RELIEF LINE TO OUTSIDE OR STORM SEWER, BUT NOT TO THE SANITARY SEWER.
4. PROVIDE PLUMBING ACCESS PANEL TO ALL BATHROOMS PER INTERNATIONAL 2012 PLUMBING CODE.
5. ALL WATER HEATERS TO BE INSTALLED OVER WALL PARTITIONS WITH PAN AND RELIEF LINE TO OUTSIDE OR STORM SEWER.
6. ALL WINDOWS TO BE VINYL FRAME DOUBLE PANE LOWE GLASS OWNER TO SELECT MANUFACTURER.
7. LABEL WATER-RESISTIVE BARRIER TO BE BUILT HAVING INSTALLED PER MANUFACTURER'S SPECS.
8. PROVIDE RADIANT BARRIER AT ROOF DECKING.
9. CONTRACTOR/OWNER TO CONFIRM ADEQUATE CLEARANCES OF NEW RESIDENCE TO EXISTING POWER LINES IS THE RESPONSIBILITY OF CENTER POINT ENERGY AND THE OWNER/CONTRACTOR.
10. RELOCATING OR MODIFYING LOCATION OF EXISTING POWER LINES IS THE RESPONSIBILITY OF CENTER POINT ENERGY AND THE OWNER/CONTRACTOR.

**DOOR AND WINDOW NOTES**

- ALL EXTERIOR GLASS DOORS TO BE TEMPERED SAFETY GLASS  
 ALL WINDOWS TO BE VERIFIED BY WINDOW MANUFACTURER REPRESENTATIVE  
 PROVIDE SAFETY GLAZING FOR HAZARDOUS LOCATIONS PER SECTION R508.4  
 ALL OPERABLE WINDOWS AT SECOND FLOOR TO COMPLY WITH IRC R602.2  
 CABT = CABINET  
 HT = HEADED TOGETHER  
 HT = HEADED TOGETHER  
 FS = FINED GLASS  
 HH = HEAD HEIGHT

