

THE STATE OF TEXAS §
COUNTY OF MONTGOMERY §

I, FRANCOIS DELILLE, MANAGER OF FNALS LLC, OWNER OF THE PROPERTIES SUBDIVIDED IN THE ABOVE AND FOREGOING MAP OF DECKER HILLS SECTION THREE REPLAT NO. 1, DO HEREBY MAKE SUBDIVISION OF SAID PROPERTY FOR AND ON BEHALF OF SAID FNALS LLC, ACCORDING TO THE LINES, STREETS, LOTS, ALLEYS, PARKS, BUILDING LINES, AND EASEMENTS THEREON SHOWN, AND DESIGNATE SAID SUBDIVISION AS DECKER HILLS SECTION THREE REPLAT NO. 1, LOCATED IN THE JOHN FOSTER SURVEY, A-205, MONTGOMERY COUNTY, TEXAS, AND ON BEHALF OF THE SAID FNALS LLC; AND DESIGNATE TO PUBLIC USE, AS SUCH, THE STREETS, ALLEYS, PARKS, AND EASEMENTS SHOWN THEREON FOREVER; AND DO HEREBY WAIVE ANY CLAIMS FOR DAMAGES OCCASIONED BY THE ESTABLISHING OF GRADES AS APPROVED FOR THE STREETS AND ALLEYS DEDICATED, OR OCCASIONED BY THE ALTERATION OF THE SURFACE OF ANY PORTION OF STREETS OR ALLEYS TO CONFORM TO SUCH GRADES; AND DO HEREBY BIND OURSELVES, OUR SUCCESSORS AND ASSIGNS TO WARRANT AND FOREVER DEFEND THE TITLE TO THE LAND SO DEDICATED.

THIS IS TO CERTIFY THAT WE, FNALS LLC, OWNER OF THE PROPERTIES SUBDIVIDED IN THE ABOVE AND FOREGOING MAP OF DECKER HILLS SECTION THREE REPLAT NO. 1, DO HEREBY MAKE SUBDIVISION OF SAID PROPERTY FOR AND ON BEHALF OF SAID FNALS LLC, ACCORDING TO THE LINES, STREETS, LOTS, ALLEYS, PARKS, BUILDING LINES, AND EASEMENTS THEREON SHOWN, AND DESIGNATE SAID SUBDIVISION AS DECKER HILLS SECTION THREE REPLAT NO. 1, LOCATED IN THE JOHN FOSTER SURVEY, A-205, MONTGOMERY COUNTY, TEXAS, AND ON BEHALF OF THE SAID FNALS LLC; AND DESIGNATE TO PUBLIC USE, AS SUCH, THE STREETS, ALLEYS, PARKS, AND EASEMENTS SHOWN THEREON FOREVER; AND DO HEREBY WAIVE ANY CLAIMS FOR DAMAGES OCCASIONED BY THE ESTABLISHING OF GRADES AS APPROVED FOR THE STREETS AND ALLEYS DEDICATED, OR OCCASIONED BY THE ALTERATION OF THE SURFACE OF ANY PORTION OF STREETS OR ALLEYS TO CONFORM TO SUCH GRADES; AND DO HEREBY BIND OURSELVES, OUR SUCCESSORS AND ASSIGNS TO WARRANT AND FOREVER DEFEND THE TITLE TO THE LAND SO DEDICATED.

THERE IS ALSO DEDICATED FOR UTILITIES AN UNOBSTRUCTED AERIAL EASEMENT FIVE (5) FEET WIDE FROM A PLANE TWENTY (20) FEET ABOVE THE GROUND UPWARD, LOCATED ADJACENT TO ALL EASEMENTS SHOWN HEREON.

FURTHER, WE, FNALS LLC, DO HEREBY DEDICATE FOREVER TO THE PUBLIC A STRIP A MINIMUM OF LAND FIFTEEN (15) FEET WIDE ON EACH SIDE OF THE CENTER LINE OF ANY AND ALL GULLIES, RAVINES, DRAKS, SLOUCHS, OR OTHER NATURAL DRAINAGE COURSES LOCATED IN THE SAID SUBDIVISION, AS EASEMENTS FOR DRAINAGE PURPOSES, GIVING MONTGOMERY COUNTY AND/OR ANY OTHER PUBLIC AGENCY THE RIGHT TO ENTER UPON SAID EASEMENTS AT ANY AND ALL TIMES FOR THE PURPOSE OF CONSTRUCTING AND/OR MAINTAINING DRAINAGE WORK AND/OR STRUCTURES.

