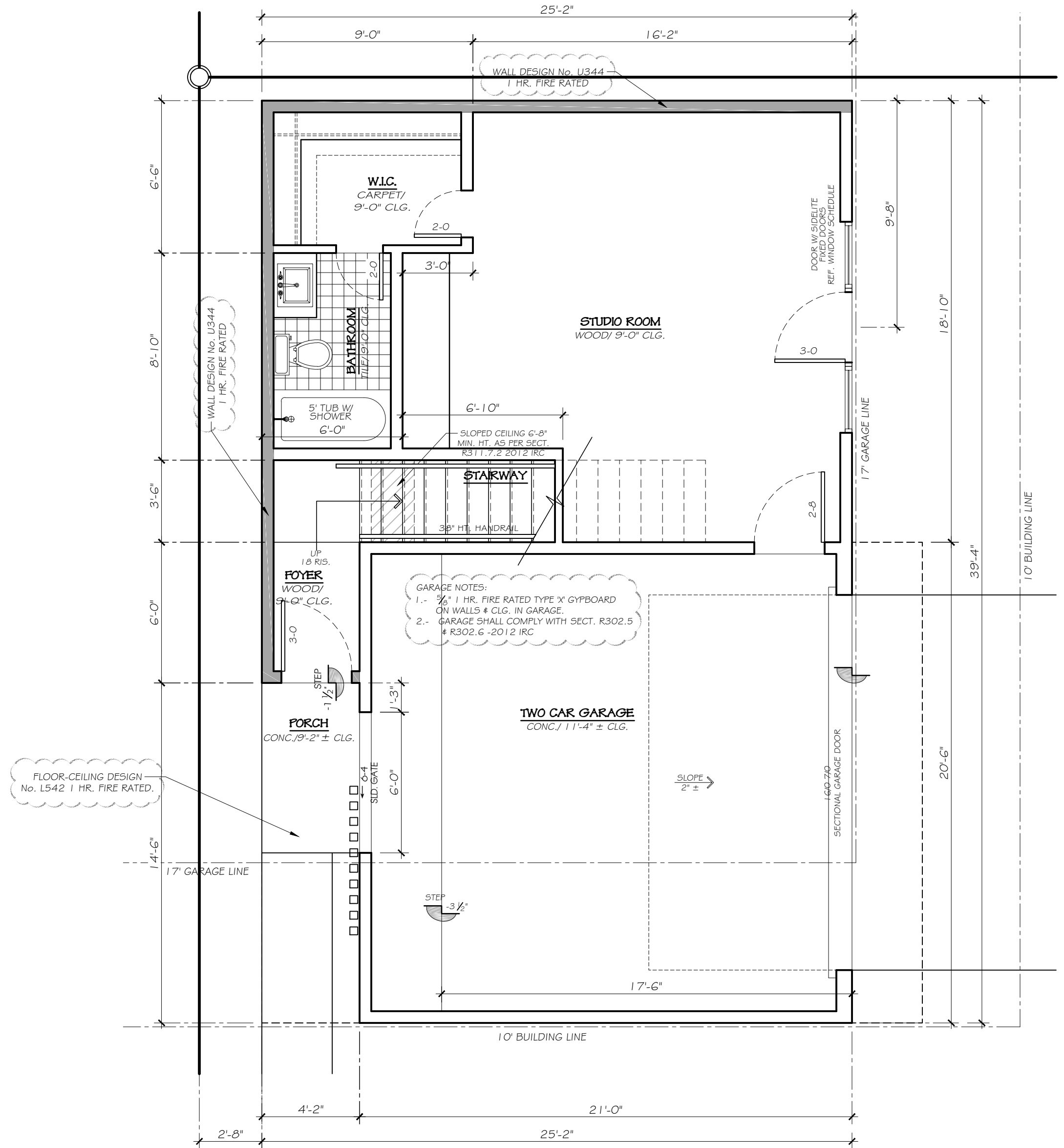


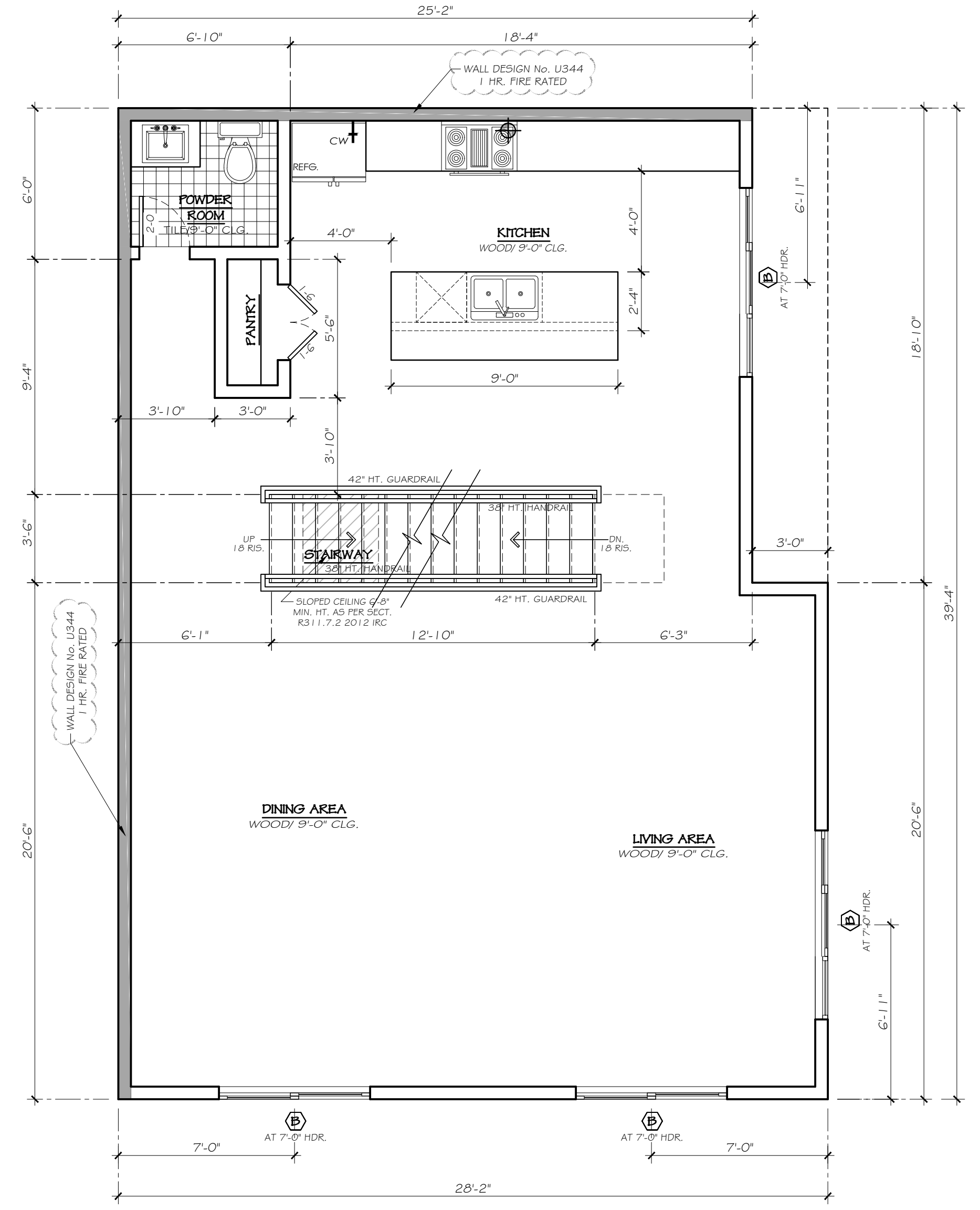
☐ PROVIDE ACCESS PANEL FOR PLUMBING AND/OR MOTOR AT TUBS AND JACUZZIS.

