



PROPERTY INSPECTION REPORT

Prepared For: Andrea Sager
(Name of Client)

Concerning: 5115 White Manor Drive , Pasadena, TX 77505
(Address or Other Identification of Inspected Property)

By: Mike Ash Lic.#: TREC 24404 08/24/2021
(Name and License Number of Inspector) (Date)

(Name, License Number of Sponsoring Inspector)

PURPOSE, LIMITATIONS AND INSPECTOR / CLIENT RESPONSIBILITIES

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions. If any item or comment is unclear, you should ask the inspector to clarify the findings. It is important that you carefully read ALL of this information.

This inspection is subject to the rules ("Rules") of the Texas Real Estate Commission ("TREC"), which can be found at www.trec.texas.gov.

The TREC Standards of Practice (Sections 535.227-535.233 of the Rules) are the minimum standards for inspections by TREC- licensed inspectors. An inspection addresses only those components and conditions that are present, visible, and accessible at the time of the inspection. While there may be other parts, components or systems present, only those items specifically noted as being inspected were inspected. The inspector is NOT required to turn on decommissioned equipment, systems, utility services or apply an open flame or light a pilot to operate any appliance. The inspector is NOT required to climb over obstacles, move furnishings or stored items. The inspection report may address issues that are code-based or may refer to a particular code; however, this is NOT a code compliance inspection and does NOT verify compliance with manufacturer's installation instructions. The inspection does NOT imply insurability or warrantability of the structure or its components. Although some safety issues may be addressed in this report, this inspection is NOT a safety/code inspection, and the inspector is NOT required to identify all potential hazards.

In this report, the inspector shall indicate, by checking the appropriate boxes on the form, whether each item was inspected, not inspected, not present or deficient and explain the findings in the corresponding section in the body of the report form. The inspector must check the Deficient (D) box if a condition exists that adversely and materially affects the performance of a system or component or constitutes a hazard to life, limb or property as specified by the TREC Standards of Practice. General deficiencies include inoperability, material distress, water penetration, damage, deterioration, missing components, and unsuitable installation. Comments may be provided by the inspector whether or not an item is deemed deficient. The inspector is not required to prioritize or emphasize the importance of one deficiency over another.

Some items reported may be considered life-safety upgrades to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards or Deficiencies below.

THIS PROPERTY INSPECTION IS NOT A TECHNICALLY EXHAUSTIVE INSPECTION OF THE STRUCTURE, SYSTEMS OR COMPONENTS. This inspection may not reveal all deficiencies. A real estate inspection helps to reduce some of the risk involved in purchasing a home, but it cannot

eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is recommended that you obtain as much information as is available about this property, including seller's disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for and by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspector's responsibility to confirm that information obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous or future reports.

ITEMS IDENTIFIED IN THE REPORT DO NOT OBLIGATE ANY PARTY TO MAKE REPAIRS OR TAKE OTHER ACTIONS, NOR IS THE PURCHASER REQUIRED TO REQUEST THAT THE SELLER TAKE ANY ACTION. When a deficiency is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods.

Promulgated by the Texas Real Estate Commission (TREC) P.O. Box 12188, Austin, TX 78711-2188
(512) 936-3000 <http://www.trec.texas.gov>

Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions. Examples of such hazards include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathrooms, kitchens, and exterior areas.
- malfunctioning arc fault protection (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined.

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered" because they were present prior to the adoption of codes prohibiting such conditions. While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate license holders also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms require a seller to remedy conditions revealed by an inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for the

sale or purchase of the home.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR



Home Inspection Report

Prepared exclusively for

Andrea Sager



PROPERTY INSPECTED:

5115 White Manor Drive

Pasadena, TX 77505

DATE OF INSPECTION: 08/24/2021

Inspection No. 521274-1069

INSPECTED BY:

Thomas Amonette

3407 Dry Creek

Pasadena, TX 77505

tommy.amonette@pillartopost.com

(713) 560-7417

INSPECTOR:

Mike Ash

Lic.#: TREC 24404

mike.ash@pillartopost.com

(713) 560-7417

Each office is independently owned and operated

I = Inspected	NI = Not Inspected	NP = Not Present	D = Deficient
I	NI	NP	D*

REPORT SUMMARY

I. STRUCTURAL SYSTEMS

A. Foundations

Comments:

- Corner cracks or “pops” were observed on several corners of the foundation. These do not impact the structural integrity of the foundation and are typical of most homes. Recommend repair to prevent possible water and/or pest penetration.

B. Grading and Drainage

Comments:

- Areas of the landscaping and grading have inadequate clearance to the exterior siding / brick on the home. Recommend increasing clearance 4-6" to reduce risk of water and/or pest penetration.
- Multiple gutter downspouts around the home were noted damaged. Recommend making needed repairs to open these downspouts to promote proper waterflow.
- Gutter trough downspout at the back south corner of the home was noted loose at the exterior wall. Recommend securing the downspout to prevent possible damage and promote proper water drainage.
- Gutter troughs are installed on top of the drip edge flashing. This could allow water to drain between the gutter trough and fascia board. Gutter troughs should be installed under the drip edge flashing.
- Multiple gutter trough hanger nails, were noted backing out from the fascia board. Recommend securing the hangers for proper water drainage and prevent sagging in the troughs.
- Gutters troughs noted having debris / leaves in them, in multiple areas. Recommend cleaning to promote proper water flow.