FURTHER, ALL OF THE PROPERTY SUBDIVIDED IN THE ABOVE AND FOREGOING MAP SHALL BE RESTRICTED IN ITS USE WHICH RESTRICTIONS SHALL RUN WITH THE TITLE TO THE PROPERTY AND SHALL BE ENFORCEABLE AT THE OPTION OF MONTGOMERY COUNTY BY MONTGOMERY COUNTY OR ANY CITIZEN THEREOF, BY INJUNCTION AS FOLLOWS:

1. THAT DRAINAGE OF SEPTIC TANKS INTO ROAD, STREET, ALLEY OR OTHER PUBLIC DITCHES, EITHER DIRECTLY OR INDIRECTLY IS STRICTLY PROHIBITED.
2. PUBLIC STRUCTURES UNDER PRIVATE DRIVEWAYS SHALL HAVE A NET DRAINAGE OPENING AREA OF SUFFICIENT SIZE TO PERMIT THE FREE FLOW OF WATER WITHOUT BACKWATER, AND SHALL BE A MINIMUM OF ONE AND THREE QUARTERS (1-3/4) SQUARE FEET (18" DIAMETER PIPE CULVERT).

FURTHER, WE DO HEREBY DECLARE THAT ALL PARCELS OF LAND DESIGNATED AS LOTS ON THIS PLAT ARE ORIGINALLY INTENDED FOR THE CONSTRUCTION OF RESIDENTIAL DWELLING UNITS THEREON (OR THE PLACEMENT OF MOBILE HOMES) AND SHALL BE RESTRICTED FOR SAME UNDER THE TERMS AND CONDITIONS OF SUCH RESTRICTIONS FILED SEPARATELY, UNLESS OTHERWISE NOTED.

IN TESTIMONY WHEREOF, FNALS LLC, HAS CAUSED THESE PRESENTS TO BE SIGNED BY FRANCOIS DELILLE, MANAGER OF FNALS LLC, THEREUNTO AUTHORIZED, AND IT'S COMMON SEAL HEREUNTO AFFIXED THIS 11 DAY OF August, 2021


By FRANCOIS DELILLE,
TITLE: Manager

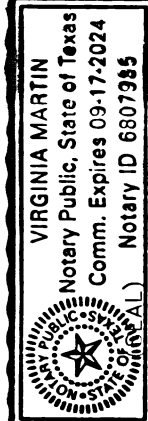
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COUNTY OF MONTGOMERY §

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED FRANCOIS DELILLE, MANAGER OF FNALS LLC, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED, AND IN THE CAPACITY THEREIN AND HEREIN SET OUT, AND AS THE ACT AND DEED OF SAID CORPORATION, GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS 11 DAY OF August, 2021.


VIRGINIA MARTIN
Notary Public, State of Texas
Comm. Expires 09-17-2024
(Notary Seal)

NOTARY PUBLIC IN AND FOR
MONTGOMERY COUNTY, STATE OF TEXAS



Final Plat DECKER HILLS

SECTION THREE REPLAT No. 1

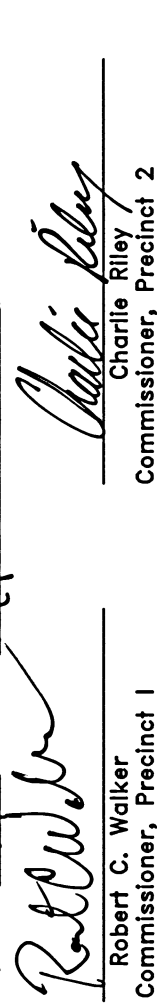
A SUBDIVISION OF
0.696 ACRE OF LAND IN THE
JOHN FOSTER SURVEY, A-205
MONTGOMERY COUNTY, TEXAS
CONTAINING: 2 LOTS, IN 1 BLOCK

Being a Replat of Lot 8 and 9, Block 6-C of Decker Hills
Section 3, Cab. D, Sht. 116-B M.C.M.R.