- GENERAL NOTES:**
- ALL WORK TO BE DONE AS PER 2012 I.R.C. AND CITY OF HOUSTON, TX CODES, AMENDMENTS AND REGULATIONS.
  - CEMENT BOARD (FULL HGT.) @ SHOWER TUB, AND WALLS SUBJECT TO WATER SPLASH.
  - TUB AND SHOWER SHALL BE TILED TO 70" ABOVE INLET.
  - GLAZING IN SHOWER, TUB ENCLOSURE, 4 DOOR, SHALL BE IMPACT RESISTANT (TEMPERED).
  - PROVIDE ACCESS PANELS @ PLUMBING WALLS, ESPECIALLY TUB WALLS.
  - FOR INSTALLATION OF AHU SEE CONTRACTOR.
  - ALL EXHAUST FANS MUST BE VENTED TO THE OUTSIDE.
  - PROVIDE G.F.I. WHERE SHOWN AS PER NATIONAL ELECTRICAL CODE.
  - GAS INSTALLATIONS AND APPLIANCES ARE TO BE CONSISTENT WITH APPLICABLE CODES AND MANUFACTURER'S SPECIFICATIONS.
  - HOT WATER HEATER TO BE INSTALLED IN ATTIC, AND IS TO INCLUDE METAL PAN WHIT DRAIN TO THE OUTSIDE. WATER HEATER LOCATION MAY VARY PER ROOF CONDITION OR CITY CODE.
  - PROVIDE PAN W/DRAIN UNDER WASHER DRAIN TO OUTSIDE.
  - FIREPLACE IS TO BE INSTALLED AS PER 2012 I.R.C. STANDARD, AND MANUFACTURER'S SPECIFICATIONS ARE TO BE POSTED @ JOB SITE.
  - ALL EXTERIOR FINISHES SHALL BE WATER RESISTANT.
  - ALL ALUMINUM SLIDING DOORS SHALL HAVE SAFETY (TEMPERED) GLASS.
  - HANDRAILS AND GUARDRAILS SHALL COMPLY WITH THE MINIMUM UNIFORMLY DISTRIBUTED LIVE LOAD AS PER TABLE R301.5 - 2012 I.R.C.
  - TREADS AND RISERS SHALL COMPLY WITH R311.7.5 - 2012 I.R.C.
  - HANDRAIL AT STAIR TO BE 34" MIN. ABOVE NOSE OF TREAD. (R311.7.8 - 2012 I.R.C.)
  - GUARDRAILS AT STAIR SHALL HAVE IMMEDIATE RAILS OR AN ORNAMENT PATTERN SUCH THAT A SPHERE 4" IN DIAMETER CANNOT PASS THROUGH. (R312.1 - 2012 I.R.C.)



**1 1st FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
~ 1st FLOOR SQ. FT. ~  
LIVING AREA : 500  
GARAGE : 430  
COVERED AREA : 122  
TOTAL: 1,052 SQ. FT.

- NOTES:**
- FLOOR PLATE HT. TO BE 9'-0" W/ 6'-8" WINDOW HEADER HGT. UNLESS OTHERWISE NOTED.
  - FLOOR PLATE HT. TO BE 9'-0" W/ 6'-8" WINDOW # DOOR HEADER HGT. UNLESS OTHERWISE NOTED.
  - FLOOR PLATE HT. TO BE 9'-0" W/ 6'-8" WINDOW # DOOR HEADER HGT. UNLESS OTHERWISE NOTED.
  - PROVIDE PLYWD. PAD IN ATTIC FOR HVAC UNIT(S) W/ REGRD. ELECT., MECH. # PLUMB.
  - PROVIDE FIRE BLOCKING IN ALL AREAS AS REQUIRED PER SECTION R602.8 # R302.11 - 2012 IRC
  - ALL ANGLED WALLS TO BE 45° U.O.N.
  - WALLS 2x6 AND/OR 2x4 WD. STUDS @ 16" o.c. AT 1st., 2nd. AND 3rd. FLOOR. REF. STRUCTURAL DRAWINGS.



**1 2nd FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
~ 2nd FLOOR SQ. FT. ~  
LIVING AREA : 1,052 SQ. FT.  
TOTAL: 1,052 SQ. FT.

**D.R. DESIGN GROUP**  
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**concept**  
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CONFIDENTIAL AND PROPRIETARY DO NOT REPRODUCE, REPLICATE, REPRODUCE, DISCLOSE OR TRANSFER THESE MATERIALS WITHOUT THE EXPRESS WRITTEN PERMISSION OF DR DESIGN GROUP

**REVISIONS**

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**ENCLAVE HOUSE #5**  
4703 WARD ST.  
HOUSTON, TX 77021

**1st & 2nd FLOOR PLAN**  
SHEET TITLE  
1/4" = 1'-0"  
SCALE  
# 2020-  
PROJECT NUMBER  
OCT. 16, 2020  
DATE  
**A01.0**  
SHEET NUMBER

