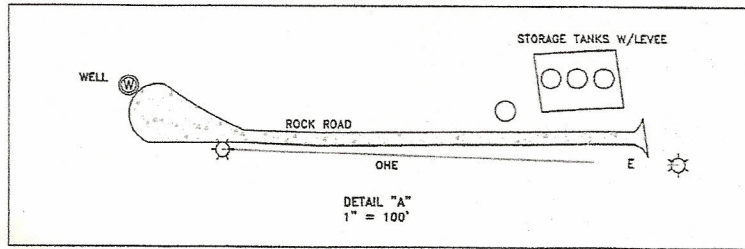
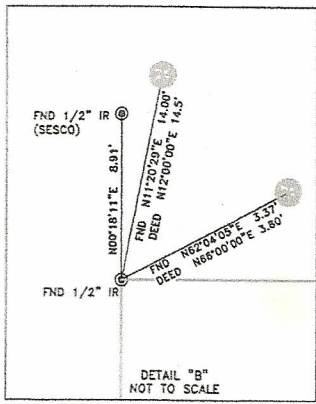


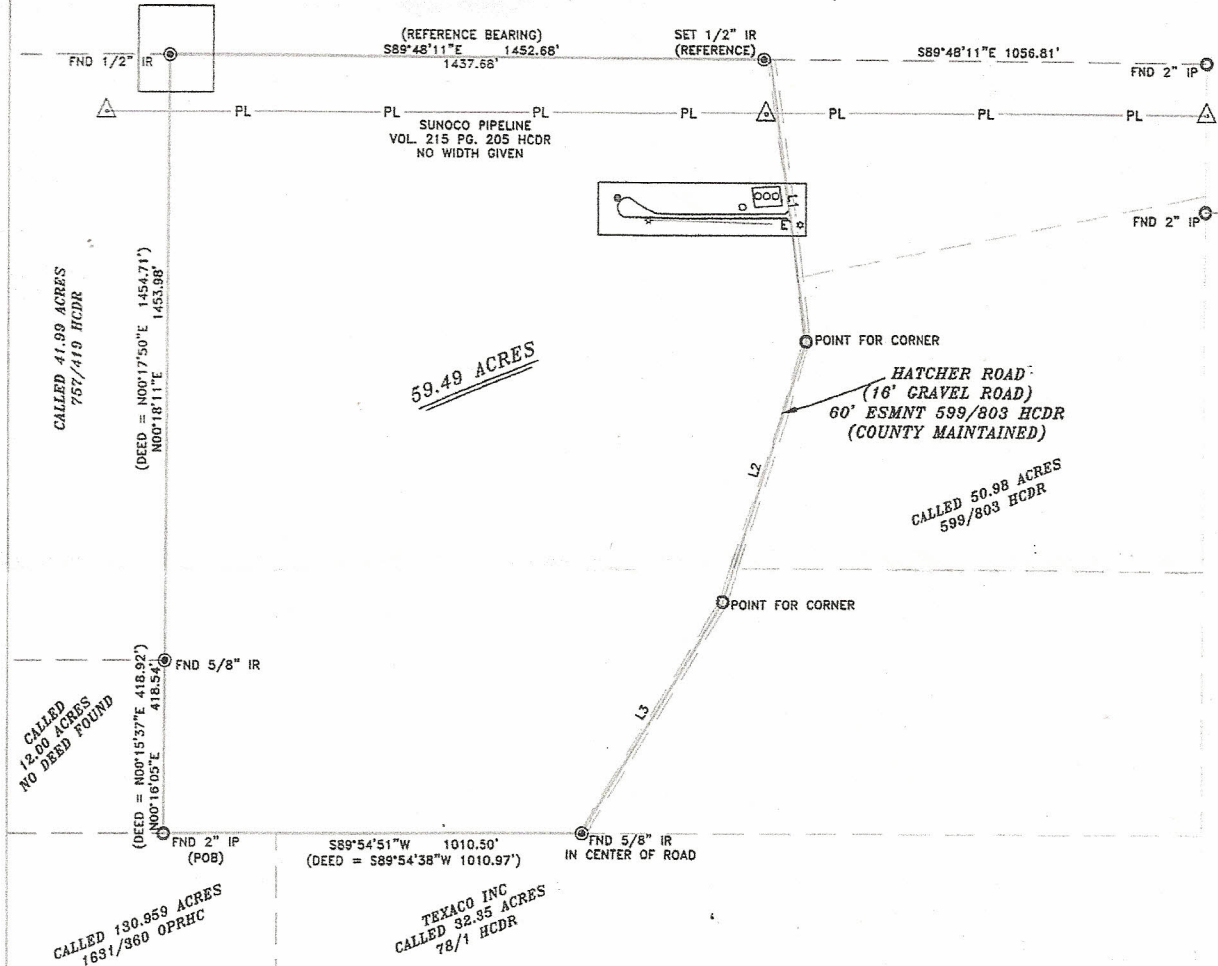
1" = 300'