**WALL LEGEND**

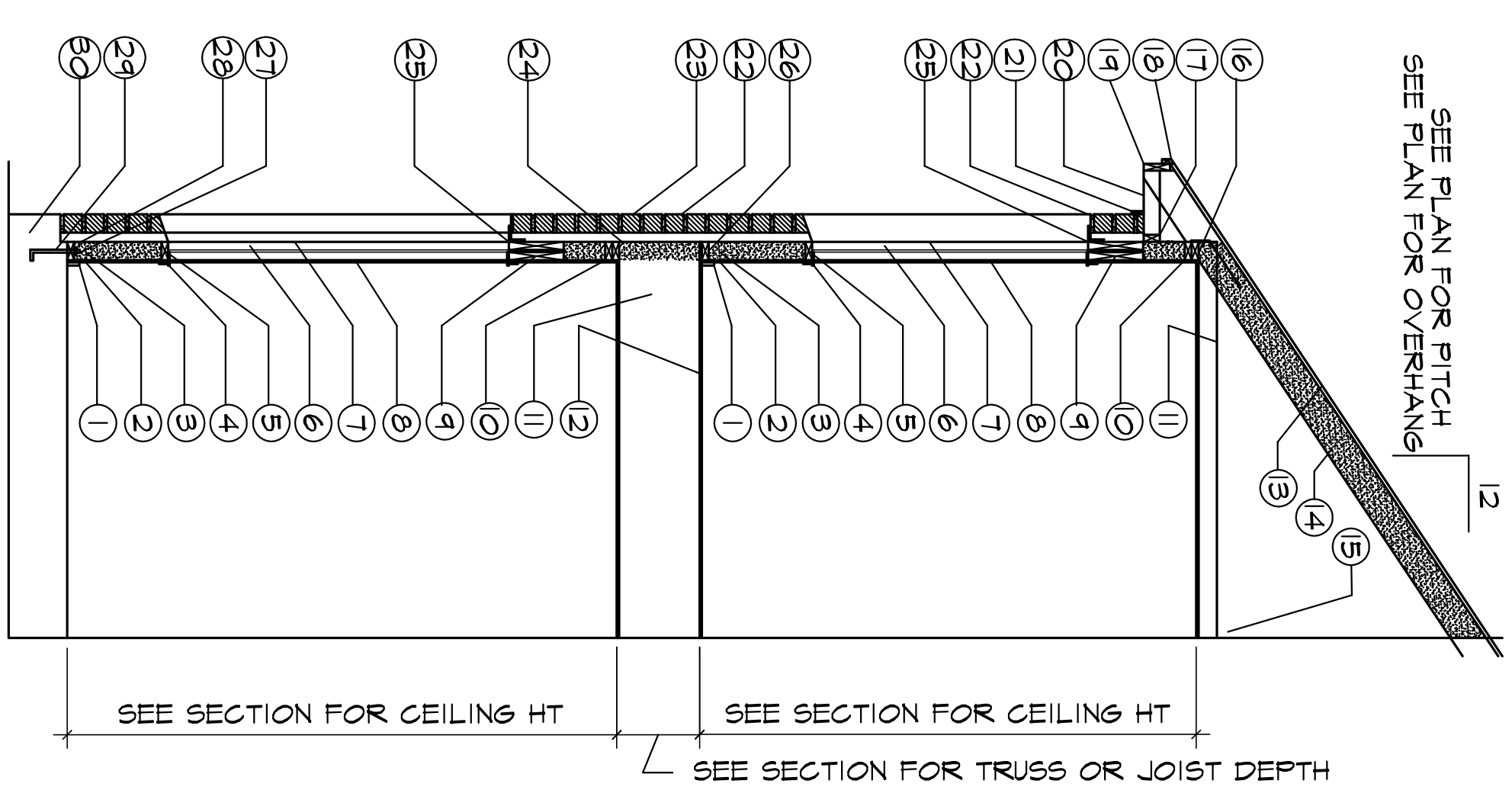


**SQUARE FOOTAGE**

FIRST FLOOR	2222 SF
SECOND FLOOR	2200 SF
LIVING AREA	4422 SF
FRONT PORCH	279 SF
COVERED PORCH	245 SF
GARAGE	180 SF
TOTAL AREA	5660 SF

