



LEGEND

	CONCRETE		FENCE		METAL
	COVERED AREA		BRICK WALL		

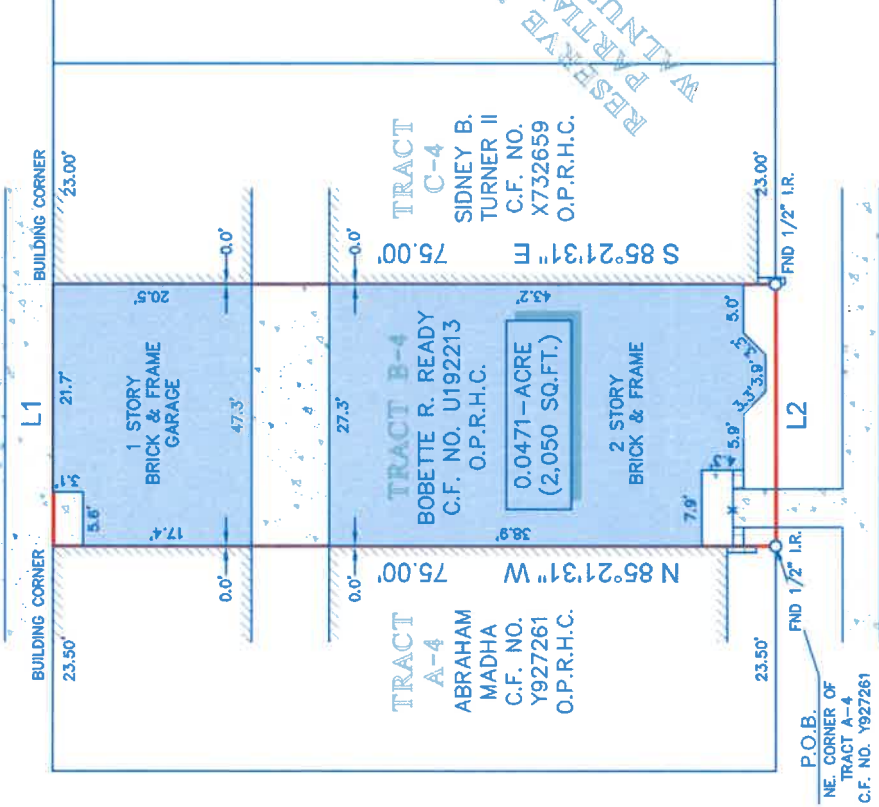
LINE	BEARING	DISTANCE
L1	N 04°38'29" E	23.00'
L2	S 04°38'29" W	23.00'

SCALE 1" = 20'



CHRISTIANA WILLIAMS SURVEY ABSTRACT 834

COMMON AREA



COMMON AREA

COMMON AREA

RESERVE A, BLOCK 16, WALNUT BEND, SECTION 18 VOL. 107, PG. 18

NOTES:

1. ALL BEARINGS SHOWN HEREON ARE REFERENCED TO A PRIOR DEED CONVEYED UNTO BOBETTE R. READY, RECORDED IN COUNTY CLERK'S FILE NO. U192213 OF THE OFFICIAL PUBLIC RECORDS OF HARRIS COUNTY, TEXAS.
2. ABSTRACT INFORMATION FOR THE SUBJECT TRACT WAS PROVIDED BY FRONTIER TITLE CO., SURVEYOR HAS NOT INDEPENDENTLY ABSTRACTED SUBJECT PROPERTY.
3. THIS SURVEY IS CERTIFIED TO FRONTIER TITLE CO. FOR THIS TRANSACTION ONLY, IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
4. ALL EASEMENTS AND BUILDING LINES SHOWN ARE PER THE RECORDED PLAT UNLESS OTHERWISE NOTED.
5. THERE ARE NO NATURAL DRAINAGE COURSES ON SUBJECT PROPERTY.
6. SUBJECT TO THE RESTRICTIVE COVENANTS AS LISTED IN SCHEDULE B OF THE TITLE COMMITMENT ISSUED ON MARCH 19, 2021, UNDER G.F. NO. 1923599M.
7. BUILDING LINES AND EASEMENTS, AS RECORDED IN FILM CODE NO. 107018, P.R.H.C.
8. PARTY WALL AGREEMENT, AS RECORDED IN CLERK'S FILE NO. D227891.

LEGAL DESCRIPTION: A TRACT OF LAND CONTAINING 0.0471 ACRE (2,050 SQUARE FEET) SITUATED IN THE CHRISTIANA WILLIAMS SURVEY, ABSTRACT 834, HARRIS COUNTY, TEXAS, BEING TRACT B-4 OUT OF RESERVE "A", BLOCK 16, OF THE PARTIAL REPLAT OF WALNUT BEND, SECTION 6, A SUBDIVISION IN HARRIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 107, PAGE 18 OF THE MAP RECORDS OF HARRIS COUNTY, TEXAS. SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS ATTACHED.



SURVEYORS CERTIFICATE:
 IN MY PROFESSIONAL OPINION, THIS PLAT REPRESENTS THE FACTS FOUND ON THE GROUND DURING THE COURSE OF A BOUNDARY SURVEY CONDUCTED UNDER MY SUPERVISION ON APRIL 1, 2021 AND THAT THIS PLAT SUBSTANTIALLY COMPLES WITH THE STANDARDS AND PRACTICES AND THE TERMS AND CONDITIONS OF THE PROFESSIONAL LAND SURVEYING ACT. THERE ARE NO ENCROACHMENTS OR ROTURSIONS EXCEPT AS SHOWN.

RICHARD FUSSELL
 PLS# 4148

CLIENT: RIO INVESTMENT PROPERTIES LLC AND/OR ASSIGNEE

ADDRESS: 1074B BRIAR FOREST DRIVE #4/25
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 survey1@survey1inc.com



FIELD CREW:	TECH:
BR	LG3
DRAFTER:	FINAL CHECK:
LG3	EF
DATE:	
4-5-21	
JOB#	
4-95018-21	