C. Roof Covering Materials

Comments:

- Minor lift was noted in areas of the sidewall flashing around the home. Recommend securing and sealing these areas properly to prevent possible water penetration under the flashing

D. Roof Structures and Attics

Comments:

- Soffit vent screen was noted open / damaged at the back of the home. Recommend sealing these areas to prevent pest penetration into the attic area.
- Attic access stairs is missing insulation. Recommend installing insulation to prevent energy loss.
- Attic access has improper fasteners holding the stairs in the ceiling. Approved hardware such as lag bolts or 16D nails are required, not screws.

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I NI NP D*

E. Walls (Interior and Exterior)

Comments:

- Damaged / deteriorated siding and trim were noted in multiple areas around the home. Recommend repairing and sealing to prevent further deterioration.
- Sealant was noted deteriorated and/or missing in multiple areas on the exterior siding and trim. Recommend removing old sealant and resealing to prevent water penetration and possible deterioration.
- Sealant in the expansion joints of the brick veneer is deteriorating / missing. Recommend removing old sealant and resealing to prevent possible water penetration into the wall.
- Minor cracking was observed in the brick mortar at several locations around the home. These do not appear to be structural and are common of most homes. Recommend sealing these cracks to prevent water and/or pest penetration, and monitoring for any future movement.

F. Ceilings and Floors

Comments:

- Upstairs floors make noises and flex when walked on in several areas.
- Water stains noticed on upstairs guest bedroom ceiling. Area was tested with a moisture meter and no moisture was detected at time of inspection.
- Minor drywall cracking/imperfections noted throughout the home. This is typical of most homes and is cosmetic.
- Water stain was noticed in master bathroom closet ceiling. Area was tested with a moisture meter and no moisture was detected at the time of inspection.

G. Doors (Interior and Exterior)

Comments:

- Sealant is light or missing around the garage door. Recommend removing old sealant and replacing with new sealant to prevent water and/or pest penetration.
- Door stops are missing and/or damaged in multiple location throughout the home.
- The upstairs master bathroom doors ball latches need to be adjusted to allow the doors to operate properly.
- Back exterior door rubs the door jamb when attempting to open and close.
- Back exterior door is key exit only lock. These locks should be lever operated from the inside, for safety. In case of emergency exit, a person could not exit without the proper key.
- Garage pedestrian door does not have self-closing hinges. These hinges are required to make the door latch closed unassisted, and are required in todays safety standards.

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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	H. Windows		
				<i>Comments:</i>		
				<ul style="list-style-type: none"> Sealant is deteriorated and cracked around the exterior of multiple windows. Recommend removing old sealant and replacing sealant to prevent water and/or pest penetration. Exterior screens were noted screwed to the bedroom windows. This impedes the egress through the window. Bedrooms are required to have one egress window that does not require special tools to use, for a emergency exit. 		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	J. Fireplaces and Chimneys		
				<i>Comments:</i>		
				<ul style="list-style-type: none"> Gas lighter/burner is missing sealant were the gas plumbing enters the firebox. This is required to be sealed with an appropriate sealant that is fire rated. 		
II. ELECTRICAL SYSTEMS						
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. Service Entrance and Panels		
				<i>Comments:</i>		
				<ul style="list-style-type: none"> AFCI breakers are not present in the service panel. AFCI breakers are now required in all habitable areas as a safety measure. This might not have been required at the time of the construction of this home, but is now required in today's safety standards. Opening observed in the cover of the service panel. Breaker cover plate should be installed to cover the openings. Neutral and ground wires noted mixed on the bus bars. Neutral and ground wires should each be on their own bus bars, and only bonded by the bonding arm. 		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. Branch Circuits, Connected Devices, and Fixtures		
				<i>Comments:</i>		
				<ul style="list-style-type: none"> Exterior light fixtures should be secured properly to the wall and sealed at the wall to prevent moisture and/or pest penetration. The kitchen counter only has 1 GFCI receptacle. Today's building standards require the kitchen counter receptacles to be on a minimum of 2 circuits, spaced a maximum distance of 24" apart, all be GFCI protected, and the refrigerator on a different circuit from the counter receptacles. Smoke detectors are missing in required areas. Smoke detectors are required in all bedrooms and in each hallway. Recommend installing in required areas to promote safety. Smoke detectors appear to be older units. Smoke detector alarms should be replaced every 10 years. 		
III. HEATING, VENTILATION, AND AIR CONDITIONING SYSTEMS						
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. Cooling Equipment		
				<i>Comments:</i>		

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- Minor areas of rust was noted in the AC pan in the attic area. No water was in the pan at the time of inspection. Recommend monitoring for any further deterioration and replace in the pan when needed.
- The main condensation lines for both units are plumbed together in the attic space. Single drains are required to be 3/4". After the drains are connected the pipe size should be sized to accommodate both drains. Verify the correct size pipe was use after the drains were connected.