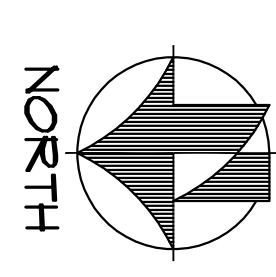
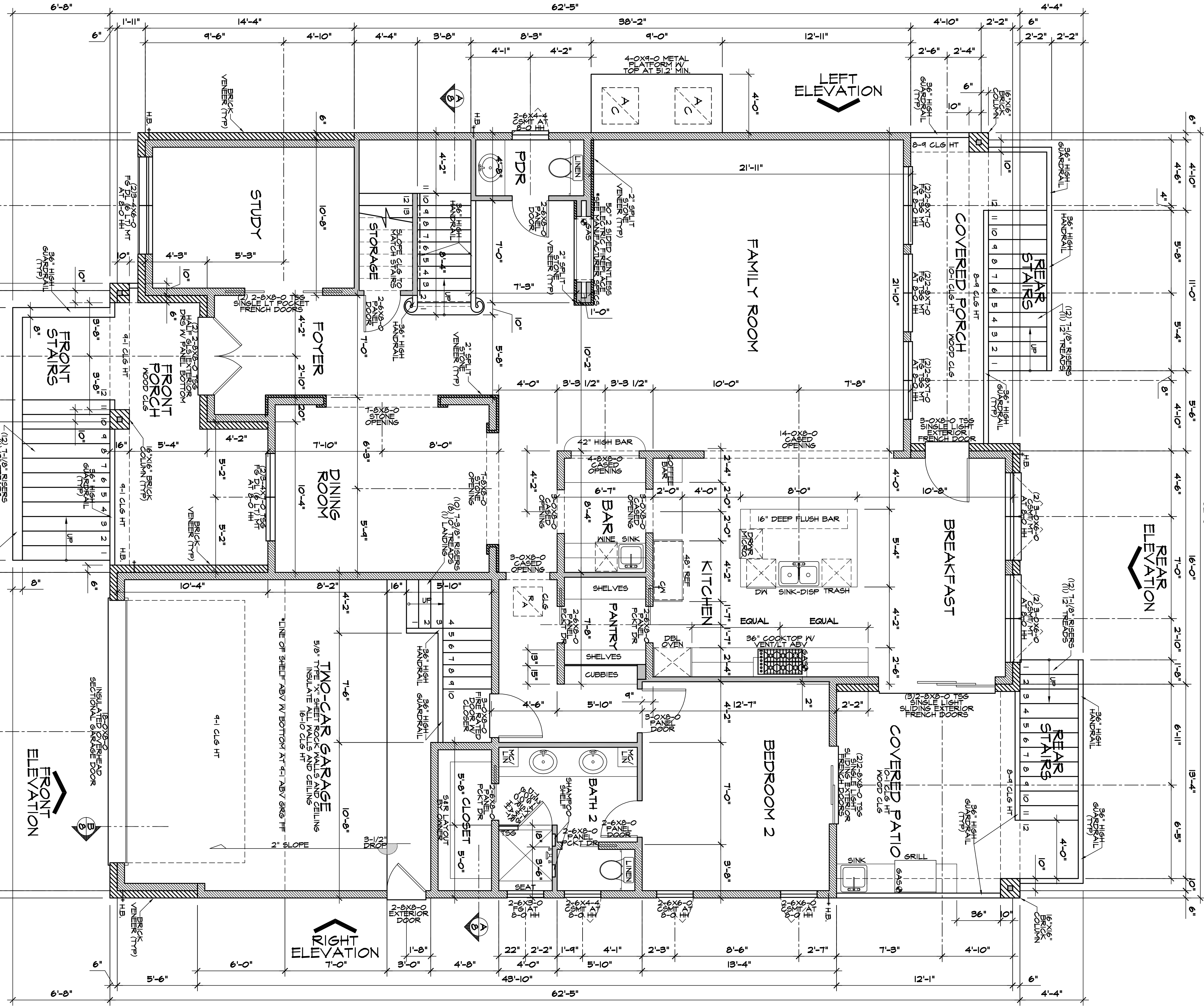
**FRAMING LEGEND**