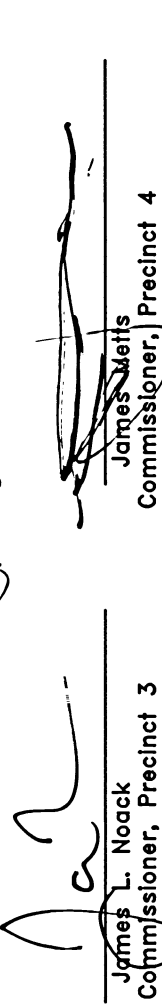
Reason for partial replat is to Reconfigure the lot line
between Lots 8 and 9

SINGLE FAMILY RESIDENTIAL
JULY 2021
OWNER/DEVELOPER
FNALS LLC,
5800 Corporate Drive, Suite B2
Houston Texas 77036
Office (281) 506-2363
Email francis@cozy-homes.com

"APPROVED BY THE COMMISSIONERS' COURT OF MONTGOMERY COUNTY,
TEXAS, THIS 14 DAY OF September, 2021.


Robert C. Walker
Commissioner, Precinct 1


Mark Keough
County Judge

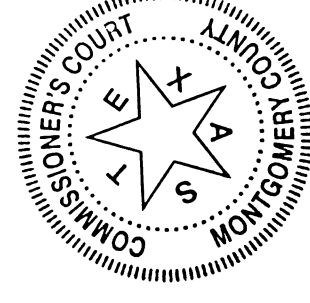

James Meits
Commissioner, Precinct 4

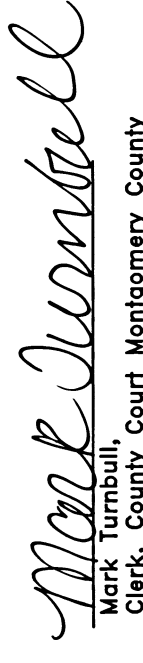

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Commissioner, Precinct 4

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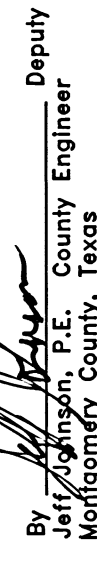
I, MARK TURNBULL, CLERK OF THE COUNTY COURT OF MONTGOMERY COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE WITHIN INSTRUMENT WITH IT'S CERTIFICATE OF AUTHENTICATION WAS FILED FOR REGISTRATION IN MY OFFICE ON September 14 DAY 2021 AT 9:30 O'CLOCK A.M. AND DULY RECORDED ON September 14 DAY 2021 AT 9:30 O'CLOCK P.M. IN CABINET Z, SHEET 7761, OF RECORD OF SAID MONTGOMERY COUNTY. WITNESS MY HAND AND SEAL OF OFFICE, AT CONROE, MONTGOMERY COUNTY, TEXAS, THE DAY AND DATE LAST SHOWN ABOVE WRITTEN.



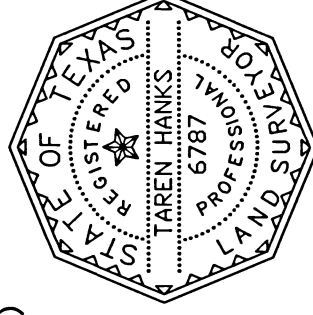

Mark Turnbull,
Clerk, County Court Montgomery County

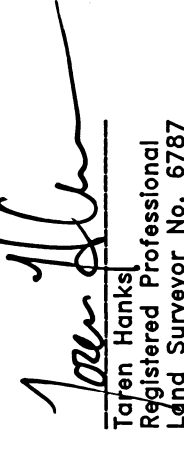
I, JEFF JOHNSON P.E. COUNTY ENGINEER OF MONTGOMERY COUNTY, TEXAS, DO HEREBY CERTIFY THAT THE PLAT OF THIS SUBDIVISION COMPLIES WITH ALL OF THE EXISTING RULES AND REGULATIONS OF THIS OFFICE AS ADOPTED BY THE MONTGOMERY COUNTY COMMISSIONERS' COURT.

