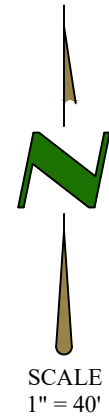
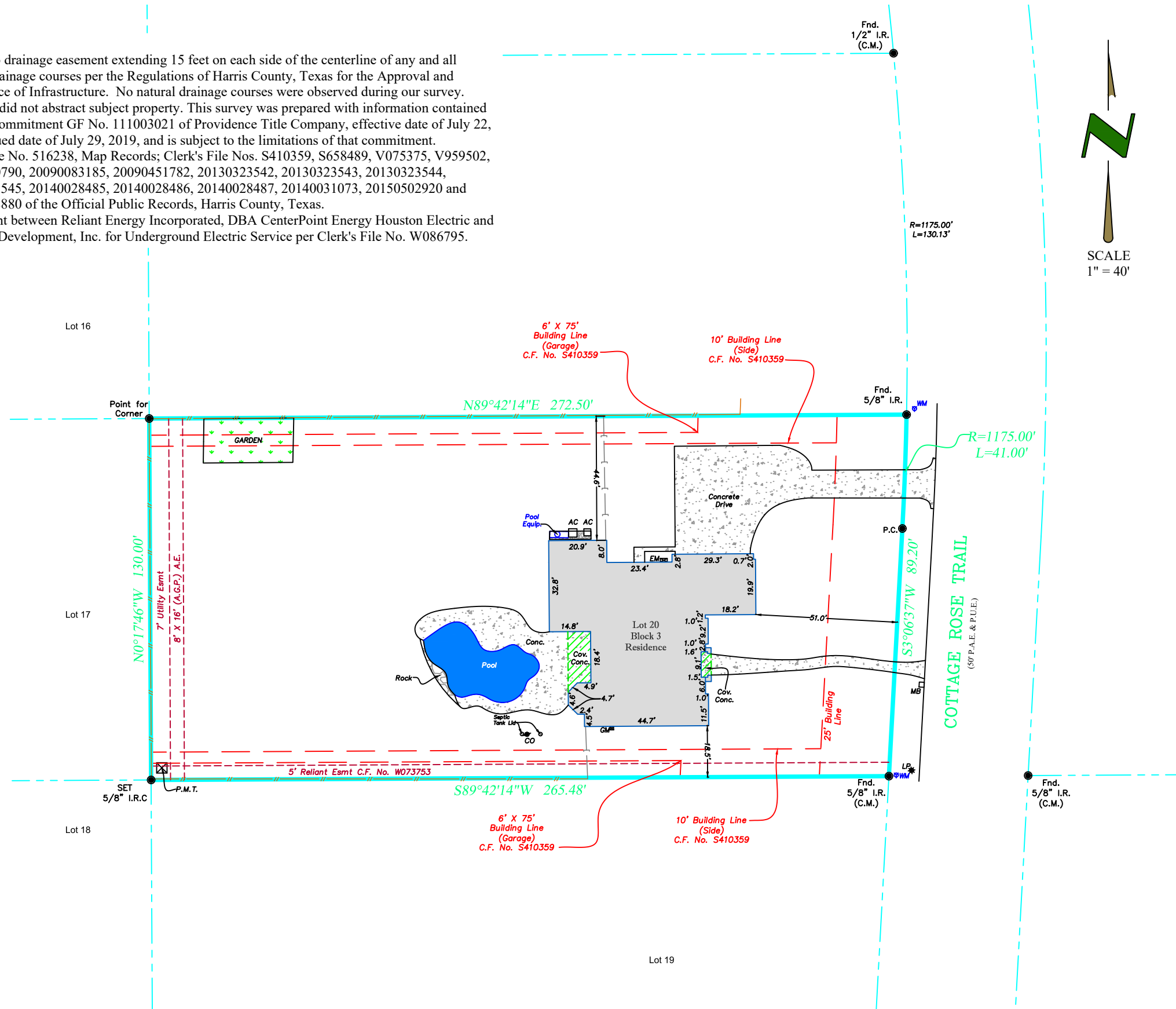


16607 COTTAGE ROSE TRAIL

Notes:

- Subject to drainage easement extending 15 feet on each side of the centerline of any and all natural drainage courses per the Regulations of Harris County, Texas for the Approval and Acceptance of Infrastructure. No natural drainage courses were observed during our survey.
- Surveyor did not abstract subject property. This survey was prepared with information contained in Title Commitment GF No. 111003021 of Providence Title Company, effective date of July 22, 2019, issued date of July 29, 2019, and is subject to the limitations of that commitment.
- Film Code No. 516238, Map Records; Clerk's File Nos. S410359, S658489, V075375, V959502, 20070240790, 20090083185, 20090451782, 20130323542, 20130323543, 20130323544, 20130323545, 20140028485, 20140028486, 20140028487, 20140031073, 20150502920 and 20150538880 of the Official Public Records, Harris County, Texas.
- Agreement between Reliant Energy Incorporated, DBA CenterPoint Energy Houston Electric and Mustang Development, Inc. for Underground Electric Service per Clerk's File No. W086795.



PROPERTY DESCRIPTION:
 LOT 20, BLOCK 3, OF LAKES OF ROSEHILL, SECTION FOUR (4), AN ADDITION TO HARRIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN FILM CODE NO. 516238, OF THE MAP RECORDS, HARRIS COUNTY, TEXAS.

Drafter/Field Crew:	C.B. / T.C
Date :	08/02/19
ASC No.	5697
Buyer:	KARA AND JAMES MURRAY
Client	PROVIDENCE TITLE- CYPRESS
G.F. No.	111003021



PROVIDENCE TITLE- CYPRESS
 10920 FRY ROAD, SUITE 850 CYPRESS, TEXAS 77433
 16607 COTTAGE ROSE TRAIL CYPRESS, TEXAS 77429

LEGEND - C.M. = Controlling Monument; Fnd. = Found; I.R. = Iron Rod; I.P. = Iron Pipe
 OHE = Overhead Electric; I.R.S. = Set Iron Rods 1/2" diameter with yellow cap stamped
 "Arthur Surveying Company". All found iron rods are 1/2" diameter unless otherwise noted.
 (fence/post) — x — centerline — (overhead electric) — OHE —

FLOOD NOTE:
 BY PERFORMING A SEARCH WITH THE LOCAL GOVERNING MUNICIPALITY OR WWW.FEMA.GOV, THE PROPERTY APPEARS TO BE LOCATED IN ZONE X SHADED. THIS PROPERTY WAS FOUND IN HARRIS COUNTY UNINCORPORATED AREAS, COMMUNITY NUMBER 480287 0215 L, DATED JUNE 18, 2007.

The undersigned have/has received and reviewed a copy of this survey.

X _____

X _____

DATE: _____

SURVEYORS CERTIFICATION 08/02/19

I hereby certify that this map represents a survey made upon the ground under my supervision. To the best of my knowledge, this survey is based on the available record and physical evidence obtained at the time of survey and that there are no visible discrepancies, deed line conflicts, encroachments of record, protrusions, overlapping of improvements, easements or roadways except as shown hereon. The bearings shown hereon are based on the above referenced recorded map or plat unless otherwise noted.

ARTHUR LAND SURVEYING
 11111 Richmond Ave, Suite 150 | Houston, TX 77082
 281-937-2731 Branch no. 10194357
 arthursurveying.com

LISA DOBROWSKI
 6544
 PROFESSIONAL LAND SURVEYOR