



BRUCE ' S

Home INspection Company

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8215 Enchanted Forest Dr.
Houston, TX 77088

This report was prepared for and sent to David Goldman

The report was also sent to Avigayil Helprin - Agent of Record

Date: 07/16/2020 Report Number 2020-Ashford Meadow-Goldman-82

Address: , Houston, TX 77082

Invoice: A check for \$625.00 is to be mailed to the address above



seen from the front street area

PROPERTY INSPECTION REPORT

Prepared For: David Goldman
(Name of Client)

Concerning: , Houston, TX 77082
(Address or Other Identification of Inspected Property)

By: Bruce A McCrary, Lic #215 07/16/2020
(Name and License Number of Inspector) (Date)

(Name, License Number of Sponsoring Inspector)

PURPOSE, LIMITATIONS AND INSPECTOR / CLIENT RESPONSIBILITIES

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions. If any item or comment is unclear, you should ask the inspector to clarify the findings. It is important that you carefully read ALL of this information.

This inspection is subject to the rules ("Rules") of the Texas Real Estate Commission ("TREC"), which can be found at www.trec.texas.gov.

The TREC Standards of Practice (Sections 535.227-535.233 of the Rules) are the minimum standards for inspections by TREC-licensed inspectors. An inspection addresses only those components and conditions that are present, visible, and accessible at the time of the inspection. While there may be other parts, components or systems present, only those items specifically noted as being inspected were inspected. The inspector is NOT required to turn on decommissioned equipment, systems, utility services or apply an open flame or light a pilot to operate any appliance. The inspector is NOT required to climb over obstacles, move furnishings or stored items. The inspection report may address issues that are code-based or may refer to a particular code; however, this is NOT a code compliance inspection and does NOT verify compliance with manufacturer's installation instructions. The inspection does NOT imply insurability or warrantability of the structure or its components. Although some safety issues may be addressed in this report, this inspection is NOT a safety/code inspection, and the inspector is NOT required to identify all potential hazards.

In this report, the inspector shall indicate, by checking the appropriate boxes on the form, whether each item was inspected, not inspected, not present or deficient and explain the findings in the corresponding section in the body of the report form. The inspector must check the Deficient (D) box if a condition exists that adversely and materially affects the performance of a system or component or constitutes a hazard to life, limb or property as specified by the TREC Standards of Practice. General deficiencies include inoperability, material distress, water penetration, damage, deterioration, missing components, and unsuitable installation. Comments may be provided by the inspector whether or not an item is deemed deficient. The inspector is not required to prioritize or emphasize the importance of one deficiency over another.

Some items reported may be considered life-safety upgrades to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards or Deficiencies below.

THIS PROPERTY INSPECTION IS NOT A TECHNICALLY EXHAUSTIVE INSPECTION OF THE STRUCTURE, SYSTEMS OR COMPONENTS. The inspection may not reveal all deficiencies. A real estate inspection helps to reduce some of the risk involved in purchasing a home, but it cannot eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is recommended that you obtain as much information as is available about this property, including any seller's disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for or by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspector's responsibility to confirm that information obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous

or future reports.

ITEMS IDENTIFIED IN THE REPORT DO NOT OBLIGATE ANY PARTY TO MAKE REPAIRS OR TAKE OTHER ACTIONS, NOR IS THE PURCHASER REQUIRED TO REQUEST THAT THE SELLER TAKE ANY ACTION. When a deficiency is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods. Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions. Examples of such hazards include:

- malfunctioning, improperly installed or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathroom, kitchens, and exterior areas;
- malfunctioning arc fault protection (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as, smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined.

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered" because they were present prior to the adoption of codes prohibiting such conditions. While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate licensees also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms requires a seller to remedy conditions revealed by an inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for the sale or purchase of the home.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

REPORT INFORMATION AND LIMITED DESCRIPTION OF THE HOUSE

Start time 8:30 am - End time 11:30 am on Thursday. Inspection to be completed on Friday
Present Buyer (no) Agent (no) Others - Seller (1), Tenants (4)
Occupied / Furnished 3 units Yes - 1 unit No (No garage or carport, parking lot only)
Temperature 83 F - Rain: Yes / No / recently / Unknown
Townhouse, 4 units: 2 story(s) - two units were single story and two units were two story

The exterior veneer was covered with brick, wood cement fiber stucco.
Furnished Yes (3 or 4 units), (if yes, some areas would not be visible or accessible, therefore, the blocked or obstructed areas would not be addressed.
I did not receive / review a copy of the seller's disclosure statement.
I did not receive / review a copy of any previous inspection reports.
This report was done for the client named in the report, others use with permission from client.

HOW TO READ AND INTERPRET THIS REPORT

A home inspection is a non-invasive, visual examination of the accessible areas. The home inspection is based on observations made, and not a prediction of future conditions. The report will reflect those adverse and/or material defects observed and comments will be preceded by a "bullet dot":

- Items **required** to be reported as deficient as set forth by the Standards of Practice (www.trec.texas.gov)
- Items **deemed**, in the reasonable opinion of the Inspector, to be adverse and material, or
- Items **deemed**, in the reasonable opinion of the Inspector, to be unsafe.

Comments prefaced by "**Notice**" typically, but not always, address limitations to the inspector's ability to access or inspect components or systems.

Comments prefaced by "**Information**" may be technically deficient, but not considered to be, in the reasonable opinion of the Inspector, to be material, or the comment may be "for your information".

SOME Subject Headings may be marked as "Deficient", however, not necessarily broken or not working). TREC's requirements require inspectors to mark some sections deficient due to safety reasons. Building codes and/or requirements may have changed since original construction. Consideration for safety updates and/or improved function is recommended.

Example of such deficiencies: GFCI outlets and back-flow devices. All items should be reviewed by the client, and any questions addressed to the inspector for clarification, if needed, prior to the expiration of your option period.

Photographs were provided as a convenience / courtesy and are representative of issues, not to depict all occurrences of issues. These photographs are from this house/inspection unless specifically identified otherwise.

The inspector's liability, under this property inspection report, shall be strictly limited to the amount of fee paid by the client to this firm or this inspector for this inspection as per the Service Agreement. Failure of the Client to address the reported items will release all liability from this inspector or Bruce's Home Inspection Co. Use of this report is acceptance of the above condition.

It was **not** disclosed to me that this house had flooded. While there may not have been visible evidence of moisture damage, repairs may hide such evidence. Refer to the Seller's Disclosure. A C.L.U.E.® Report (Comprehensive Loss Underwriting Exchange) may have information. I recommend checking with your Agent for more information.

Items excluded: MOLD, RADON, ASBESTOS, LEAD, Underground items (utilities, gas, water, telephone, etc.), detection systems, fire sprinkler systems, water-conditioning equipment, drain or waste ejector pumps, water mains, sewer systems, wells, springs, lawn sprinklers, pools, spas, hot tubs, playground equipment, docks and bulkheads and personal property. Exclusions are not limited to this abbreviated list.

ADT Home Security: *As one of my chosen associates, ADT home security often has specials to offer new clients. In an effort to provide you the best service your contact information is often shared with them and they may call to discuss home security with you.*

This report is under Copyright - Bruce's Home Inspection Company - 2020

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I. STRUCTURAL SYSTEMS

A. Foundations

Type of Foundation(s): Slab on Grade - Post-tension type - shared by other units at the right

Comments: At this stage of the inspection, portions of the foundation are generally obstructed from view at the interior by floor coverings, and personal items. The outside can be covered by decks, high soil, vegetation, etc. Inaccessible-obstructed foundation areas are excluded from inspection.