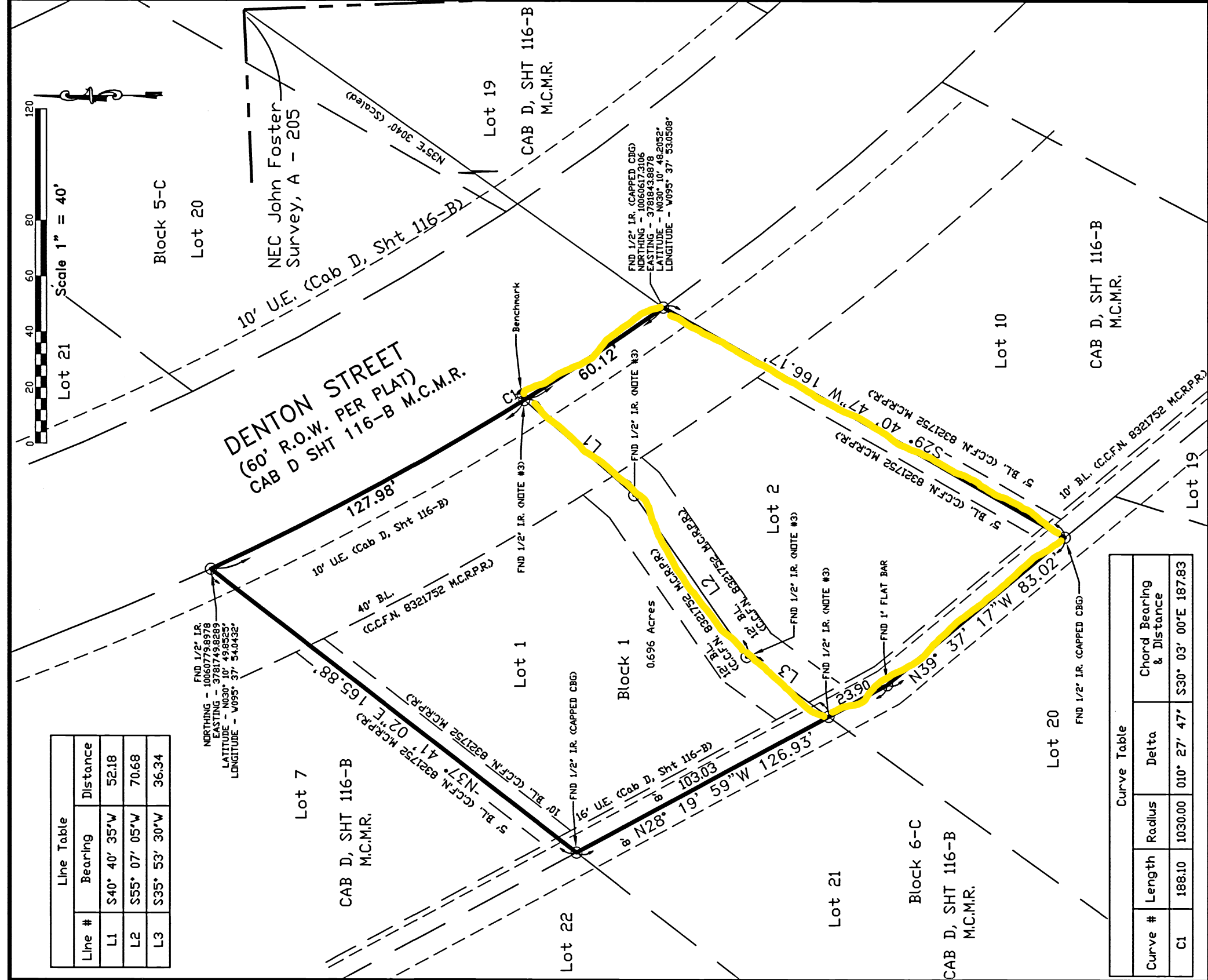
"I FURTHER CERTIFY THAT THE PLAT OF THIS SUBDIVISION COMPLIES WITH REQUIREMENTS FOR INTERNAL SUBDIVISION DRAINAGE AS ADOPTED BY COMMISSIONERS' COURT; HOWEVER, NO CERTIFICATION IS HEREBY GIVEN AS TO THE EFFECT OF DRAINAGE FROM THIS SUBDIVISION ON THE INTERCEPTING DRAINAGE ARTERY OF PARENT STREAM OR ON ANY OTHER AREA OF SUBDIVISION WITHIN THE WATERSHED.

By 
Jeff Johnson, P.E. Deputy
Montgomery County, Texas

Surveyor's Certification
I, Taren Hanks, am registered under the laws of the State of Texas to practice the profession of Land Surveying and hereby certify that the above subdivision is true and correct; was prepared from an actual survey on the property made under my supervision on the ground; that the elevation benchmark reflected on the face of the plat was established as boundaries of the original tract to be subdivided of reference have been marked with iron (or other suitable permanent metal) pipe or rods having a diameter of not less than five-eighths (5/8") and a length of not less than three feet (3'); and that the plat boundary corners have been tied to the nearest survey corner.