C. Duct Systems, Chases, and Vents

Comments:

- Multiple ducts do not have proper clearance between each other. There should be a 1" air gap between the ducts to prevent possible condensation from forming.

IV. PLUMBING SYSTEMS

A. Plumbing Supply, Distribution Systems, Fixtures

Comments:

- Improper shut off valve noted at the main water pipe. Valve is required to be the lever type and not the knob type.
- Hose bibs are missing the anti-siphon device. Recommend adding these to prevent backsiphonage into the house water supply
- Tub spouts in the showers/bathtubs should be sealed to prevent water penetration into the walls.
- Tub spout diverter in upstairs guest bathroom doesn't seal completely when operated.
- Downstairs half bathroom faucet handle was leaking when operated at the time of inspection.

B. Drains, Wastes and Vents

Comments:

- Toilets were noted missing the sealant on the base at the floor. Recommend sealing to avoid possible leaks.
- Leak under upstairs guest bathroom sink was discovered at the time of inspection.
- The master bath toilet was noted loose at the floor. Recommend securing and sealing at the floor to prevent possible leaks.
- The downstairs half bathroom toilet was noted loose at the upper tank. Recommend securing the tank to prevent possible leaks.
- Upstairs master bathroom sink on the right was noted leaking.
- Drain stopper at the left master bathroom sink failed to completely seal and hold water.

C. Water Heating Equipment

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- Sediment trap is missing at the water heater. Sediment traps prevent sediment in the gas line from reaching the orifices in the appliance and clogging them.

V. APPLIANCES

D. Ranges, Cooktops, and Ovens

Comments:

- The gas shut off valve for the oven/cooktop is located behind the unit. The shut off valve should be located in a readily accessible location.

H. Dryer Exhaust Systems

Comments:

- Dryer vent door or "flap", was noted staying open and not closing when not in use. Recommend repair to prevent possible pest penetration into the vent.

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INSPECTION REPORT

I. STRUCTURAL SYSTEMS

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A. Foundations

Type of Foundation(s): Slab on grade

Comments:

- **Corner cracks or “pops” were observed on several corners of the foundation. These do not impact the structural integrity of the foundation and are typical of most homes. Recommend repair to prevent possible water and/or pest penetration.**



- Based on the evidence and my evaluation of the home on the day of the inspection, it is my opinion the foundation is performing as intended at the time of inspection.

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B. Grading and Drainage

Comments:

- **Areas of the landscaping and grading have inadequate clearance to the exterior siding / brick on the home. Recommend increasing clearance 4-6" to reduce risk of water and/or pest penetration.**



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- **Multiple gutter downspouts around the home were noted damaged. Recommend making needed repairs to open these downspouts to promote proper waterflow.**



- **Gutter trough downspout at the back south corner of the home was noted loose at the exterior wall. Recommend securing the downspout to prevent possible damage and promote proper water drainage.**



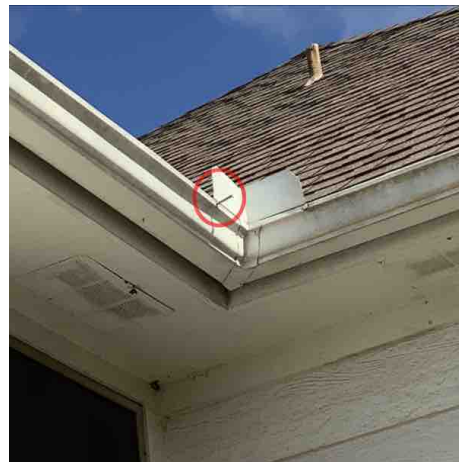
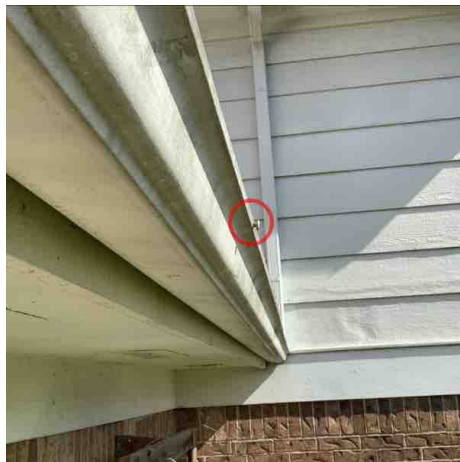
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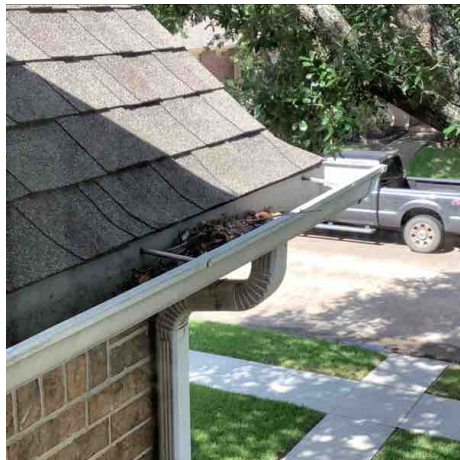
- Gutter troughs are installed on top of the drip edge flashing. This could allow water to drain between the gutter trough and fascia board. Gutter troughs should be installed under the drip edge flashing.