- One or more of the Post-tension cable ends was observed to be exposed at the face of the foundation. At this time, the remedial work needed is considered to be a maintenance issue.

Plastic end cover (if present) is for "temporary construction protection", and not intended for long term exposure to the elements Patch should be of a non shrink, epoxy / cement type mix. Do not use bagged cement or any product containing calcium chloride or other material harmful to pre-stressed steel.

Note from TREC: The inspector shall report as deficient exposed or damaged reinforcement. This is a townhouse, 4-plex building that shares a common wall and foundation with other units at the right. The other units at the right were not considered in any way in the comments or opinions found in this report.



sample of exposed cable ends

Three (3) of the four (4) units were furnished, some areas were not open to view, and some outlets were not accessible for testing; therefore, not checked or reported on. The inspector will not move furnishings or stored items in the house. You may want to revisit the house when it is vacant and/or before closing.

Written Opinion: *In my opinion, there was no apparent evidence that would indicate the presence of major deformities, excessive settlement, stress, movement distress conditions, or significant deficiencies in the foundation. The foundation appeared to be performing without the obvious need of immediate remedial leveling and was providing adequate support for the structure at the time of this inspection.*

The opinion stated above neither addresses other units on the same foundation, future foundation movement or settlement, nor does it certify the floors to be level. Weather conditions, drainage, leakage, and other adverse factors are able to affect structures. Differential movements are likely to occur with and due to the expansive nature of the soils in the Houston and surrounding areas.

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Foundations can be regarded as "functional" even if and when "deficiencies" are observed. In such cases, the deficiencies are to be considered and dealt with on an individual basis. A sample of such deficiencies would be, exposed cable ends, hairline cracks, corner pops, etc.

I recommend that you check with the building association as to the history of any foundation work and/or repair, reported defects or other items of remedial type that may affect your investment since your unit shares a common foundation.

The condominium or town home environment often offers advantages in the necessity for maintenance. The primary responsibility for care and maintenance of the exterior of the building generally belongs to the Home Owners Association.

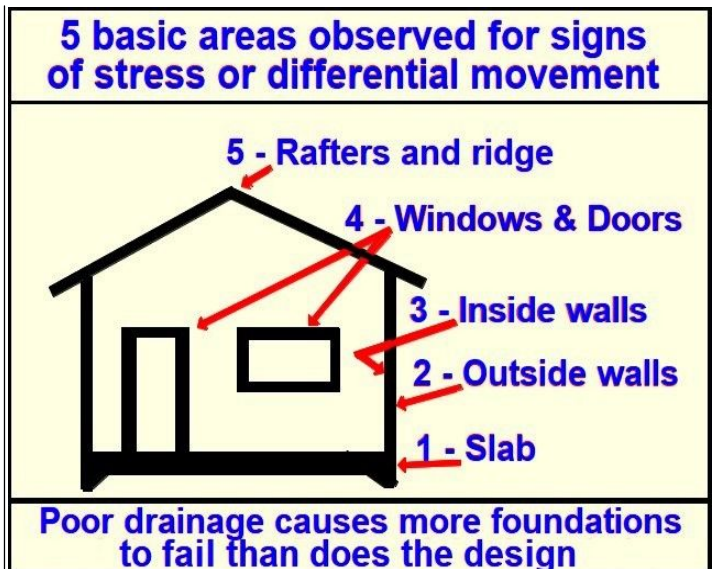
It is suggested that you visit with an H.O.A. representative to verify H.O.A. responsibilities and to ensure that you understand all responsibilities and procedures for informing the H.O.A. of issues with any materials or maintenance requirements. Some areas of common concern are, drainage, WDI treatment, exterior maintenance, roof covering replacement, common attics, shared hot water device, etc.

INFORMATION

This is not an "Engineering Inspection". An opinion on performance is not a warranty against future settlement. I cannot predict future performance. I can not represent the stability of this foundation based on a single observation. This is a limited visual inspection made in a limited amount of time. Some defects may not be apparent during the time of the inspection. This inspection is not intended to be an exhaustive evaluation of all systems, appliances and/or related components.

INFORMATION

When looking at the performance of the foundation, there are at least 5 areas of consideration. When only one or two of the five areas is questionable, I generally do not consider the foundation to have failed. The foundation could have been built unlevel, some settlement or movement could have occurred over the life of the structure, etc. The foundation may or may not be level (1). Were there visible signs of brick or veneer movement at the outside walls, or Sheetrock cracks or signs of repaired areas at the inside walls (2 & 3)? Was there abnormal function of windows and/or doors (4)? Were the rafters tight at the ridge (5)? Did the rafters show signs of pulling away from the ridge? This is often associated with adverse foundation movement. If you have questions beyond these findings, you should address such questions to a Structural Engineer or a Qualified foundation specialist before the end of our option period. Monitoring the foundation is very important.



Ant beds were observed on or near the face of the foundation. Keep ant beds down and/or off of the face of the foundation. Ants carry dirt into the wall of the house which can hold moisture and, over an extended period of time, can allow for an attraction for other insects (termites, roaches, etc.) mold, mildew, and/or wood deterioration.

The presence or absence of wood-destroying organisms / insects is not within the scope of this inspection or the training and licensing of this inspector. If signs of WDI were noted during the course of the inspection, a comment would be in the report. The need for treatment would be determined by your pest specialist.

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B. Grading and Drainage

Comments:

It was not raining at the time of the inspection; therefore, the site drainage can not be fully evaluated. Note: (401.3 Drainage) Surface drainage shall be diverted to a storm sewer conveyance or other approved point of collection so as to not create a hazard. Lots shall be graded so as to drain surface water away from foundation walls. The grade away from the foundation walls shall fall a minimum of 6 inches (152 mm) within the first 10 feet (3048 mm). The drain path should follow the pattern as shown above, ALWAYS away from the structure.

It should be noted that when this house was built the requirements for grading and elevation of the surrounding soils were considerably less restrictive than current standards. Due to the basically flat grade and other issues that may be addressed in the report, there may be a need to consider under ground drains or other methods to convey the drain water away from the foundation. Check with the association if you have questions about the outside drainage.

INFORMATION

General view of the outside at the front, common drive way and the parking area at the back. There was no indication of ponding or low areas to be a drainage issue.



general view drain path at the front, left (driveway)

The need for "Flood Insurance" is a personal decision. Professionals, familiar with Houston area drainage, recommend getting Flood Insurance. Do what you think is right for you, your family.

C. Roof Covering Materials

Type(s) of Roof Covering: composition

Viewed From: Viewed from the ground

Comments:

It was disclosed that the roof covering was under the care of the HOA. Check with the Home Owners Association as to the care of the roof covering, when it was replaced and/or when is it scheduled for repair or replacement.

The components of the roofing system, shingles, decking, flashing, and vents, appeared to be performing and in serviceable condition on the day of the inspection. The roof covering / shingles often show a moderate loss of granular covering, which is common with newly installed shingles.

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general view of the roof covering as seen from the ground at the front of the property

This is a design of the manufacture, generally referred to as " sluff" or drop off granules. Granules play an integral role in protecting the roof shingles from UV light. Once granules begin to fall from the roof due to age and wear, the UV light will begin to degrade the shingle surface and eventual failure will occur. I am unable to determine the remaining life expectancy of the roof covering.



general view of the roof covering as seen from the ground at the back of the property

INFORMATION

An inspection of the roof from the ground is not as effective as one that is done from the surface of the roof by walking it. all slopes of the roof may not be visible by this method. You may want to contract a qualified roofing contractor, having the equipment and/or the ability to access the roof surface safely, to perform a full and detailed evaluation before closing. Responsibility for future performance of the roof is specifically excluded from this report. Roof maintenance is an ongoing process.