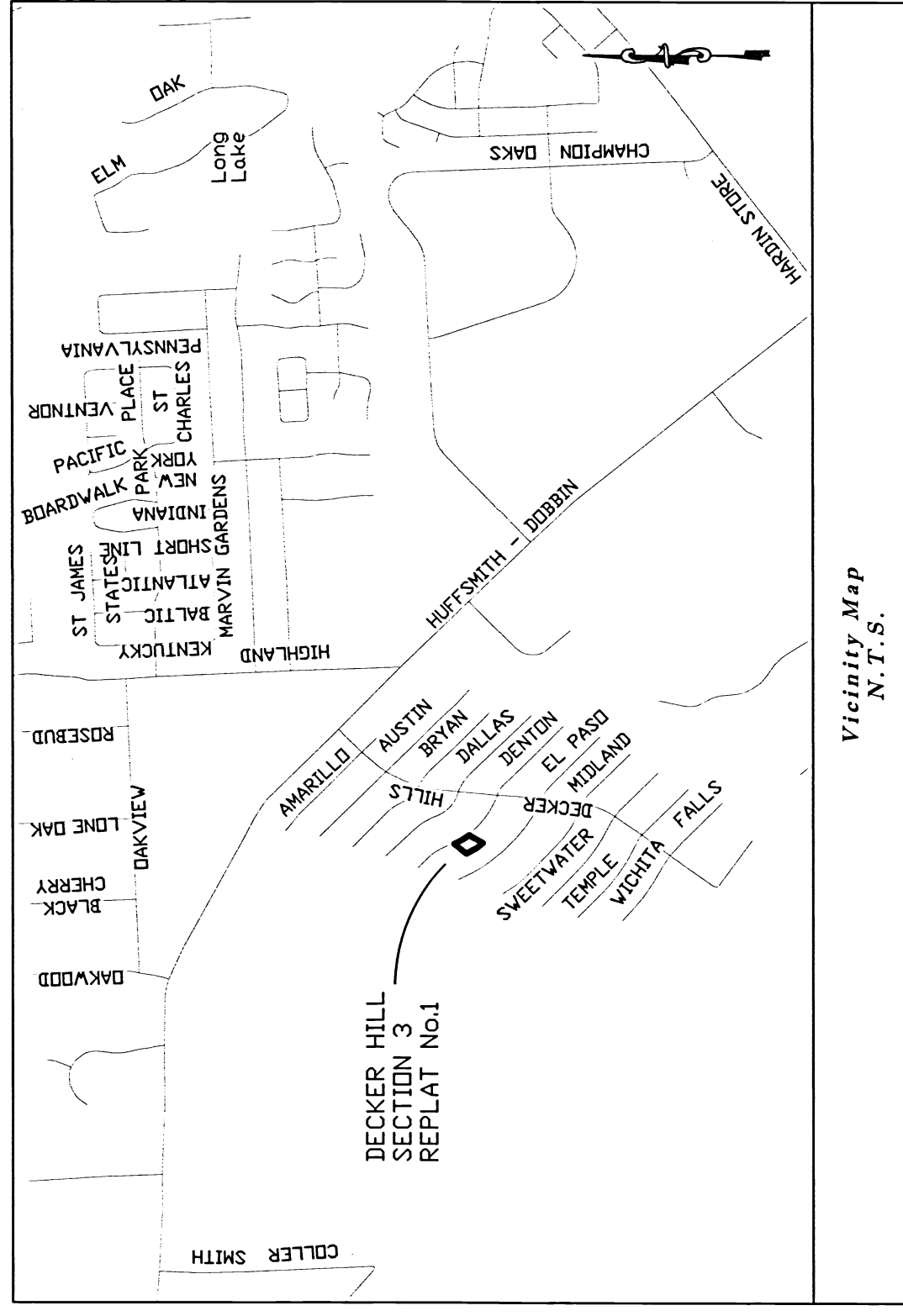



Taren Hanks
Registered Professional
Land Surveyor No. 6787



Line #	Bearing	Distance
L1	S40° 40' 35\"	52.18
L2	S55° 07' 05\"	70.68
L3	S35° 53' 30\"	36.34