- Multiple gutter trough hanger nails, were noted backing out from the fascia board. Recommend securing the hangers for proper water drainage and prevent sagging in the troughs.



- Gutters troughs noted having debris / leaves in them, in multiple areas. Recommend cleaning to promote proper water flow.



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C. Roof Covering Materials

Types of Roof Covering: Asphalt shingles

Viewed From: Ladder at edge, Ground level with binoculars

Comments:

- Due to the height and pitch of the roof, it was viewed from the ground with binoculars and the lower portion at the eave with a ladder. Some areas of the roof surface may not have been visible and only areas visible were inspected.

The roof coverings appears to be functioning as intended on the day of inspection, with no obvious damage or leaking noted.

- **Minor lift was noted in areas of the sidewall flashing around the home. Recommend securing and sealing these areas properly to prevent possible water penetration under the flashing**



D. Roof Structures and Attics

Viewed From: Entered attic

Approximate Average Depth of Insulation: 6 to 8 inches of insulation

Comments:

- **Soffit vent screen was noted open / damaged at the back of the home. Recommend sealing these areas to prevent pest penetration into the attic area.**



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- Attic access stairs is missing insulation. Recommend installing insulation to prevent energy loss.



- Attic access has improper fasteners holding the stairs in the ceiling. Approved hardware such as lag bolts or 16D nails are required, not screws.



- All areas of the attic structure that were able to be seen and inspected, appear to be functioning as intended at time of inspection.

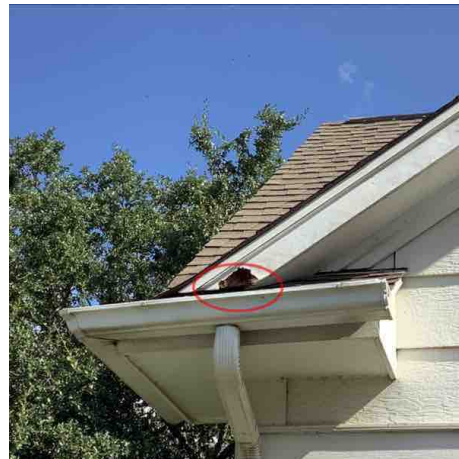
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E. Walls (Interior and Exterior)

Comments:

- **Damaged / deteriorated siding and trim were noted in multiple areas around the home. Recommend repairing and sealing to prevent further deterioration.**



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- Sealant was noted deteriorated and/or missing in multiple areas on the exterior siding and trim. Recommend removing old sealant and resealing to prevent water penetration and possible deterioration.



- Sealant in the expansion joints of the brick veneer is deteriorating / missing. Recommend removing old sealant and resealing to prevent possible water penetration into the wall.



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• Minor cracking was observed in the brick mortar at several locations around the home. These do not appear to be structural and are common of most homes. Recommend sealing these cracks to prevent water and/or pest penetration, and monitoring for any future movement.



F. Ceilings and Floors

Comments:

• Upstairs floors make noises and flex when walked on in several areas.

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- **Water stains noticed on upstairs guest bedroom ceiling. Area was tested with a moisture meter and no moisture was detected at time of inspection.**

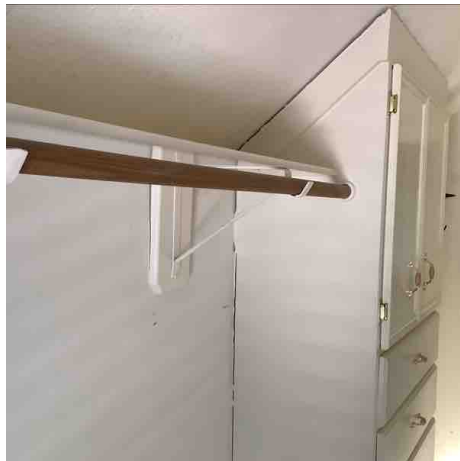


- **Minor drywall cracking/imperfections noted throughout the home. This is typical of most homes and is cosmetic.**