This property inspection was not designed for the purpose of underwriting or insurability of the roof covering system. Consult with your insurance provider for their "insurability" standards. Older roofs are recommended to be further evaluated by a qualified roofing specialist (without regard to the report findings), during the option period, to help determine remaining life and cost of replacement.

*If roof leaks do occur, their presence does not necessarily indicate the need for total replacement of the roof coverings. Responsibility for future performance of the roof is specifically excluded from this report. Functional and Insurable are not necessarily the same thing. If the roof covering is older, as a prudent act, have further evaluation by a qualified roofing contractor and/or Check with your Insurance provider for insurability **or accept it as it is today.***

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D. Roof Structures and Attics

Viewed From: *no access*

Approximate Average Depth of Insulation: Unknown

Approximate Average Thickness of Vertical Insulation: Unknown

Comments:

Due to the design of the building, there was no visible access to the attic.

E. Walls (Interior and Exterior)

Comments:

- The siding material was observed to be loose and spacing at one or more areas. It was disclosed that the HOA takes care of the exterior. Check with the Home Owners Association as to when repairs are scheduled for this unit. Some voids or spacing is such that water penetration could occur. Repairs are recommended.



sample of loose siding and voids in the exterior veneer

- Deteriorated wood and loose trim was observed at the outside at one or more areas. It is not the purpose of this report to point out every such area; however, to recommend that the outside veneer and trim be repaired or replaced as needed.



sample of loose trim and/or soft, deteriorated wood

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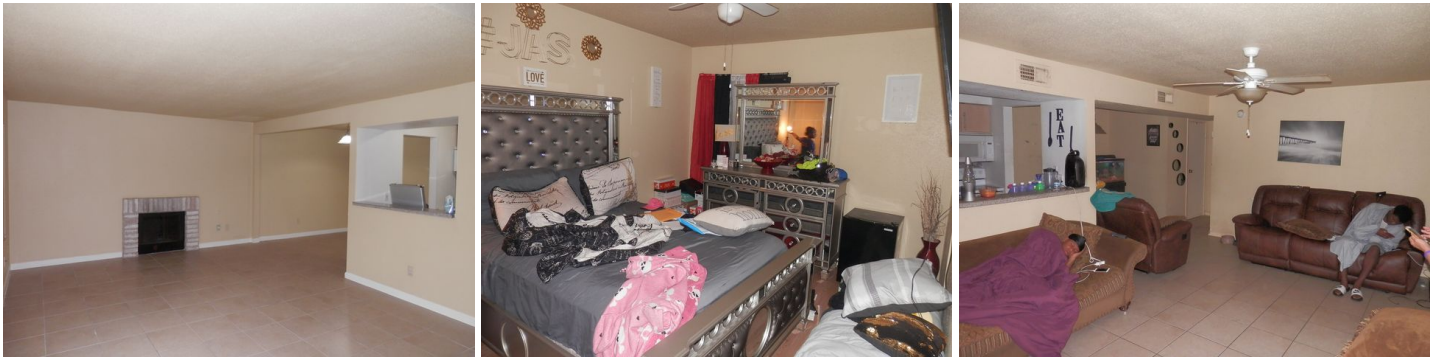
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- INFORMATION - MAINTENANCE:** Siding material has spacing at the end or butt joints. It is recommended that this space be caulked and kept caulked to help prevent water penetration and help protect the sub-material.



sample of siding end joints that are recommended to be caulked or sealed

Interior: Observation of the interior gypsum board (Sheetrock) wall and ceiling surface revealed standard workmanship for a structure of this age. This type of construction generally reflects most frame movement and/or foundation movement by cracking and/or causing joint distortions at the surface.



general view of the inside walls at unit A, B & C

INFORMATION

Moisture, mold and/or indoor air quality (IAQ) tests were NOT performed. The client should be aware that various fungi, molds and mildew flourish in such an environment provided by water intrusion events. I may (or may not) be aware whether this house had ever flooded, had windstorm, or any other significant damage. While there may not have been visible evidence of moisture damage, repairs may hide such evidence.

F. Ceilings and Floors

Comments:

Ceilings: The interior ceilings are covered primarily with gypsum board. The ceilings revealed no apparent distortion.

Floors: The floors appear to be in serviceable condition. Should the occasion come to remove the floor covering, don't be surprised to see surface cracks. These are often referred to as curing or temperature cracks and do not have a bearing on the structural integrity. If cracks, that are spacing open or have one side higher than the other, develop this may be an issue that requires further evaluation by a structural engineer or qualified foundation specialist

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Popping and/or squeaking boards may be observed at the second floor of the two story units, which are generally common to the design. You may wish to secure the floor members when the carpet is replaced if this is a problem.

INFORMATION

Some hairline "curing/temperature" type cracks may be visible at the exposed surface, such as the entrance points, in the garage, etc. This is basically common to the design and area of the structure. If there are no height differential from one side to the other, and no apparent recent shearing movement along the crack, this is viewed as "common" and/or "cosmetic". We recommend that you take a picture of the condition and put it in your homeowner file.

G. Doors (Interior and Exterior)

Comments:

Doors: Random checking of doors showed no major defects.

INFORMATION

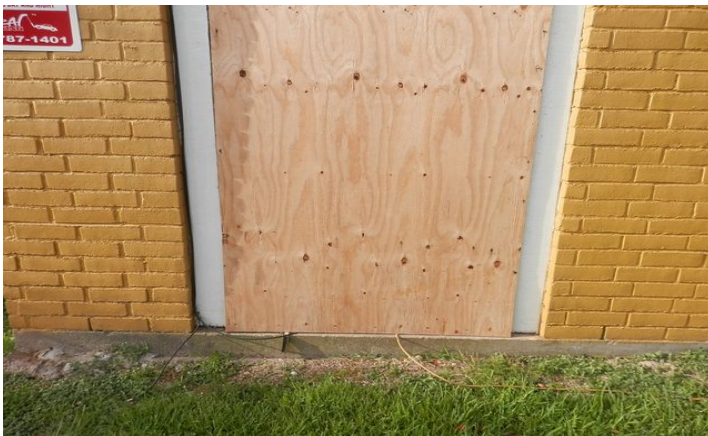
Differential foundation and/or frame movement can cause doors to become misaligned and/or functionally impaired. A random operation and observation of the physical alignment of the accessible doors was made. Weather conditions may affect the function of some doors at different times of the year. Safety glass identification was not part of this inspection. Standards or building codes may have changed since the time of construction.

It is recommended that all security locks on doors be changed or re-keyed upon closing. You have no record of who has keys to the property. All dead bolts at the entrance or exit doors to the structure should be "twist" type and not "key" type for fire safety.

H. Windows

Comments:

- One of the windows was observed to have broken glass at the front, first floor, of Unit A. Reglaze as needed for normal function and safety reasons.



window covered at the outside, broken glass observed inside

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INFORMATION

It should be noted that most buildings are not completely weather tight. Water penetration is possible and should be expected, especially during heavy wind-driven rains and/or flooding conditions (common in the Houston area). No warranty is implied, expressed or offered.