1. INTERIOR BASEBOARD TRIM
2. 1/2" SHEETROCK OR 5/8" ONE HOUR FIRE RATED SHEETROCK
3. 2x4 STUD WALL WITH 1/2" GYPSUM BOARD ON 2x4 BLAG
4. 2x6 STUD WALL WITH 1/2" GYPSUM BOARD ON 2x6 BLAG
5. AND SPOKE DEVELOPMENT RATING OF 450
6. INTERIOR WINDOW SILL TRIM
7. 2x4 SILL AT WINDOW OPENINGS (SEE PLAN FOR STUD WIDTH OPTIONS)
8. 2x6 SILL AT 16" O.C. (MAX) (SEE PLAN FOR STUD WIDTH OPTIONS)
9. TYLER MOISTURE BARRIER & WINDOW WEAPE MASTIC AT ALL OPENINGS
10. WINDOW OPENING SEE PLAN FOR SIZE
11. HEADERS SEE CEILING JOIST FRAMING PLAN FOR SIZE AND SPECS
12. 2-2x DOUBLE TOP PLATE (SEE PLAN FOR STUD WIDTH OPTIONS)
13. CEILING JOISTS OR FLOOR TRUSSES SEE CEILING JOIST FRAMING PLAN FOR SPECIFICATIONS
14. 2x6 T&G (INSTALLED DIAGONALLY) OR 1-1/8" T&G PLYWOOD DECKING (LAND PERPENDICULAR TO JOIST SPAN) GLED AND WALLED ROOFING OVER 50M FELT & 1/2" CDX OR OSB PLYWOOD
15. SEE ELEVATIONS FOR ROOFING SELECTION
16. RAFTERS SEE ROOF FRAMING PLAN FOR SPECIFICATIONS
17. 2x6 BALCONY NOT TO BLOCK AIR FLOW FROM SOFFIT VENTS, SIMPSON OR TYPICAL HERCULENE TIES AND WALL TIES PER ENGINEERS SPECIFICATIONS AND DETAILS
18. 2x4 OUTLOOK AND 2x4 VALER
19. GALVANIZED SHINGLE DRIP MOULD
20. JAMES HARDIE CORE FACIA DRIP MOULD AND TRIM APPLIED OVER 2x6 BACKING BOARD ATTACHED TO RAFTER TAILS
21. JAMES HARDIE CORE SOFFIT AND TRIM
22. BRICK VENEER APPLIED PER MANUFACTURER'S SPECIFICATIONS PROVIDE EXPANSION JOINTS WITH PRE-MOULDED FOAM RUBBER OR PLASTIC APPROVED JOINT FILLER PER MANUF. SPECS.
23. LOCATE MORTAR (MINIMUM 3/16" DIAMETER) IN THE OUTSIDE WYTHE OF MASONRY WALLS AT A MAXIMUM SPACING OF 36" ON CENTER. MORTAR SHALL BE LOCATED ABOVE THE FLASHING AT SLAB LEVEL, WINDOW SILL LEVEL, AND AT SECOND FLOOR MASONRY WALL/ROOF INTERSECTIONS (SECT R1021.6 & R1022 & R1023)
24. BRICK CONSTRUCTION (SEE SECTION R1021.6 & R1022)
25. 1/2" (MIN) PLYWOOD EXTERIOR SHEATHING WALLED PER SPECS
26. STEEL LINTELS OVER OPENINGS. SEE ENGINEERS SPECIFICATIONS FOR DETAILS AND SIZE
27. 2x BOTTOM SOLE PLATE WITH DON SILL SEAL. (SEE PLAN FOR STUD WIDTH OPTIONS)
28. 2x TREATED BOTTOM SOLE PLATE WITH SILL SEALER. (SEE PLAN FOR STUD WIDTH OPTIONS) (PROPER CLASSIFICATION OF WALS AND FASTENERS, FLASHING BELOW 1ST COURSE OF MASONRY ABOVE FINISHED GRADE LEVEL, ABOVE THE FOUNDATION WALL, OR SLAB AND AT OTHER POINTS OF SUPPORT, INCLUDING STRUCTURAL FLOORS, SHELF ANGLES, AND LINTELS. EXTEND FLASHING 12" UP EXTERIOR FACE OF SHEATHING WITH MOISTURE BARRIER OVERLAPPING TOP EDGE (SECT R1021.6 & R1021.6 & SECT R1023)
29. ANCHOR BOLTS 1/2" X 10" @ 40" O.C. SEE ENGINEERS SPECIFICATIONS FOR ADDITIONAL INFORMATION
30. CONAL SPACE/CONCRETE FOUNDATION. SEE ENGINEERS FOUNDATION PLAN AND FOOTING DETAILS FOR SPECIFICATIONS



**TYPICAL BRICK WALL SECTION**

NOT TO SCALE



**FIRST FLOOR PLAN**

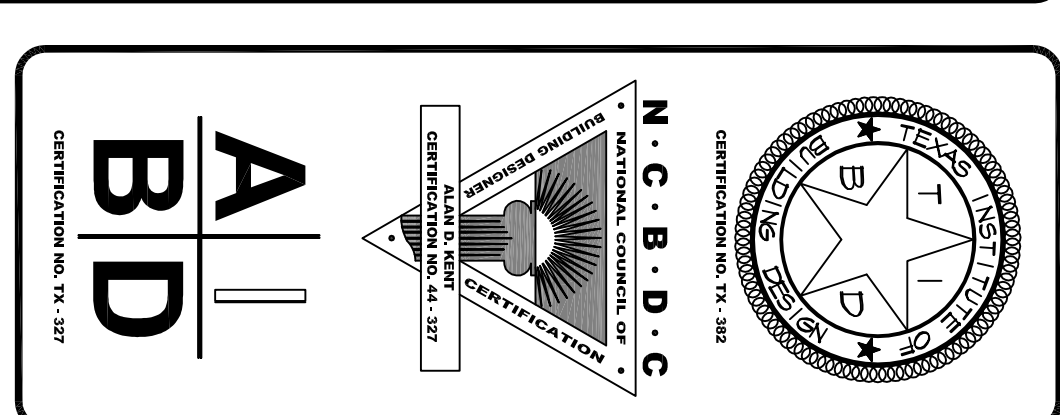
1/4" = 1'-0"