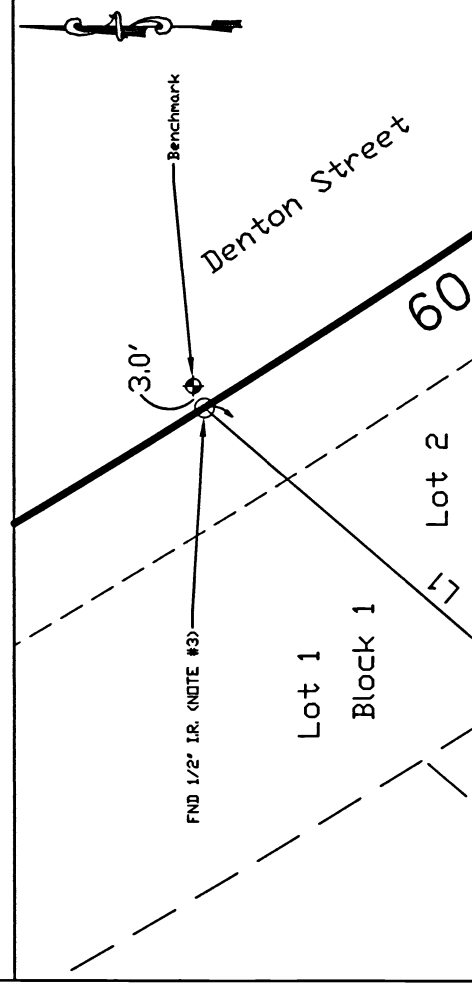
Curve #	Length	Radius	Delta	Chord Bearing & Distance
C1	188.10	1030.00	010° 27' 47\"	S30° 03' 00\" E 187.83



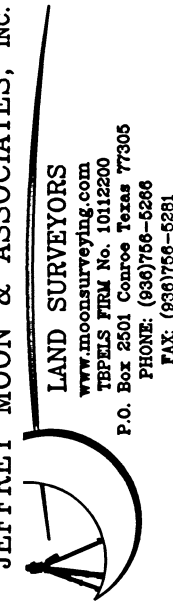
Vicinity Map
N.T.S.

BENCHMARK DETAIL N.T.S.

The site benchmark consists of a three inch disk set in a concrete column, & stamped DHRP1. Located 3' Northeast from the Northwest corner of Lot 9
Elevation= 192.84 Based on NAVD '88 Geoid '12B



- NOTES:
- 1) ALL BEARINGS AND COORDINATES SHOWN HEREON ARE GRID AND BASED UPON THE TEXAS STATE PLANE COORDINATE SYSTEM, NAD 83, TEXAS CENTRAL ZONE (2002 ADJ) (FIPS 4203) AND MAY BE BROUGHT TO THE SURFACE BY APPLYING A COMBINED SCALE FACTOR OF 1.0000300. ALL DISTANCES SHOWN HEREON ARE GROUND MEASUREMENTS.
 - 2) THE SITE BENCHMARK CONSISTS OF A 3 INCH BRASS DISK IN A 6 INCH CONCRETE COLUMN, & STAMPED "DHRP1" ELEVATION= 192.84 BASED ON NAVD88 GEOD 12B. (SEE BENCHMARK DETAIL)
 - 3) THE SUBJECT PROPERTY LIES IN ZONES "X", ACCORDING TO F.I.R.M. PANEL NO. 48339C04956, WITH AN EFFECTIVE DATE OF AUGUST 18, 2014.
 - 4) ALL Fnd 1/2" IRON RODS HAVE A SURVEY CAP MARKED "JEFF MOON R.P.L.S. 4639" AT ALL CORNERS UNLESS OTHERWISE NOTED.
 - 5) THERE IS A 5 FOOT SIDE BUILDING LINE AND A 10 FOOT REAR BUILDING LINE ALONG ALL LOTS THROUGHOUT THIS PLAT, UNLESS OTHERWISE NOTED.
 - 6) Subject to those recorded in Cabinet D, Sheet 116-B of the Map Records of Montgomery County those & recorded under Montgomery County Clerk's File Nos. 8227681, 843230 and 8321752.



JEFFREY MOON & ASSOCIATES, INC.
LAND SURVEYORS
www.jmoonsurveying.com
P.O. Box 2601 Co. Rd. 1128
77005
PHONE: (681)766-6286
FAX: (681)766-6281

DOC # 2021130375
Cabinet 00Z Sheet 7761