I. Stairways (Interior and Exterior)

Comments:

- The hand rail, such as at the stairs in unit A, did not terminate to the wall. The open end of the rail is a hazard, clothing can catch and cause a person to trip or fall (as per current standards). You may want to up-date this for safety reasons. Tenants should be advised about this in their lease. The hand rail was loose at unit A.



sample of hand rail not terminated to the wall (safety note) - hand rail was loose at wall in unit A

INFORMATION

The inspector is not required to exhaustively measure every stairway component. Many stairway assemblies do not meet "current" safety standards. Comments made are to insure that you are aware of newer safety standards that you may want to implement / update. Excessive spacing between balusters on stairways and porches is an example of a safety hazard notification required by the Texas Real Estate Commission (TREC)

J. Fireplaces and Chimneys

Comments:

- The fireplace chimney cap appeared to be rusted (viewed from the ground) at unit A, recommend cleaning and painting or otherwise properly sealing the metal to prevent a "rust-out" condition which could result in leaks at the chimney housing.
- **INFORMATION:** It was noted that the fireplace did not have a discernable hearth at one or more of the units. The floor covering was observed to be tile and not a combustible material.

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The flooring next to the fireplace is non-combustible (tile flooring), however, the International Residential Code for One & Two Family Dwellings, states "Hearth extensions of approved factory built-fireplaces shall be installed in accordance with the listing of the fireplace. The hearth extension shall be readily distinguishable from the surrounding floor area." (A hearth extension would serve as a reminder to not place anything that could be flammable too close to the fireplace.)

A non-combustible hearth is required for a fireplace, that is capable of burning solid fuel, because of popping embers and shifting logs that can spill from the firebox. I point out the lack of a hearth when a wood-burning fireplace is equipped with a gas log appliance and the hearth subsequently removed, because the equipment can still be restored to its original condition.



chimney cap appeared to be rusted - no discernable hearth at front of the fireplace firebox at unit A

INFORMATION

I recommend examination, by a reputable chimney contractor, now and on an annual basis. I could not determine the integrity of flue / chimney (metal, Terra cotta, etc.) due to lack of full visual access. The flue liners are subject to have cracks/separations; however, they are not fully visible or accessible in the scope of this limited inspection and would need to be examined by a qualified chimney contractors of your choice. Only visible, accessible areas of the fireplace components were checked. Fireplace gas valve was not operated.

K. Porches, Balconies, Decks, and Carports

Comments:

No Recommended Repairs.

INFORMATION

*Only the porches, decks or balconies, **attached** and/or **abutted** to and/or **touching** the structure, used for ingress and egress, were inspected. I did not inspect the underside of the deck / porch or steps, and/or any detached structures (if present). Playground equipment, electrical transformers in the yard are know safety hazards; however, excluded from this report. Yard enclosures / fences may be addressed if there are visible safety / security issues.*

L. Other

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Not present or not within the scope of this inspection. Below are some additional photos taken at the time of this observation.



additional sample of voids in trim or loose trim



sample of ant beds at the back of unit C - void in trim at fireplace chimney housing



loose siding - deteriorated / soft wood

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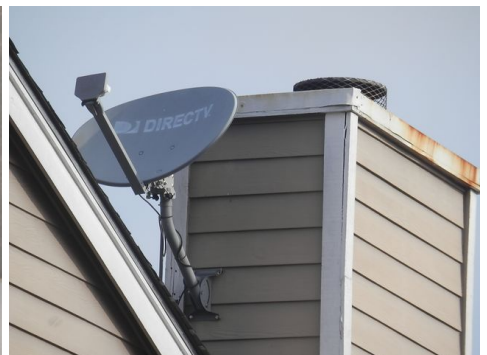
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loose trim around the gable vent - general view of the back of the units



sample view of a fire box and up the fireplace flue - satellite dish attached to the chimney housing at the left

INFORMATION

Cabinetry is specifically excluded by the Texas Standards of Practice which governs this inspection. Cabinets are not structural components and are generally considered cosmetic in the same manner as floor or wall covering, countertops, etc. While visible failure of hung cabinets may (or may not) be observed, we cannot determine failure points or warrant the performance. Care should be exercised in storing items in wall hung cabinets.

Failure to address the reported items will release all liability from this inspector or Bruce's Home Inspection Co. Use of this report is acceptance of the above condition.

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II. ELECTRICAL SYSTEMS

A. Service Entrance and Panels

Comments:

- **Unit A:** The dead front cover of the breaker box was missing one or more fasteners. Replace for safety reasons. The manufacture determines the number and type of fasteners to be used to secure the dead front cover. Do not use sharp, pointed screws or fasteners.
- The main aluminum electrical feeder wires did not have anti-oxidant compound (paste) at the lug nut connections. The anti-oxidant paste mitigates oxidation of the aluminum cable and provides anti-seizing, etc. The material improves

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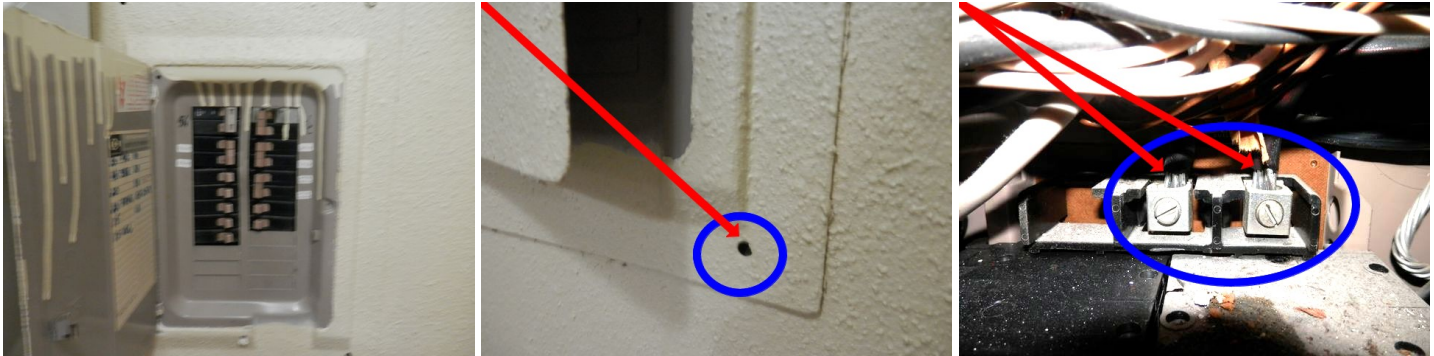
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I NI NP D

the conductivity of electrical connections.



general view of panel box - fasteners missing at the front cover - no anti-oxidant on the aluminum wires

Unit B - The cover was painted to the wall, the cover was not removed.

- **Unit C:** The main aluminum electrical feeder wires did not have anti-oxidant compound (paste) at the lug nut connections. The anti-oxidant paste mitigates oxidation of the aluminum cable and provides anti-seizing, etc. The material improves the conductivity of electrical connections.

Unit D - The cover was painted to the wall, the cover was not removed.

INFORMATION

Breaker box / Service panel

The Cutler-Hammer brand breaker box, was located at the utility area of the 4 units .
 The service panel / breaker box did not have a main cut-off switch/breaker.
 The electrical service was provided to the house by underground service conductors.
 The service wiring from supplier to service panel / breaker box was observed to be aluminum.
 The feeder wiring from service panel to branch circuits in house was observed to be copper

Please consult a reputable electrician for examination of bonding. TREC requires that all licensed home inspectors check "bonding" as of September, 2015: however, bonding can not be fully evaluated in a finished structure. **Consult a qualified, licensed electrician for possible repairs or update information for safety needs.**

B. Branch Circuits, Connected Devices, and Fixtures

Type of Wiring: Copper

Comments:

Unit A: No Recommended Repairs

Unit B: No Recommended Repairs

Unit C: No Recommended Repairs

- **Unit D -** The electrical outlet in the cabinet for the microwave appeared to be defective. The tenant was having to use another outlet. Have checked for repair needs.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

INFORMATION

It should be remembered that this inspection was made under strange / unusual conditions. Being allowed to enter the units did not mean that I was "welcome". Every effort was made to do this inspection, some areas were limited to a cursory. limited visual and operational measures.

