

NOTES:
ALL BUILDING LINES AND EASEMENTS
ARE PER THE RECORDED PLAT UNLESS
OTHERWISE SHOWN.

WHISPERING MAPLE WAY
(60' R.O.W.)

R=2070.00' D=4°07'07"
L=148.80' (PER PLAT: L=148.75')
Ch=N17°35'24"E 148.77'

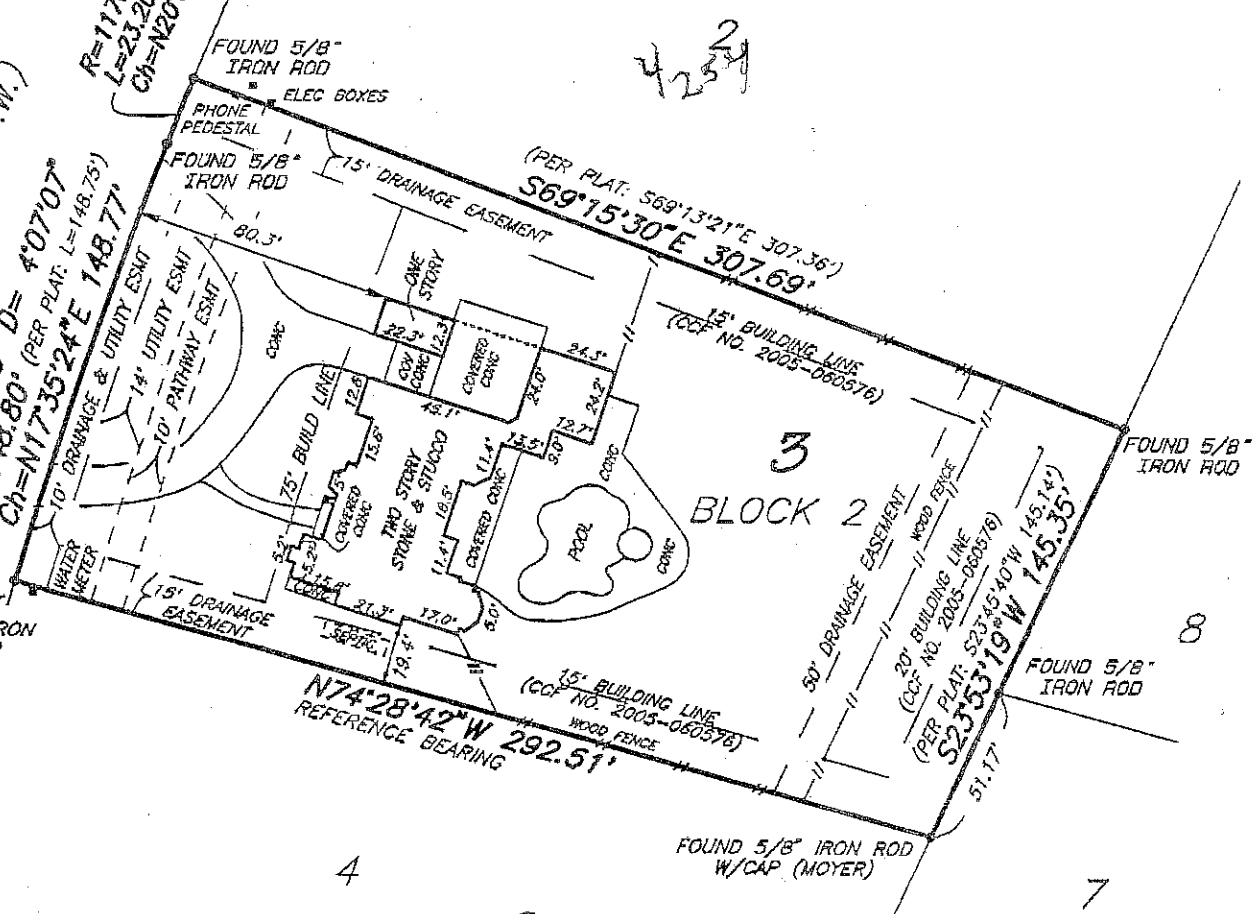
R=1170.00' D=1°08'10"
L=23.20' (PER PLAT: L=23.28')
Ch=N20°09'11"E 23.20'

CONTROL
MONUMENT
FOUND 5/8" IRON
ROD W/CAP



SCALE: 1" = 60'
DATE: 6/13/06
REV: 6/21/06 TO SHOW SIDE
AND REAR BUILDING LINES
REV: 10/5/06 FINAL

Kathryn Ann Campbell



I hereby certify to Wendell R. Allen and Julie A. Allen, JP Morgan Chase Bank, N.A. and Lawyers Title Insurance Corporation that this plat is a true representation of an on the ground survey made on 6/13/06 of Lot 3, Block 2, Benders Landing Estates Section Two, a subdivision in the R.N. Davis Survey, A-161 and the Frederick Rudge Survey, A-448, a correct map of which is recorded in Cabinet Y, Sheets 86-96, of the Map Records of Montgomery County, Texas. Unless otherwise shown, there are no encroachments on this property and all improvements were within the boundaries at the time of this survey. This professional service substantially conforms to the current Texas Surveyors Association Standards and Specifications for a Category 1A, Condition III survey.

This property is located in Zone X and is not within the 100-year floodplain as shown on FIRM Community Panel Number 48339C0705 F, effective date December 19, 1996.

This survey was completed with the benefit of a title commitment furnished by Lawyers Title Insurance Corporation, G.F. No. 1019000430, effective date February 6, 2006.

Hal Moyer
Hal Moyer, R.P.L.S.
Texas Registration No. 5656



MOYER
SURVEYING
3706 WEST DAVIS - CONROE, TX, 77304

JOB NO 06291
JOB NO 06168