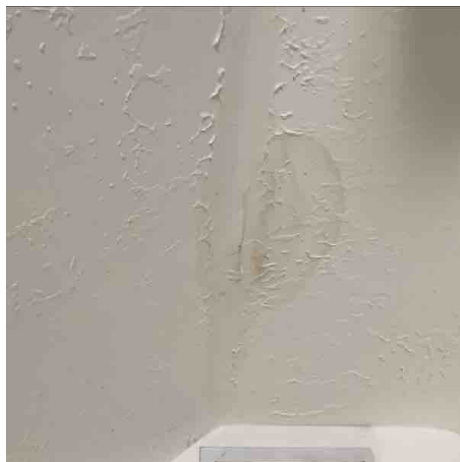


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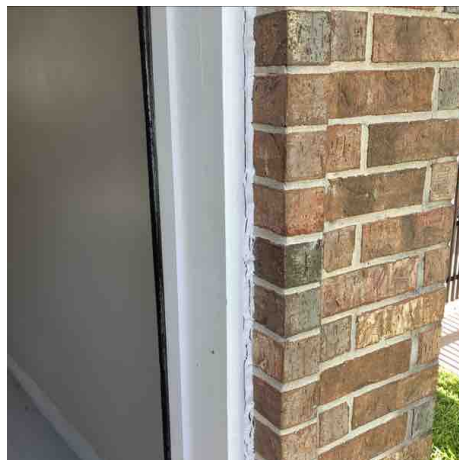
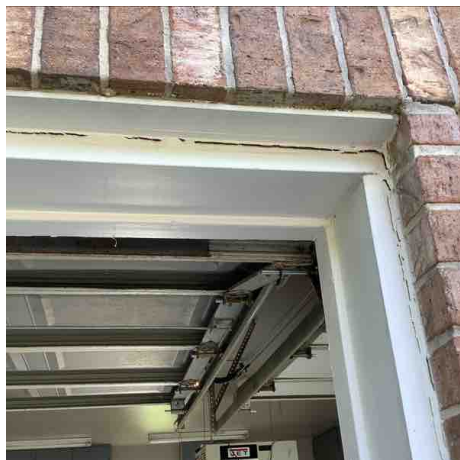
• Water stain was noticed in master bathroom closet ceiling. Area was tested with a moisture meter and no moisture was detected at the time of inspection.



G. Doors (Interior and Exterior)

Comments:

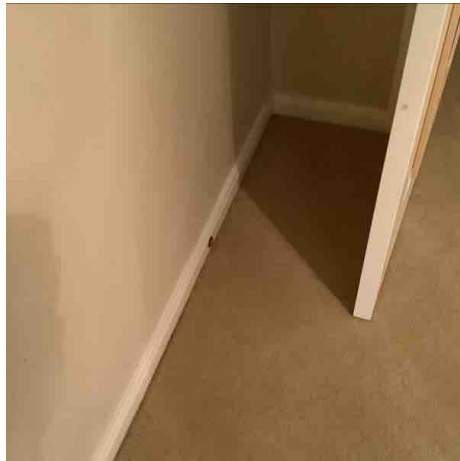
• Sealant is light or missing around the garage door. Recommend removing old sealant and replacing with new sealant to prevent water and/or pest penetration.



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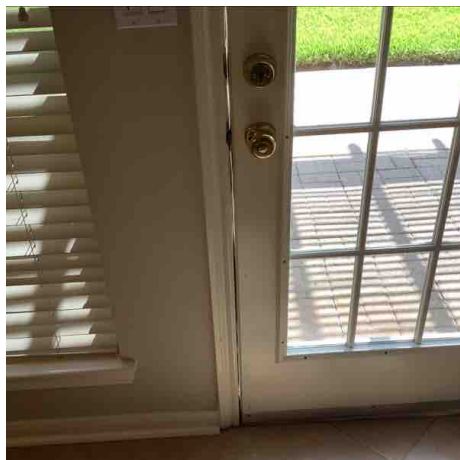
- **Door stops are missing and/or damaged in multiple location throughout the home.**



- **The upstairs master bathroom doors ball latches need to be adjusted to allow the doors to operate properly.**



- **Back exterior door rubs the door jamb when attempting to open and close.**



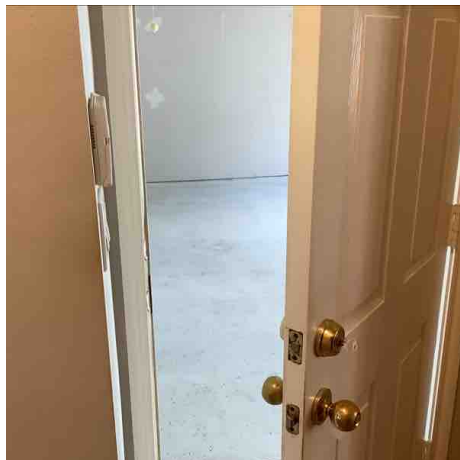
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- **Back exterior door is key exit only lock. These locks should be lever operated from the inside, for safety. In case of emergency exit, a person could not exit without the proper key.**



- **Garage pedestrian door does not have self-closing hinges. These hinges are required to make the door latch closed unassisted, and are required in todays safety standards.**



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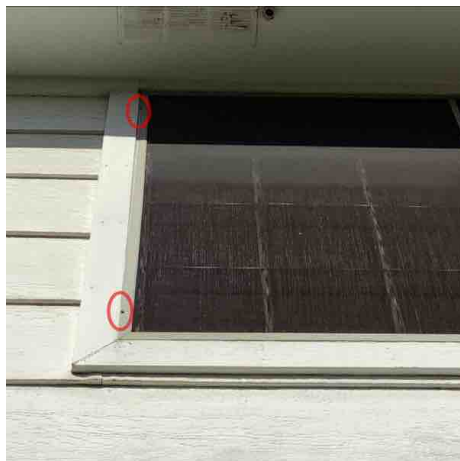
H. Windows

Comments:

- Sealant is deteriorated and cracked around the exterior of multiple windows. Recommend removing old sealant and replacing sealant to prevent water and/or pest penetration.