Security systems and fire alarms are not inspected or tested by this company. Recommend checking with a licensed and bonded alarm company. Smoke and heat sensors should be installed in all bedrooms, bathrooms, garage, attic and kitchen areas. Also consider installing one or more carbon monoxide detectors if there are any gas appliances located within the home. Fire and smoke alarms should be replaced every 10 years.

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III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

A. Heating Equipment

Type of System: Central - Forced draft

Energy Source: Electric

Comments:

Unit A, B, C, and D: **Functioning:** The unit appeared to function in an acceptable manner. The heating and cooling system is the workhorse of you indoor climate system. Have your local heating/cooling contractor tune up your system annually for comfort, safety and most economical operation.



typical HVAC unit in the utility closet - checking heat output temperature in the test cycle (typical of all units)

INFORMATION

If your equipment is old, think about replacing it with a modern and improved unit. Advancements in technology has substantially increased efficiency of the equipment. Improved performance often pays back much of the cost of installation within a few years. Having the HVAC unit(s) cleaned and serviced before closing is recommended by this inspector and may be required if you are getting a "Home Warranty".

Full evaluation of the integrity of a heat exchanger or heat strip requires dismantling of the furnace and is beyond the scope of a visual inspection as per TREC. It is recommended that the HVAC system(s) (heating and cooling) be cleaned, and serviced before closing even though the heat and cooling units may appear to function with-in normal range at the time of this inspection. The units should be repaired as described or called for by the licensed HVAC service contractor. This may be required if you are getting a Home Warranty or other insurance protection.

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

B. Cooling Equipment

Type of System: Central - Air Conditioner

Comments:

- Unit A: Due to the low differential temperature it is recommended that the overall integrity of the HVAC system be evaluated by a licensed HVAC service company before closing. The temperature differential showed to be approx. 12 degrees.

| | | | |
|----------------------------|-------|------------------------|----------|
| LENNOX DALLAS, TEXAS | | ASSEMBLED IN MEXICO | |
| M/N 13ACX - 024 - 230 - 15 | | | |
| S/N 1911H00886 | | | |
| CONTAINS HFC - 410A | | DESIGN PRESSURE | |
| FACTORY CHARGE | | HI | 446 PSIG |
| 4 LBS 6 OZS | | LO | 236 PSIG |
| ELECTRICAL RATING | | NOMINAL VOLTS: 208/230 | |
| 1 PH | 60 HZ | MIN 197 | MAX 253 |
| COMPRESSOR | | FAN MOTOR | |

| | | | |
|----------------------------|-------|------------------------|----------|
| LENNOX DALLAS, TEXAS | | ASSEMBLED IN MEXICO | |
| M/N 13ACX - 024 - 230 - 15 | | | |
| S/N 1911H00899 | | | |
| CONTAINS HFC - 410A | | DESIGN PRESSURE | |
| FACTORY CHARGE | | HI | 446 PSIG |
| 4 LBS 6 OZS | | LO | 236 PSIG |
| ELECTRICAL RATING | | NOMINAL VOLTS: 208/230 | |
| 1 PH | 60 HZ | MIN 197 | MAX 253 |
| COMPRESSOR | | FAN MOTOR | |

| | | | |
|----------------------------|-------|------------------------|----------|
| LENNOX DALLAS, TEXAS | | ASSEMBLED IN MEXICO | |
| M/N 13ACX - 024 - 230 - 15 | | | |
| S/N 1911H00887 | | | |
| CONTAINS HFC - 410A | | DESIGN PRESSURE | |
| FACTORY CHARGE | | HI | 446 PSIG |
| 4 LBS 6 OZS | | LO | 236 PSIG |
| ELECTRICAL RATING | | NOMINAL VOLTS: 208/230 | |
| 1 PH | 60 HZ | MIN 197 | MAX 253 |
| COMPRESSOR | | FAN MOTOR | |

three of the outside units were dated 2011 with 410-A coolant



| | | | |
|--------------------------|--------------|-------------------------------------|----------------|
| Blackville, SC 29817 | | | |
| Model Number: | 2AC13B24P-2B | Serial Number: | 4608A61636 |
| SUITABLE FOR OUTDOOR USE | | | |
| Unit Electrical: | 208-230 | Volts | 1 Ph 60 Hz |
| Power Supply: | 12.2 | Minimum Circuit Ampacity | |
| | 20 | Max Fuse | |
| | 20 | Max Ckt Breaker (HACR Type per NEC) | |
| Compressor: | 208-230 | Volts | 1 Ph 60 Hz |
| | 11.3 | RLA | 51 LRA |
| Fan Motor: | 208-230 | Volts | 1 Ph 60 Hz |
| | -1/10 | HP | 0.7 FLA |
| For Use With: | HCFC-22 | | |
| Factory Charge: | 5 | Lbs. | 9 Oz. 2.52 Kg. |
| Use Piston Size: | 62 | Indoor N/A Outdoor | |
| Design Test Pressure: | 300 | Psig (High) | 2064 kPa |
| | 150 | Psig (Low) | 1032 kPa |

checking the cooling output - one outside a/c appeared to be dated 2008 with R-22 coolant

Unit B, C, and D: **Functioning:** When the cooling unit was operationally tested, the temperature differential between supply (conditioned air) and return air measured between 16°F and 18°F throughout the home. This measurement is within the acceptable range of temperature differential of 15°F to 22°F and the unit appears to be functioning as intended at the time of the inspection. It should be noted that this is a very general test of the equipment's performance and it is now and always recommended that you seek a higher level of evaluation of the HVAC system before closing in a continuance of your due diligence.

INFORMATION

Temperature Differential - AKA - "Delta T" Temperature Differential (called "Delta T") readings are an accepted industry standard of practice for testing the proper operation of a cooling system. There is a variance of opinions on the acceptable Delta-T range. Based upon our research from trusted industry sources, we use the acceptable range between 15 to 20 degrees Fahrenheit total difference measured between the return air and supply air within close proximity of the related coils of the system being evaluated.

I=Inspected

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D=Deficient

I NI NP D

INFORMATION: The general service life of an A/C unit is said to be around 10 years +/- . While the remaining life of any given appliance can not be determined by a limited visual inspection and is not within the scope of this inspection; it is recommended that the opinion of licensed, qualified HVAC service professional be consulted before closing. Replacement of components or the total unit may be recommended. Units 10 yrs. or older **should** be evaluated by a qualified, licensed, specialist. Only a qualified, competent and licensed HVAC technician can tell you if the unit(s) are functioning at their peak. You are recommended to have a higher, more technical evaluation, by the contractor of your choosing, on or before closing.

Information for a/c units with R22 refrigerant: Freon (a trade name. known as R22) refrigerant is being phased out and is being changed to Puron (referred to as 410A / a non-ozone-depleting-refrigerant) and is a Federal Law. While these older systems can still be serviced, when the current supply of R22 is depleted, replacement of the HVAC system is the only option. You can check www.epa.gov for additional information

Conditions such as, but not limited to; excessive humidity, high or low outdoor temperatures or restricted airflow may indicate abnormal operation even though the equipment is functioning basically as designed and occasionally may indicate normal operation in spite of an equipment malfunction.