07/09/2020

REVISIONS	
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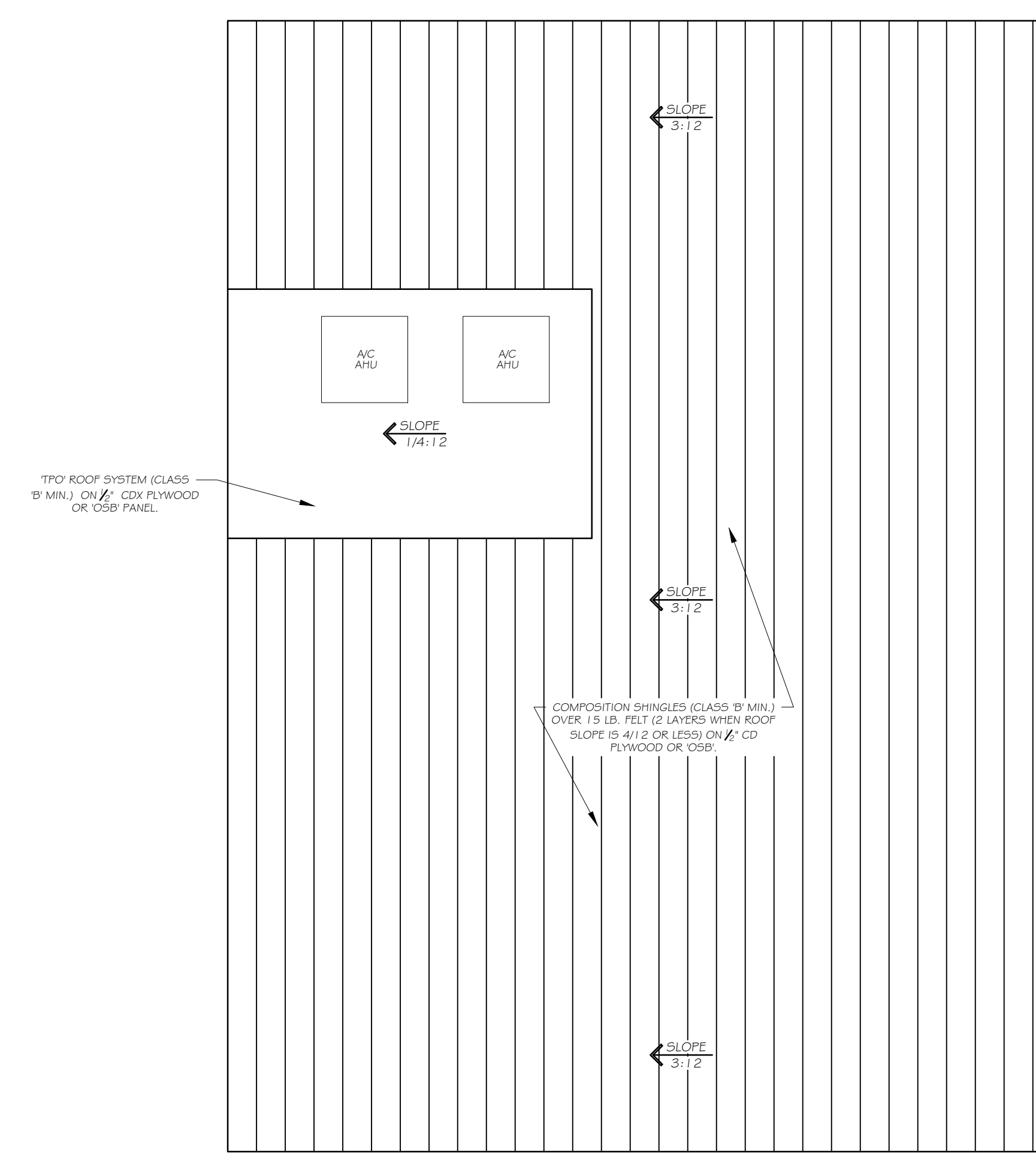
# ENCLAVE HOUSE #5