2400 MILLCREST  
 HOUSTON, TX 77042  
 713-477-0778  
 713-477-0779  
 dcm@kentandkent.com



RESIDENCE FOR: CALTEX RESIDENTIAL INVESTMENTS, LLC -- BP DESIGNS  
 PROJECT LOCATION: 3021 BLUE BONNET -- HOUSTON

PLAN NO. 4422  
 HOUSING 12101042  
 06/27/2019  
 SHEET NO. 2 OF 7



GENERAL PLAN NOTES

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4. RESIDENCE TO BE BUILT IN ACCORDANCE WITH TEXAS CATASTROPHE PROPERITY INSURANCE ASSOCIATION BUILDING CODE FOR WINDSTORM RESISTANCE CONSTRUCTION.

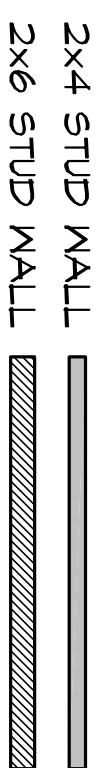
FLOOR PLAN NOTES

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2. PERMITTING MUNICIPALITY AND FLOOD PLAN CRITERIA TO HAVE PRECEDENCE OVER MINIMUM STANDARD STATED ABOVE.
3. ALL UTILITY OVERFLOW PANS TO BE INSTALLED WITH RELIEF LINE TO OUTSIDE OR STORM SEWER, BUT NOT TO THE SANITARY SEWER.
4. PROVIDE PLUMBING ACCESS PANEL TO ALL BATHROOMS PER INTERNATIONAL 2012 PLUMBING CODE.
5. ALL WATER HEATERS TO BE INSTALLED OVER WALL PARTITIONS WITH PAN AND RELIEF LINE TO OUTSIDE OR STORM SEWER.
6. BUT NOT TO SANITARY SEWER.
7. ALL WINDOWS TO BE VINYL FRAME DOUBLE PANE LOWE GLASS OWNER TO SELECT MANUFACTURER.
8. INSULATED PANELS ARE TO BE BUILT HAVING INSTALLED PER MANUFACTURER'S SPEC'S.
9. PROVIDE RADIANT BARRIER AT ROOF DECKING.
10. CONTRACTOR/OWNER TO CONFIRM ADEQUATE CLEARANCES OF NEW RESIDENCE TO EXISTING POWER LINES IS THE RESPONSIBILITY OF CENTER POINT ENERGY AND THE OWNER/CONTRACTOR. RELOCATING OR MODIFYING LOCATION OF EXISTING POWER LINES IS THE RESPONSIBILITY OF CENTER POINT ENERGY AND THE OWNER/CONTRACTOR.

DOOR AND WINDOW NOTES

ALL EXTERIOR GLASS DOORS TO BE TEMPERED SAFETY GLASS  
 ALL WINDOWS TO BE VERIFIED BY WINDOW MANUFACTURING REPRESENTATIVE  
 PROVIDE SAFETY GLAZING FOR HAZARDOUS LOCATIONS PER SECTION RS08.4  
 ALL OPERABLE WINDOWS AT SECOND FLOOR TO COMPLY WITH IRC R610.2  
 CABT = CABINET  
 M1 = MALLED TOGETHER  
 M2 = MALLED TOGETHER  
 FH = FINISHED GLASS  
 HH = HEAD HEIGHT