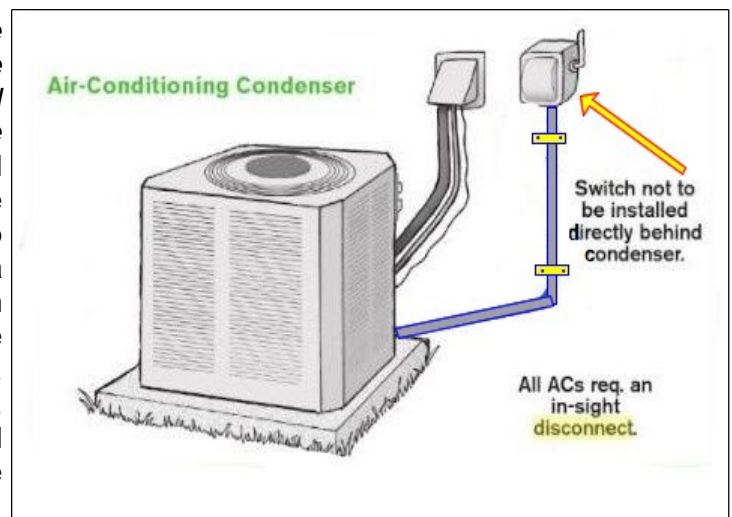
C. Duct Systems, Chases, and Vents

Comments:

Due to the design of the townhouse structure, the A/C duct lines were not visible. There was no indication of issues.

INFORMATION:

INFORMATION: The a/c service disconnect for the four outside a/c units is not recommended to be behind the outside a/c units. Use caution if you need to deactivate the power to the outside a/c units. The metal cabinet may have become energized. All energized electrical equipment and panelboards are required to have unobstructed access 36 inches deep in front of the equipment and 30 inches wide, at a minimum as per current standards. This may be an "update" depending on the prevailing code at the time of installation; however, this is not a code inspection. This comment is listed as a safety recommendation.. Proper access for the mechanic's disconnect should be considered according to Section E3305.2 of the IRC and Section 110.26(A) of the NEC.



Flexible air flow ducts are often noted to touch each other. Air flow ducts in contact with each other or other insulation material can generate sweating to ceilings at the point of contact with each other or other building materials. A 1" clearance from other ducts is recommended to prevent condensation forming between ducts that touch. This item is not specifically a required comment by the SOP; therefore, it is recommended that you address this with your HVAC service provider for recommendations. **Check with your HVAC service provider for recommendations.**

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I NI NP D

IV. PLUMBING SYSTEMS

A. Plumbing Supply, Distribution Systems and Fixtures

Location of water meter (not verified): Curb, # side of property unknown / ask seller

Location of main water supply valve (not verified): inside the garage outside front

Static water pressure reading: 50 psi

Comments:

- Back-flow device was missing at one or more of the outside faucet / hose bibs. Install as per current standards for safety reasons.

Vacuum breakers (AKA - Back-flow device) were missing from one or more of the outside hose bibs. Sill cocks, hose bibs, wall hydrants and other openings with a hose connection shall be protected by an atmospheric-type or pressure-type vacuum breaker or a permanently attached hose connection vacuum breaker for protection of the potable water supply.



- Unit A and C: One or more of the bath fixtures was not sealed at the tile or surface, e.g. at the tub. Repairs are required to prevent undue water penetration to the sub-material.

Keep all plumbing fixtures caulked and sealed at the floor to prevent water penetration to the sub-material, and insect intrusion. The following codes require it, and so does homeownership. International Plumbing Code 2012 - Chapter 4 Fixtures, Faucets and Fixture Fittings - Section 405 Installation of Fixtures - 405.5 Water-tight joints. Joints formed where fixtures come in contact with walls or floors shall be sealed. Uniform Plumbing Code 2009 - Chapter 4 Plumbing Fixtures and Fixture Fittings - Section 407 Installation - 407.2 Joints. Where a fixture comes in contact with the wall or floor, the joint between the fixture and the wall or floor shall be made water-tight.



sample of faucet not sealed at the wall in unit A and C

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NP=Not Present

D=Deficient

I NI NP D

Unit B: No visible defects

- Unit D: The hall bath toilet was disclosed as having an issue. It was said that it did not flush properly. I did not flush the toilet to check it in fear of creating an issue with the tenant. Have repaired as needed.

INFORMATION

I inspect the gas lines (where visible) from the point they enter the structure and will complete the inspection without digging, damaging the property, or building finish. When performing the inspection, I will keep in consideration the age of the system and normal wear and tear when rendering opinions.

If further concerns exist about possible gas line issues, you / the buyer are recommended to have the gas system further evaluated by the local controlling gas supplier and/or a qualified licensed master plumber prior to the close of the option periods.

Visible and Accessible Plumbing and Components: I have attempted to discover and report conditions requiring further evaluation and/or repair. Determining the condition of any component that is not visible and/or accessible, and reporting any deficiency that does not appear or become evident during this limited cursory and visual inspection is outside the scope and was excluded.

B. Drains, Wastes, and Vents

Comments:

Unit A: No Recommended Repairs.

Unit B

- Unit C and D: The stopper device was defective, broken or had parts missing at one or more of the bath sinks and/or tubs. The drain stopper should be repaired / replaced as needed.

INFORMATION

Visible and Accessible Drains, Wastes, and Vents: Reporting the condition of drains, wastes and vent piping that are not completely visible and/or accessible or; reporting any defect or deficiency that requires extended use of the system to develop or does not become evident during our limited cursory and visual survey is outside the scope of the inspection. This is a limited cursory and visual survey of the accessible conditions at the time of the inspection. The opinions expressed are one of apparent conditions and are only good for the date and time of this inspection.

A Shower Pan Test was excluded. Questions as to the integrity of the shower pan should be addressed to a qualified, licensed plumber. A shower pan test often takes 24 hrs. The bathtub plumbing traps may not have been accessible. It is recommended that access be provided for proper inspection (plumbing and termite inspections. I did not operate clothes washing machine connections, shut off valves, or drain lines at the washer connection. Visible areas only.

C. Water Heating Equipment

Energy Source: Electric

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

Capacity: 40 gal.

Comments:

- *Unit A, B, C, and D:* There was no safety pan beneath the water heater. A water heater should be placed in area that will prevent damage to floors, ceilings, and furniture if the heater leaks.

"Where water heaters...are installed in locations where leakage of the tanks or connections will cause damage, the .;water heater shall be installed in a galvanized steel pan...or other pan listed for such use," Since a typical drain pan does not hold that much water, it must have a pipe to a drain or other outlet for the water. When installed properly, a drain pan and pipe will keep any leakage under control and protect your belongings from water damage.

- *Unit C:* There was no safety pan beneath the water heater. A water heater should be placed in area that will prevent damage to floors, ceilings, and furniture if the heater leaks.
- Corrosion observed on the water heater supply lines, have evaluated for repair / replacement needs. Maintenance items should not be put off until they become an insurance claim.



| | | |
|---------------------|---------------|------|
| Serial No. | 0361757119 | |
| Model No. | XE40M06ST45U1 | |
| Manufacture Date. | 06SEP2017 | |
| Cap. U.S. Gals. | 40 | |
| Phase | 1 | 1 |
| Volts AC | 240 | 208 |
| Upper Element Watts | 4500 | 3380 |
| Lower Element Watts | 4500 | 3380 |
| Total Watts | 4500 | 3380 |

Rheem Sales Company, Inc.
Water Heating Division



water heater in the utility area - data plate dated 2017 - sample of corroded supply line at top of water heater

INFORMATION

The capacity of the tank may have been reduced. This condition is caused by the accumulation of minerals in the tank over a period of time. The efficiency of the unit is reduced by this conditions and its life expectancy is also reduced. The tank should be flushed (once a year) in an attempt to remove some of the build up. If the minerals have solidified and cannot be removed the tank should be replaced. This condition cannot be determined in the limited scope and time of this inspection.