4703 WARD ST.  
HOUSTON, TX 77021

3rd FLOOR PLAN  
SHEET TITLE  
1/4" = 1'-0"  
SCALE  
# 2020-  
PROJECT NUMBER  
OCT. 16, 2020  
DATE

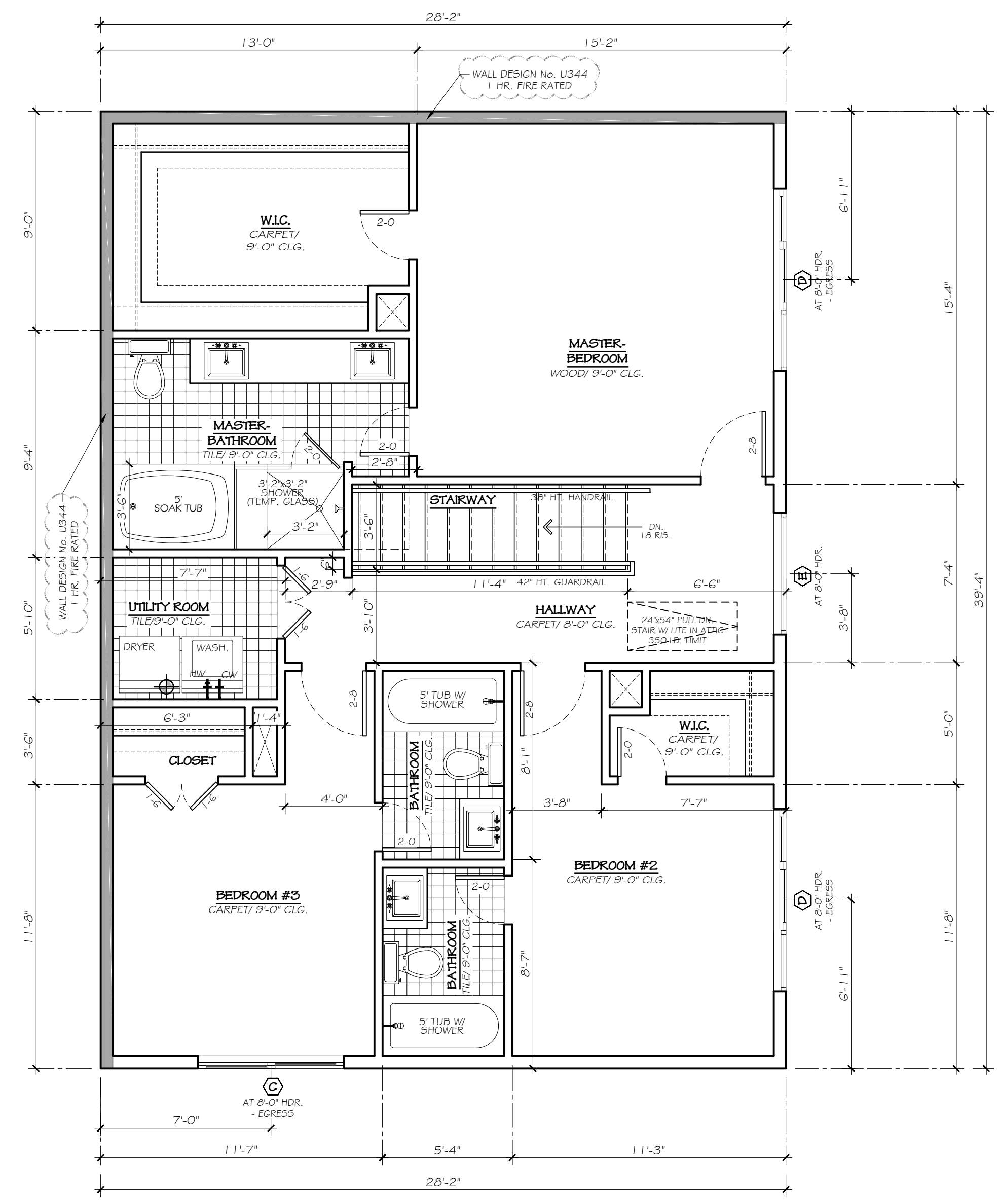
A02.0  
SHEET NUMBER

07/09/2020



**2** ROOF PLAN  
SCALE: 1/4" = 1'-0"

SQUARE FOOTAGE ITEMIZED	
FIRST FLR. LIVING AREA	: 500
SECOND FLR. LIVING AREA	: 1,052
THIRD FLR. LIVING AREA	: 1,108
TOTAL LIVING AREA	: 2,660
GARAGE	: 430
EXT. COV. AREA	: 122
TOTAL COVERED AREA	: 3,212 SQ. FT.