- Exterior screens were noted screwed to the bedroom windows. This impedes the egress through the window. Bedrooms are required to have one egress window that does not require special tools to use, for an emergency exit.



I. Stairways (Interior and Exterior)

Comments:

- All areas of the stairs, handrails, and guardrails appear to be in compliance with today's standards at the time of inspection.

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J. Fireplaces and Chimneys

Comments:

- Gas lighter/burner is missing sealant were the gas plumbing enters the firebox. This is required to be sealed with an appropriate sealant that is fire rated.



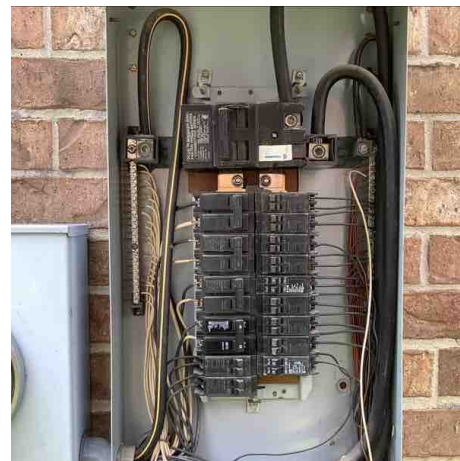
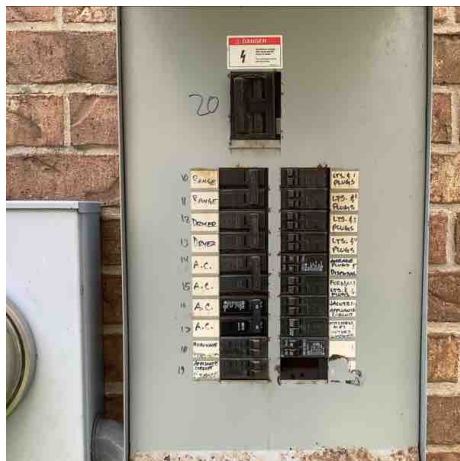
K. Porches, Balconies, Decks, and Carports

II. ELECTRICAL SYSTEMS

A. Service Entrance and Panels

Comments:

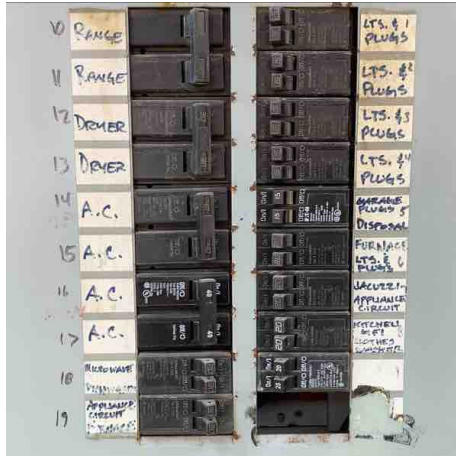
- Breaker panel is rated for 200 max amps and has a 200 amp main circuit breaker, 120/240 single phase service. Panel appears to be working properly at the time of inspection.



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- AFCI breakers are not present in the service panel. AFCI breakers are now required in all habitable areas as a safety measure. This might not have been required at the time of the construction of this home, but is now required in today's safety standards.



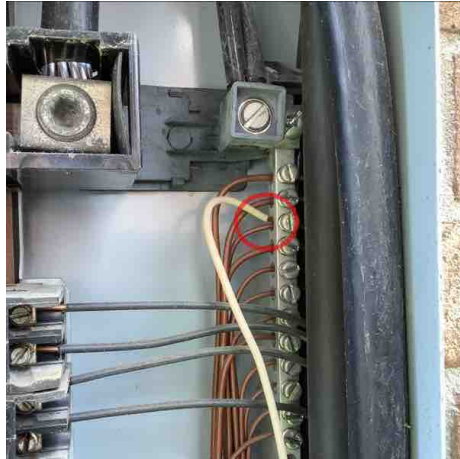
- Opening observed in the cover of the service panel. Breaker cover plate should be installed to cover the openings.



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- Neutral and ground wires noted mixed on the bus bars. Neutral and ground wires should each be on their own bus bars, and only bonded by the bonding arm.