 D. Hydro-Massage Therapy Equipment

Comments:

Not present

 E. Other

Comment:

Not present

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D=Deficient

I NI NP D

INFORMATION

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V. APPLIANCES

A. Dishwashers

Comments:

Unit A: **Functioning:** The dishwasher functioned within test limits with no discernable defects.

Unit B: *The unit was not operated due to time constraints*

Unit C: **Functioning:** The dishwasher functioned within test limits with no discernable defects.

Unit D: *The unit was not operated due to time constraints*

INFORMATION

The appliance systems of this home were inspected by visual means, unless otherwise noted. Any deficiencies noted herein should be considered for repair. It should be understood that there may be deficiencies that were not visible, e.g. behind furniture, concealed within walls or ceilings or hidden below insulation, etc. These deficiencies may take months or years to manifest and would not be within the scope of this report.

Any references to building codes within this report was done as a courtesy and to show a connection as to what the current codes are that require this comment and use of a code reference.

B. Food Waste Disposers

Comments:

Not present

C. Range Hood and Exhaust Systems

Comments:

Unit A, B, C, and D: **Functioning:** The kitchen vent unit functioned within test limits with no discernable defects. The units appeared to be recycle type.

INFORMATION

Vent pipes that are not visible or accessible are excluded from this report. (M1502.1 General: Range hoods shall discharge to the outdoors through a single-wall duct. The duct serving the hood shall have a smooth interior surface, shall be air tight and shall be equipped with a backdraft damper. Ducts serving range hoods shall not terminate in an attic or crawl space or areas inside the building.)

I=Inspected

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NP=Not Present

D=Deficient

I NI NP D

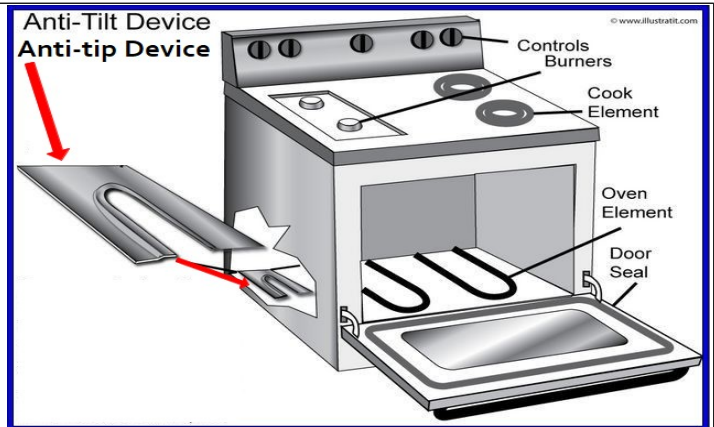
D. Ranges, Cooktops, and Ovens

Comments:

- *Unit A, B, C, and D:* No visible Anti-Tip device at the free standing range/oven, as required by the manufacture for safety.

This is to help prevent the range / oven from tipping forward if a child / adult stood or sat on the open oven door.

Newer models will have a sign or placard at the inside of the oven. To check to see if the anti-tip bracket installation is proper, use both arms, grasp the rear edge of the range back. Carefully attempt to tilt range forward. The range should not tilt forward. Refer to the anti-tip bracket installation instructions supplied with your range for proper installation. Consult manufacture for additional questions.



INFORMATION

Due to time constraints the oven and cooktop were turned on to see that they functioned, however, they were not left on for an extended time to determine if they achieved the desired cooking temperature.

The oven was operated in the manual mode, on the "Bake" setting only. The clock and timer were not checked.

E. Microwave Ovens

Comments:

Unit A, B, C, and D: **Functioning:** The microwave unit appeared to function within test limits with no discernable defects

INFORMATION

A metal rack, supplied by the manufacture of the microwave, may have been present. That does not mean that other metals can be used inside the microwave unless marked for such use. If the rack was missing, contact the manufacture for replacement availability and cost.

F. Mechanical Exhaust Vents and Bathroom Heaters

Comments:

Unit A, B, C, and D: **Functioning** - No visible defects at the time of this observation. Vent terminations that were not visible or accessible in the attic were excluded in full.

INFORMATION

All vents, bath, kitchen, etc. are to exhaust to the atmosphere, not to the attic, soffit, ridge vent or craw space (under the house with a pier and beam foundation). Some vent extensions may not be accessible or visible in the attic..

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D

G. Garage Door Operators

Comments:

Not present.

H. Dryer Exhaust Systems

Comments:

Unit A, B, C, and D: The dryer vent was not visible due to the appliances blocking access; therefore, not checked.

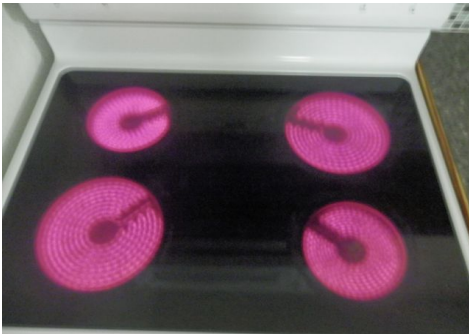
INFORMATION

Dryer vents should be checked for clean and clear pipe periodically. Clean as needed (vent pipe should be cleaned every 2-5 years), a clogged vent will send false readings to the heat sensor and cause the unit to shut the heat function down. A clogged vent will actually cause the dryer appliance to run longer due to the proper amount of moisture not being evacuated. It is a fire hazard. A dryer vent specialists, like DRYERVENT WIZARD (281-296-3099), can assist with this,

I. Other

Comment:

INFORMATION



sample of cooktop and ovens in test mode - manufactures placard calling for an anti-tip device



| | | |
|---------------------|-------------------|------|
| Serial No. | RH 0431341577 | |
| Model No. | PROE40 2 RH92 EC1 | |
| Manufacture Date. | 28OCT2013 | |
| Cap. U.S. Gals. | 40 | |
| Phase | 1 | 1 |
| Volts AC | 240 | 208 |
| Upper Element Watts | 4500 | 3380 |
| Lower Element Watts | 4500 | 3380 |
| Total Watts | 4500 | 3380 |

sample water heater (Unit A) without a drain pan - typical data plate for the 40 gal. water heater tanks

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



refrigerator in unit A appeared to function (no ice in the container)



typical utility appliance installation - microwave with a recirculation type vent



sample of thermometers used to check the HVAC and the ovens - sample of stopper parts missing (unit C and D)



covers painted to the wall were not removed - outlet for microwave in unit D did not appear to work

I=Inspected

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NP=Not Present

D=Deficient

| | | | |
|---|----|----|---|
| I | NI | NP | D |
|---|----|----|---|

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VI. OPTIONAL SYSTEMS

A. Landscape Irrigation (Sprinkler) Systems

Comments:

Not Present or not specifically requested to be part of this inspection process and report.

B. Swimming Pools, Spas, Hot Tubs, and Equipment

Comments:

Not Present or if present, it is not within the scope of this inspection

C. Outbuildings

Comments:

Not Present or not specifically requested to be part of this inspection process and report.