**1** 3rd FLOOR PLAN  
SCALE: 1/4" = 1'-0"

- 3rd FLOOR SQ. FT. -  
LIVING AREA : 1,108 SQ. FT.  
TOTAL: 1,108 SQ. FT.

REVISIONS

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# ENCLAVE HOUSE #5

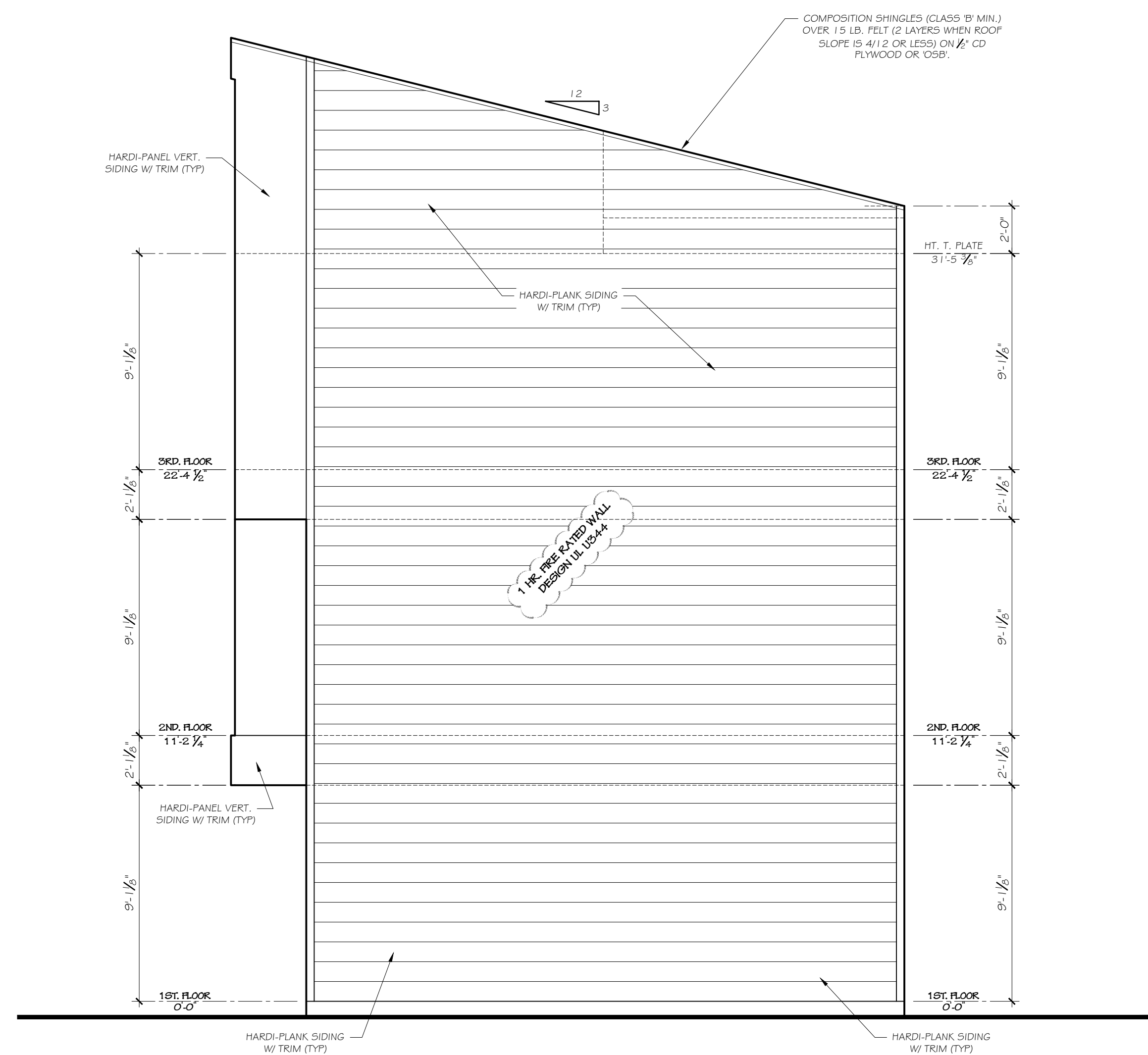
4703 WARD ST.  
HOUSTON, TX 77021

## ELEVATIONS PLAN #2

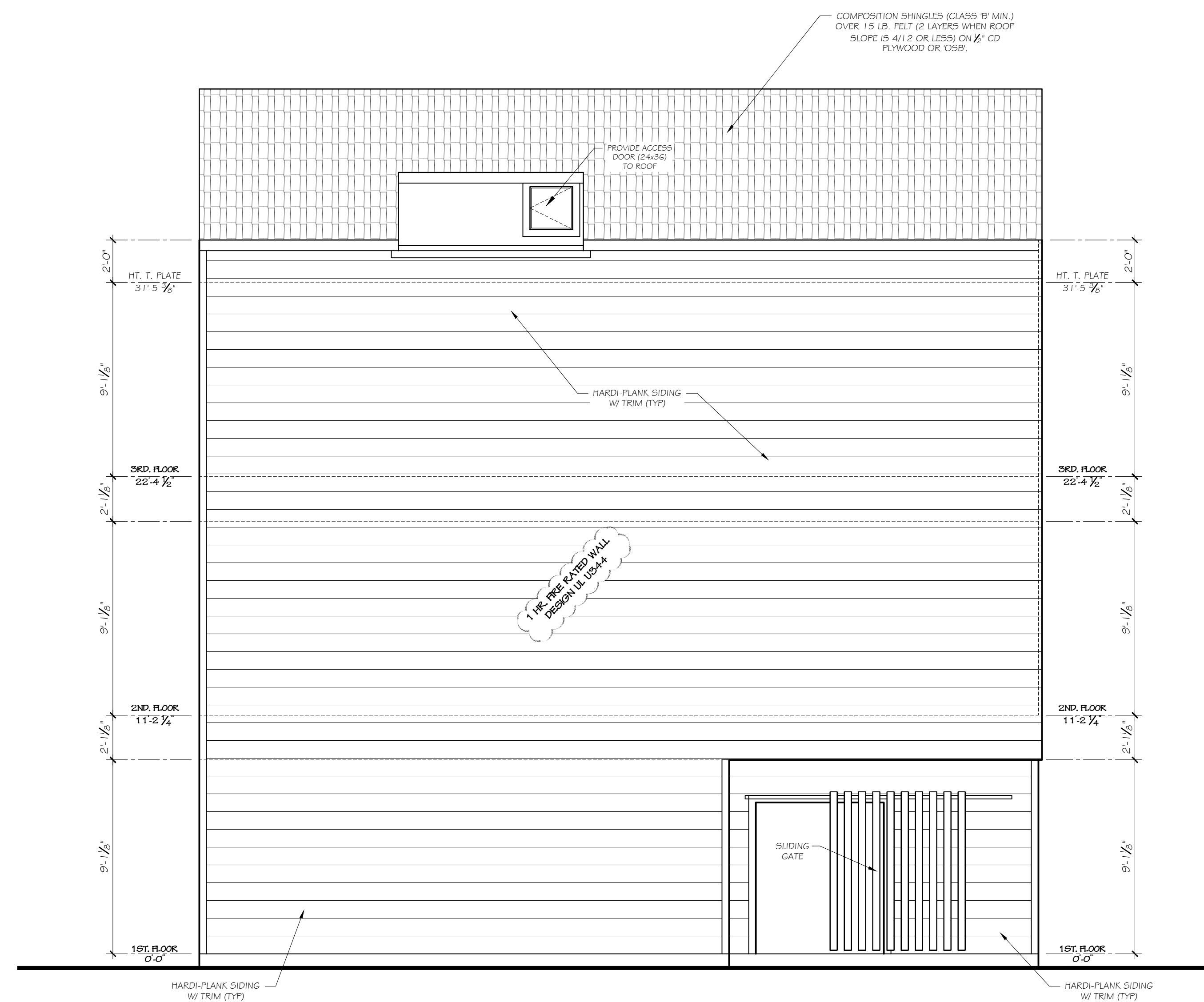
SHEET TITLE  
1/4" = 1'-0"  
SCALE  
# 2020-  
PROJECT NUMBER  
OCT. 16, 2020  
DATE

**A03.1**  
SHEET NUMBER

07/09/2020



**1** EAST ELEVATION  
SCALE: 1/4" = 1'-0"



**2** SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

NOTE:  
APPLY / INSTALL EXTERIOR FINISHES AS PER  
REQUIRED CODES AND MANUFACTURERS  
GUIDELINES, SPECS. AND RECOMMENDATIONS.