MALL LEGEND

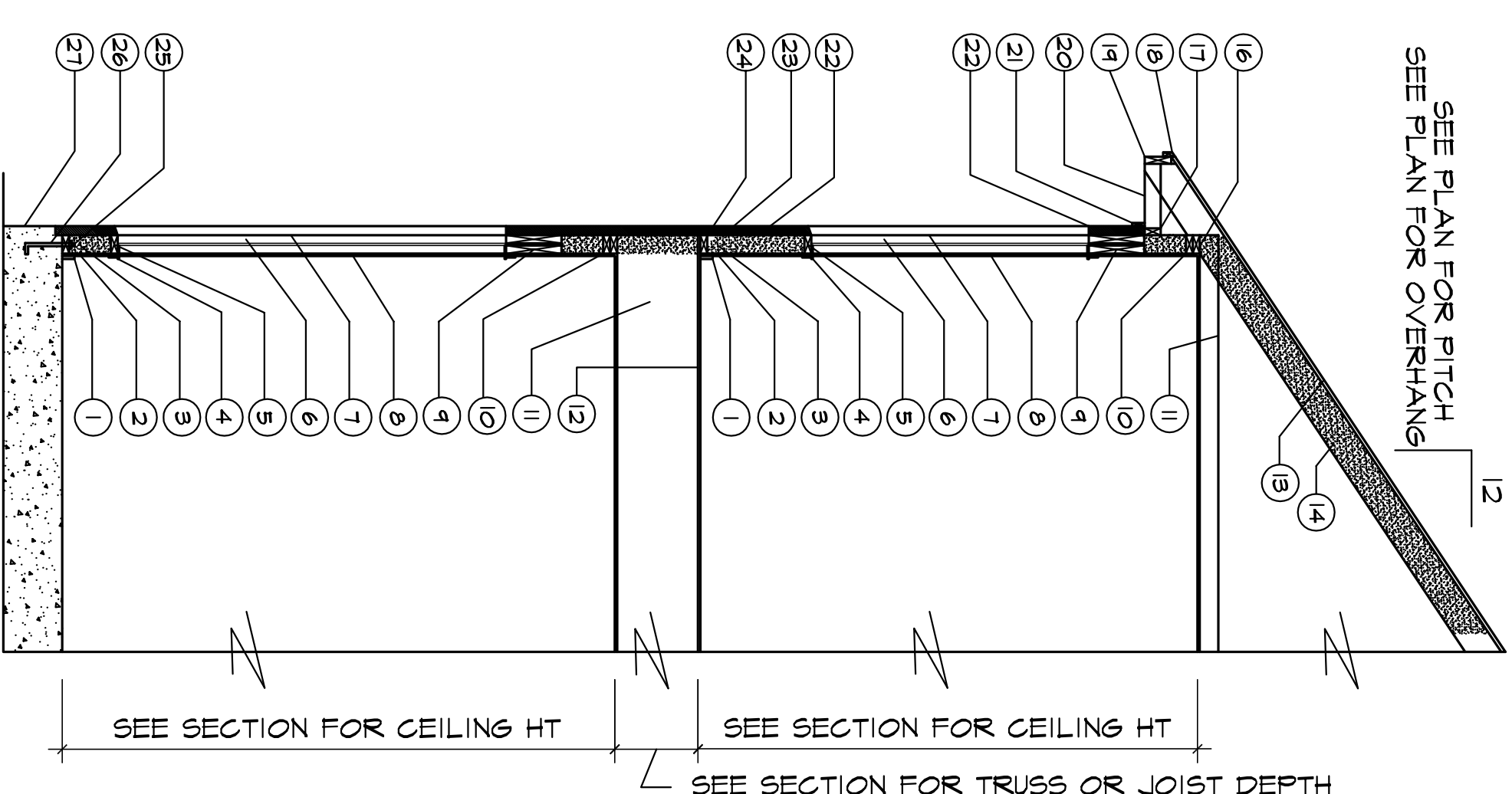


SQUARE FOOTAGE

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