D. Private Water Wells (A coliform analysis is recommended)

Comments:

Not Present or if present, it is not within the scope of this inspection

E. Private Sewage Disposal (Septic) Systems

Comments:

Not Present or if present, it is not within the scope of this inspection

F. Other

Comments:

Not Present

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

| |
|------------------|
| I NI NP D |
|------------------|

ADDITIONAL INFORMATION

The Standards of Practice, adopted by the State of Texas for real estate inspections, defines a Deficiency as an issue that, in the inspector's opinion, adversely and materially affects the performance of a system or component; or constitutes a hazard to life, limb, or property as specified by the standards of practice. Some items may be commented on that are not technically correct, but are not material. This provides you with information about the house that may serve to help you understand its construction, and manage its maintenance.

In accordance with the Departure Provision in the Standards: An inspector may exclude any part, component or system required for inspection by the Standards which is inaccessible, cannot be inspected due to circumstances beyond the control of the inspector, or the inspector's client has agreed is not to be inspected.

This report shall supersede any written or verbal conversations, comments and or other forms of communication that were provided prior to providing this written report. Additional pages may be attached to this report. Read them very carefully. This report may not be complete without the attachments. Comments may be provided by the inspector whether an item was deemed deficient, or not.

Furniture, stored items, household / personal items, if present, were not moved or relocated for the inspection purposes. A "walk-through" is strongly recommended following the removal of all items as they may obscure / block or cover areas at the time of the inspection. Any and all items (defects) which were not readily visible at the time of the inspection were excluded and not considered in the reaching of the conclusions or rendering the opinions contained in this report. This inspection was not intended to detect and / or report ALL defects, existing or potential and the inspector did not observe every square inch of the structure.

I do not, implied or expressed, warrant that the structure, components or parts, will continue to perform in a manner that will be acceptable to you, the Client or will continue to function in the manor of which they were intended. If additional information becomes available after the time of this inspection, I reserve the right (but shall not be required) to determine the effect, if any, the information may have on comments in the report and to revise or expand our opinions / comments if necessary due to the additional information.

Thank you for choosing Bruce's Home Inspection Company to perform this important survey for you. *This is the written result of the limited, visual observation of the property at the above stated address (all comments are the "opinion(s)" of this inspector.* After carefully reviewing this report, please contact the office if you have any questions or require a more detailed explanation regarding any item included in this report, attachments, or addendum(s).

NOTICE: ACCEPTANCE OF THE REPORT IS ACCEPTANCE OF THE TERMS AND CONDITIONS OF THE SERVICE AGREEMENT. THE AGREEMENT WAS emailed AHEAD OF THE INSPECTION WHICH IS THE NORMAL PRACTICE

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Bruce's Home Inspection Company, LLC

Bruce McCrary, DBA Bruce's Home Inspection Company TREC #215
281-448-7300 - 713-829-1174

GENERAL SUMMARY

The Summary was provided as a courtesy and must not be considered a substitute for reading and understanding the entire report. Any and all questions should be addressed before the end of your option period. This is not intended to be a complete list of all possible defects in or on this property. See the report for possible expanded comments or information. The report is not a warranty or an insurance policy.

The inspection only addresses the house components as observed on the date of the inspection, not future performance of any item. I encourage you to hire qualified, licensed professionals / contractors for all items that are to be addressed. Receipts, warranty information, etc. should be kept in your Homeowner File.

Items in the Report, that were deemed either: 1. deficient, 2. in need of repair: 3. unsafe, etc., were copied from the report to the summary. Items intended for Information are generally not carried to the summary page, read report for full disclosure.

I. STRUCTURAL SYSTEMS

- One or more of the Post-tension cable ends was observed to be exposed at the face of the foundation. At this time, the remedial work needed is considered to be a maintenance issue.
- The siding material was observed to be loose and spacing at one or more areas. It was disclosed that the HOA takes care of the exterior. Check with the Home Owners Association as to when repairs are scheduled for this unit. Some voids or spacing is such that water penetration could occur. Repairs are recommended.
- Deteriorated wood and loose trim was observed at the outside at one or more areas. It is not the purpose of this report to point out every such area; however, to recommend that the outside veneer and trim be repaired or replaced as needed.
- **INFORMATION - MAINTENANCE:** Siding material has spacing at the end or butt joints. It is recommended that this space be caulked and kept caulked to help prevent water penetration and help protect the sub-material.
- One of the windows was observed to have broken glass at the front, first floor, of Unit A. Reglaze as needed for normal function and safety reasons.
- The hand rail, such as at the stairs in unit A, did not terminate to the wall. The open end of the rail is a hazard, clothing can catch and cause a person to trip or fall (as per current standards). You may want to up-date this for safety reasons. Tenants should be advised about this in their lease.
- The fireplace chimney cap appeared to be rusted (viewed from the ground) at unit A, recommend cleaning and painting or otherwise properly sealing the metal to prevent a "rust-out" condition which could result in leaks at the chimney housing.
- **INFORMATION:** It was noted that the fireplace did not have a discernable hearth at one or more of the units. The floor covering was observed to be tile and not a combustible material.

II. ELECTRICAL SYSTEMS

- Unit A: The dead front cover of the breaker box was missing one or more fasteners. Replace for safety reasons. The manufacture determines the number and type of fasteners to be used to secure the dead front cover. Do not use sharp, pointed screws or fasteners.
- Unit A & C: The main aluminum electrical feeder wires did not have anti-oxidant compound (paste) at the lug nut connections. The anti-oxidant paste mitigates oxidation of the aluminum cable and provides anti-seizing, etc. The material improves the conductivity of electrical connections.
- *Unit D - The electrical outlet in the cabinet for the microwave appeared to be defective. The tenant was having to use another outlet. Have checked for repair needs.*

III. HEATING / COOLING AND VENTILATION

- *Unit A:* Due to the low differential temperature it is recommended that the overall integrity of the HVAC system be evaluated by a licensed HVAC service company before closing. The temperature differential showed to be approx. 12 degrees.

IV. PLUMBING SYSTEMS

- Back-flow device was missing at one or more of the outside faucet / hose bibs. Install as per current standards for safety reasons.
- *Unit A and C:* One or more of the bath fixtures was not sealed at the tile or surface, e.g. at the tub. Repairs are required to prevent undue water penetration to the sub-material.
- Unit A, B, C, and D: There was no safety pan beneath the water heater. A water heater should be placed in area that will prevent damage to floors, ceilings, and furniture if the heater leaks.
- *Unit C:* One or more of the bath fixtures was not sealed at the tile or surface, e.g. at the tub. Repairs are required to prevent undue water penetration to the sub-material.
- The stopper device was defective, broken or had parts missing at one or more of the bath sinks and/or tubs. The drain stopper should be repaired / replaced as needed.
- There was no safety pan beneath the water heater. A water heater should be placed in area that will prevent damage to floors, ceilings, and furniture if the heater leaks.
- Corrosion observed on the water heater supply lines, have evaluated for repair / replacement needs. Maintenance items should not be put off until they become an insurance claim.
- *Unit D: The hall bath toilet was disclosed as having an issue. It was said that it did not flush properly. I did not flush the toilet to check it in fear of creating an issue with the tenant. Have repaired as needed.*
- The stopper device was defective, broken or had parts missing at one or more of the bath sinks and/or tubs. The drain stopper should be repaired / replaced as needed.

V. APPLIANCES.

- Units A, B, C, and D: No visible Anti-Tip device at the free standing range/oven, as required by the manufacture for safety (all units).

Failure to address the reported items will release all liability from this inspector or Bruce's Home Inspection Co. Use of this report is acceptance of the above condition.

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