B. Branch Circuits, Connected Devices, and Fixtures

Type of Wiring: Copper

Comments:

- Notes: GFCI Resets
 - Exterior receptacles reset in upstairs guest bathroom.
 - Garage receptacles reset in upstairs guest bathroom.
 - Bathroom receptacles reset in the upstairs guest bathroom.
 - Kitchen receptacles reset in the kitchen.(1 GFCI receptacle)

- Exterior light fixtures should be secured properly to the wall and sealed at the wall to prevent moisture and/or pest penetration.



- The kitchen counter only has 1 GFCI receptacle. Today's building standards require the kitchen counter receptacles to be on a minimum of 2 circuits, spaced a maximum distance of 24" apart, all be GFCI protected, and the refrigerator on a different circuit from the counter receptacles.

- Smoke detectors are missing in required areas. Smoke detectors are required in all bedrooms and in each hallway. Recommend installing in required areas to promote safety.

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I NI NP D*

- Smoke detectors appear to be older units. Smoke detector alarms should be replaced every 10 years.



III. HEATING, VENTILATION, AND AIR CONDITIONING SYSTEMS

A. Heating Equipment

Type of Systems: Forced air
Energy Sources: Natural gas
Comments:

- The downstairs heating system temperature differential was 47°. Return temperature was 83° and average register temperature was 130°. The upstairs heating system temperature differential was 45°. Return temperature was 93° and average register temperature was 138°. Both systems appear to be functioning properly at the time of inspection.

B. Cooling Equipment

Type of Systems: Split system central air conditioning
Comments:

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I NI NP D*

- Outside AC unit #1 is a Trane 3.5 ton model, manufactured in 2014.

Outside AC unit #2 is a Trane 3.5 ton model, manufactured in 2014.

Upstairs and Downstairs AC systems temperature differential fall in the normal range of 15°-21°.

Downstairs differential was 16°. Return temperature was 72° and average register temperature was 56°.

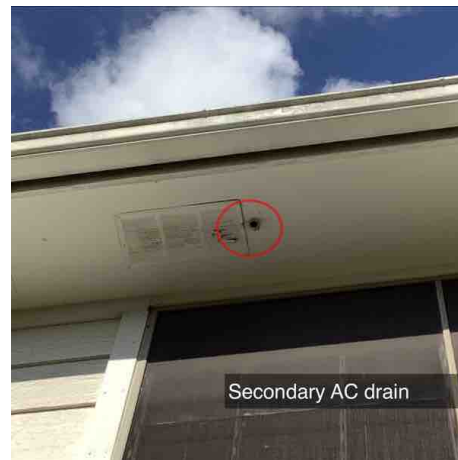
Upstairs differential was 16°. Return temperature was 71° and average register temperature was 55°.

(Ambient temperature 88°.)

Notes:

The main AC condensation drains terminate under the upstairs guest bathroom sink. While this is correct, note that in the event this sink drain is blocked this will also block the AC drain.

The secondary AC condensation drains terminate on the east side of the home. In the event water drains from this/these pipe(s) contact a HVAC professional to service the system.



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I NI NP D*

- **Minor areas of rust was noted in the AC pan in the attic area. No water was in the pan at the time of inspection. Recommend monitoring for any further deterioration and replace in the pan when needed.**



- **The main condensation lines for both units are plumbed together in the attic space. Single drains are required to be 3/4". After the drains are connected the pipe size should be sized to accommodate both drains. Verify the correct size pipe was use after the drains were connected.**



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C. Duct Systems, Chases, and Vents

Comments:

- Multiple ducts do not have proper clearance between each other. There should be a 1" air gap between the ducts to prevent possible condensation from forming.



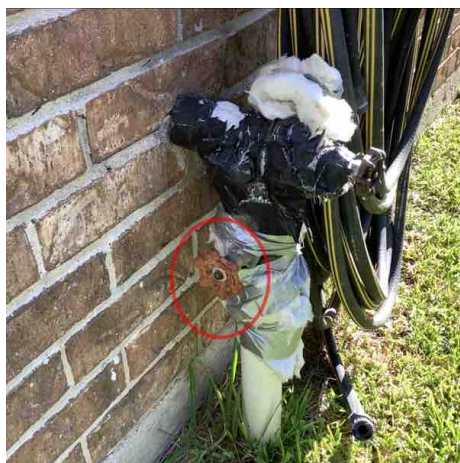
IV. PLUMBING SYSTEMS

A. Plumbing Supply, Distribution Systems, Fixtures

- ⦿ Water Pressure - 60 PSI
- ⦿ Shutoff Valve Location - SW Exterior Wall
- ⦿ Water Meter Location - Front Yard, SW Corner
- ⦿ Type of Plumbing - Copper

Comments:

- Main water shutoff



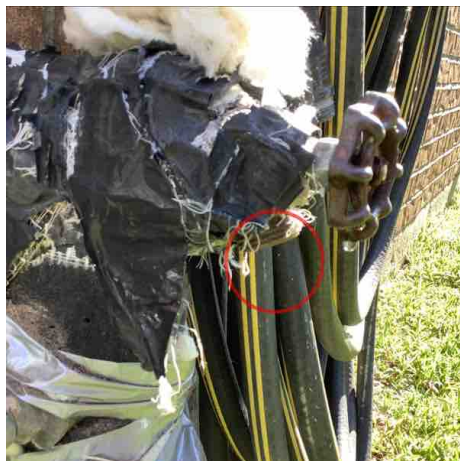
I = Inspected NI = Not Inspected NP = Not Present D = Deficient

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- Improper shut off valve noted at the main water pipe. Valve is required to be the lever type and not the knob type.