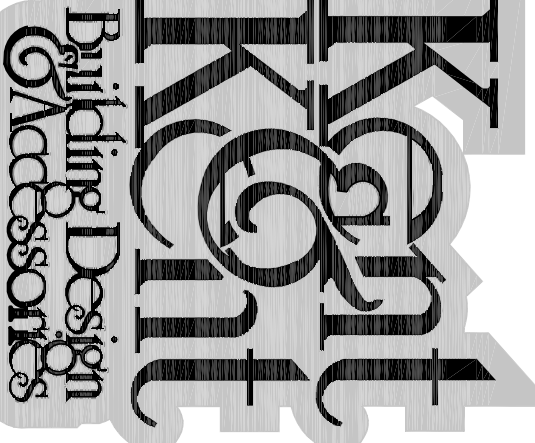
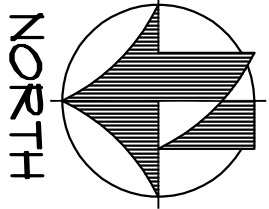
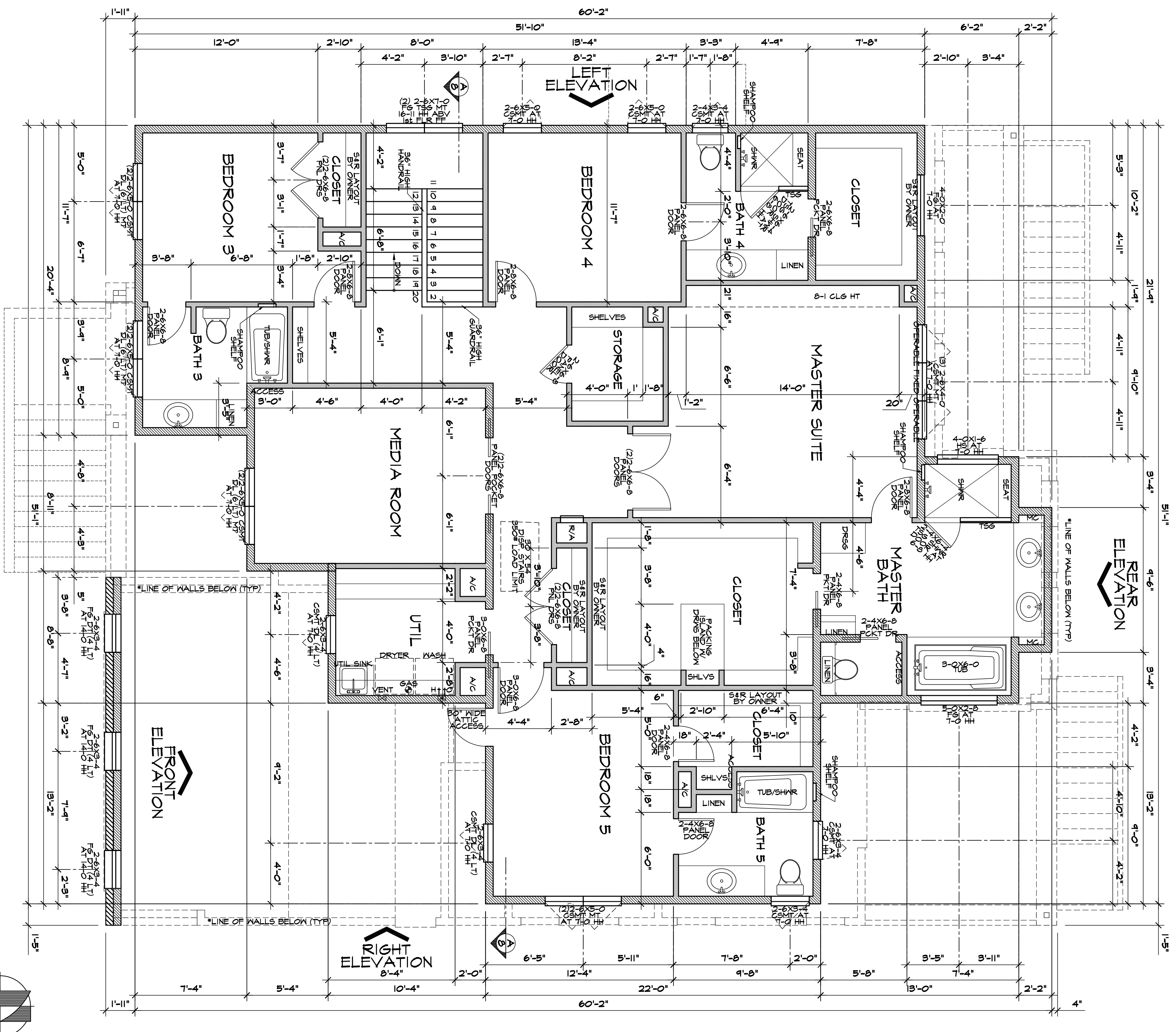
FRAMING LEGEND