- Hose bibs are missing the anti-siphon device. Recommend adding these to prevent backsiphonage into the house water supply



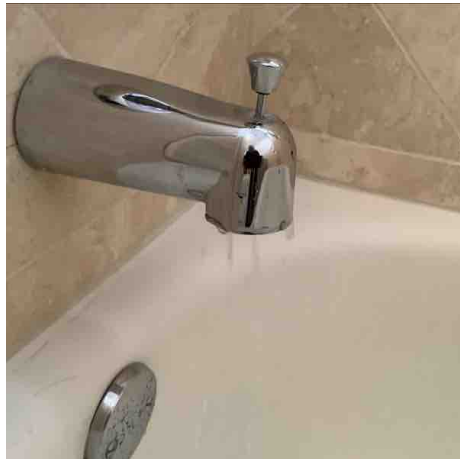
- Tub spouts in the showers/bathtubs should be sealed to prevent water penetration into the walls.



I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D*

- **Tub spout diverter in upstairs guest bathroom doesn't seal completely when operated.**



- **Downstairs half bathroom faucet handle was leaking when operated at the time of inspection.**



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I NI NP D*

B. Drains, Wastes and Vents

Comments:

- Toilets were noted missing the sealant on the base at the floor. Recommend sealing to avoid possible leaks.



- Leak under upstairs guest bathroom sink was discovered at the time of inspection.



- The master bath toilet was noted loose at the floor. Recommend securing and sealing at the floor to prevent possible leaks.



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I NI NP D*

- The downstairs half bathroom toilet was noted loose at the upper tank. Recommend securing the tank to prevent possible leaks.
- Upstairs master bathroom sink on the right was noted leaking.



- Drain stopper at the left master bathroom sink failed to completely seal and hold water.



C. Water Heating Equipment

Energy Sources: Natural gas

Capacity: 50 gallon

Comments:

- Water heater is a Rheem 50 gallon natural gas unit, manufactured in 2010.

The hot water temperature at the kitchen faucet was 127°. Water temperature should be kept between 110° and 120° to disinfect properly and to prevent scalding.

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I NI NP D*

- Sediment trap is missing at the water heater. Sediment traps prevent sediment in the gas line from reaching the orifices in the appliance and clogging them.



D. Hydro-Massage Therapy Equipment

V. APPLIANCES

A. Dishwasher

Comments:

- Dishwasher was ran thru a full cycle and was functioning properly at the time of the inspection.

B. Food Waste Disposers

Comments:

- Garbage disposer was functioning properly at the time of the inspection.

C. Range Hood and Exhaust Systems

Comments:

- Range exhaust fan and lights functioned properly at the time of the inspection.

D. Ranges, Cooktops, and Ovens

Comments:

- Gas cooktop with a single oven. Tested 4 burners on low, medium, and high, all functioned properly at the time of inspection. Oven temperature was 360° when set to 350°. The oven can be +/- 25° when set to 350°.
- The gas shut off valve for the oven/cooktop is located behind the unit. The shut off valve should be located in a readily accessible location.

E. Microwave Ovens

Comments:

- Microwave was functioning properly at the time of the inspection.

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I NI NP D*

F. Mechanical Exhaust Vents and Bathroom Heaters

Comments:

- Exhaust fan were not present in some of the bathrooms in the home, but the bathrooms do have an operable window. Exhaust fans help remove odors and moisture, but are not required if there is a operable window in the bathroom.

G. Garage Door Operators

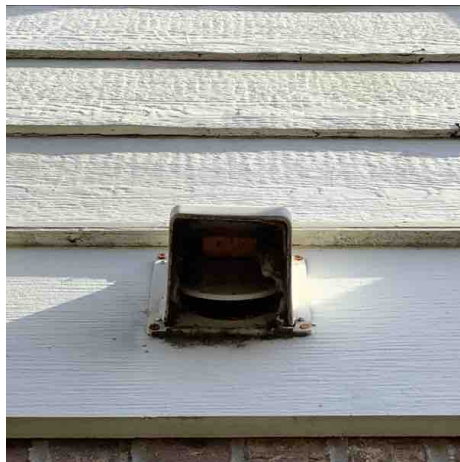
Comments:

- Garage overhead door, auto reverse, and safety sensors were functioning properly at the time of inspection.

H. Dryer Exhaust Systems

Comments:

- Dryer vent door or “flap”, was noted staying open and not closing when not in use. Recommend repair to prevent possible pest penetration into the vent.



I. Other

Comments:

- Doorbell was functioning properly at the time of the inspection



Inspection #: 521274-1069