1. INTERIOR BASEBOARD TRIM
2. 1/2" SHEETROCK OR 5/8" ONE HOUR FIRE RATED SHEETROCK, SEE PLAN FOR DETAIL IN SECTION 2.1, 2.1.1, 2.1.2 AND 2.1.3
3. 2X SILL AT WINDOW OPENINGS (SEE PLAN FOR STUD WIDTH OPTIONS)
4. AND SMOKE DEVELOPMENT RATINGS OF 450
5. INTERIOR WINDOW SILL TRIM
6. 2X SILL AT WINDOW OPENINGS (SEE PLAN FOR STUD WIDTH OPTIONS)
7. TYVEK MOISTURE BARRIER & WINDOW WRAP MASTIC AT ALL OPENINGS
8. WINDOW OPENING SEE PLAN FOR SIZE
9. HEADERS SEE CEILING JOIST FRAMING PLAN FOR SIZE
10. 2-2X DOUBLE TOP PLATE (SEE PLAN FOR STUD WIDTH OPTIONS)
11. CEILING JOISTS OR FLOOR TRUSSES SEE CEILING JOIST FRAMING PLAN FOR SPECIFICATIONS
12. 3x6 T&G (INSTALLED DIAGONALLY) OR 1-1/2" T&G PLYWOOD DECKING (L&D PERPENDICULAR TO JOIST SPAN) GLED AND NAILED ROOFING OVER 30# FELT & 1/2" CDX OR OSB PLYWOOD
13. SEE ELEVATIONS FOR ROOFING SELECTION
14. R rafters SEE ROOF FRAMING PLAN FOR SPECIFICATIONS
15. SHESSOL OR TYPICAL HERRINGBONE TIES AND WALL TIES PER ENGINEERS SPECIFICATIONS AND DETAILS
16. GALVANIZED SHINGLE DRIP HOLD
17. 2x6 BACKING BOARD ATTACHED TO SARTER TAILS
18. JAMES HARDIE CORP FASCIA DRIP HOLD AND TRIM APPLIED OVER 2x6 BACKING BOARD ATTACHED TO SARTER TAILS
19. JAMES HARDIE CORP NON-VENTED SOFFIT AND TRIM
20. CONCRETE STUCCO VENEER APPLIED PER MANUFACTURERS SPECIFICATIONS
21. 1/2" MIN PLYWOOD EXTERIOR SHEATHING NAILED PER ENGRS SPEC'S
22. 2X TREATED BOTTOM SOLE PLATE WITH SILL SEAL. (SEE PLAN FOR STUD WIDTH OPTIONS)
23. 2X TREATED BOTTOM SOLE PLATE WITH SILL SEAL, SEALER (SEE PLAN FOR STUD WIDTH OPTIONS) (PROPER CLASSIFICATION OF NAILS AND FASTENERS MATCHED WITH THE PROPER CLASSIFICATION OF NAILS AND FASTENERS)
24. ANCHOR BOLTS 1/2" X 10" @ 48" O.C., SEE ENGINEERS SPECIFICATIONS FOR ADDITIONAL INFORMATION
25. CONCRETE FOUNDATION SEE ENGINEERS FOUNDATION PLAN AND FOOTING DETAILS FOR SPECIFICATIONS
- 26.
- 27.



TYPICAL STUCCO WALL SECTION

NOT TO SCALE



RESIDENCE FOR: CALTEX RESIDENTIAL INVESTMENTS, LLC -- BP DESIGNS  
 PROJECT LOCATION: 3021 BLUE BONNET -- HOUSTON

2400 MILLCREST  
 HOUSTON, TX 77042  
 713-477-0778  
 dcm@kentkennel.com

PLAN NO. 4422  
 HOUSING 06/27/2019  
 SHEET NO. 3 OF 7

A B D  
 ARCHITECTS  
 CERTIFICATION NO. 237

N.C.B.D.C.  
 NATIONAL COUNCIL OF  
 BUILDING DESIGNERS &  
 ACCESSORY SERVICES  
 CERTIFICATION NO. 237

STATE OF TEXAS  
 REGISTERED ARCHITECT  
 CERTIFICATION NO. 237