NOW OR FORMERLY
CHARLES BOOKS
CALLED 22.5 ACRES
488/481 HCDR

TRANS AMER. RESOURCES
CALLED 59.16 ACRES
1158/392 OPRHC

NOTE: WELL SIGN
(F.I.G. ENERGY LLC (580) 242-5051)
CASWELL TRUST NO. 1 148 ACRES
STORAGE TANKS
(F.I.G. ENERGY LLC)
CASWELL TRUST NO 1 148 ACRES



CALLLED 41.99 ACRES
757/419 HCDR

CALLLED
12.00 ACRES
NO DEED FOUND

CALLLED 130.959 ACRES
1631/360 OPRHC

TEXACO INC
CALLLED 32.35 ACRES
78/1 HCDR

LINE	LENGTH	BEARING	DEED CALLS
L1	682.77	S07°35'21"E	S07°35'21"E 682.77'
L2	660.70	S17°34'55"W	S17°34'55"W 660.70'
L3	655.85	S31°28'22"W	S31°24'40"W 656.25'

I, J.D. McCLENNAN DO HEREBY CERTIFY THAT THIS IS A TRUE AND ACCURATE PLAT OF A 59.49 ACRE TRACT IN THE B.B.B. & C RR SURVEY, SECTION 72 ABSTRACT NUMBER 111, HARDIN COUNTY, TEXAS AND SHOWING ALL IMPROVEMENTS THEREON. THERE ARE NO OVERLAPPING OF IMPROVEMENTS EXCEPT AS SHOWN HEREON. THERE ARE NO VISIBLE SIGNS OF ENCROACHMENTS AT THE TIME OF THE SURVEY EXCEPT AS SHOWN. THE UNDERSIGNED SURVEYOR DOES NOT WARRANT OR SUBSCRIBE TO THE ACCURACY OR SCALE OF FLOOD ZONE INFORMATION WHICH IS DERIVED FROM THE ABOVE REFERENCED FLOOD INSURANCE RATE MAP. USE OF THIS SURVEY FOR ANY OTHER PURPOSE OR BY ANY OTHER PARTIES IS AT THEIR OWN RISK AND THE UNDERSIGNED SURVEYOR IS NOT RESPONSIBLE FOR ANY LOSS RESULTING THEREFROM.

SURVEYED FOR:
CHRISTOPHER COLBEY
& JUSTIN WAGSTAFF
HATCHER ROAD

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B-LINE SURVEYORS INC

PREPARED BY:

B-LINE SURVEYORS INC.



NO SPECIAL FLOOD HAZARD
NO PANEL PRINTED

DRAWN BY:	CCJR	DATE:	7/1/13
CHECKED BY:	CCS	CFNO:	54680
JOB NO.:	13-264	BY/PG:	145/74



CIVIL ENGINEERING/LAND SURVEYING
P.O. BOX 2440 ORANGE, TX 77631
(409) 883-6688

NOTE:

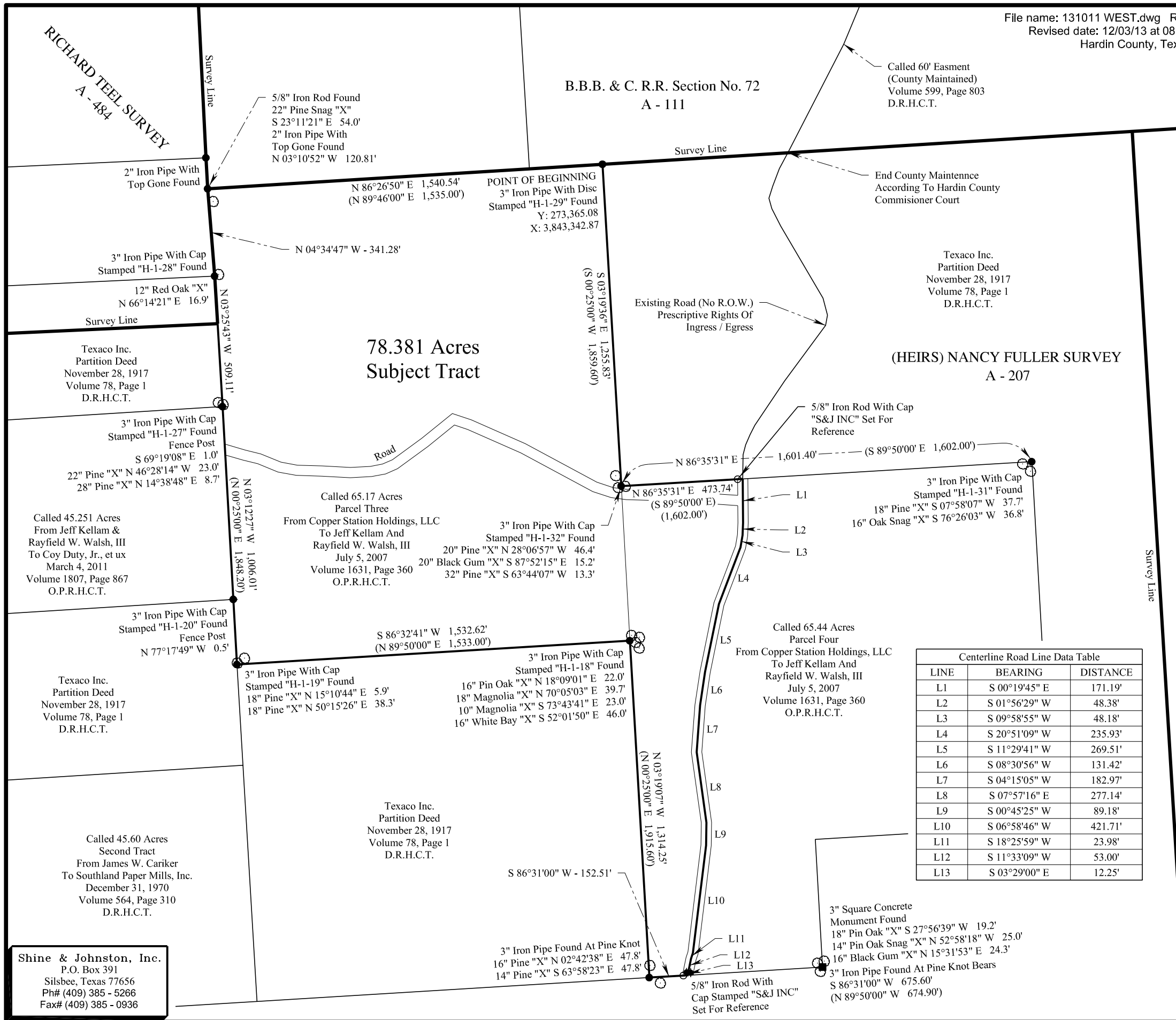
ALL THE HORIZONTAL CONTROL IS REFERRED TO THE TEXAS STATE PLANE COORDINATE SYSTEM, LAMBERT PROJECTION, NAD 27 DATUM, CENTRAL ZONE ALL BEARINGS, DISTANCES AND ACREAGES ARE GRID. THE THETA CORRECTION AT A 3" IRON PIPE WITH CAP "H-1-29" FOUND AT THE NORTHEAST CORNER OF CALLED 65.17 ACRES IS +03°00'34" AND THE SCALE FACTOR IS 0.999959271.

I, Steven Ray Boucher, Registered Professional Land Surveyor No. 5056 In The State Of Texas, Do Hereby Certify That This Is An Accurate Plat Showing A 78.381 Acre Tract Being All Of A Called 65.17 Acre Tract (Third Parcel) And Part Of A Called 65.44 Acre Tract (Fourth Parcel) In The (Heirs) Nancy Fuller Survey, Abstract 207, Hardin County, Texas. Said 65.17 Acre Tract (Parcel Three) And Said 65.44 Acre Tract (Parcel Four) Are More Particularly Described In Volume 1631, Page 360 Of The Official Public Records Of Hardin County, Texas.

There Are No Encroachments Or Protrusions Apparent On The Ground, Except As Shown, And Said Property Has Access To And From A Dedicated Roadway. This Survey Was Performed On This Date In Connection With The Transaction Described In G.F. No. 00055159 And All Items In The Schedule 'B' Apply.

Use Of This Survey For Any Other Purpose Or By Any Other Parties Shall Be At Their Own Risk And The Undersigned Surveyor Is Not Responsible For Any Loss Resulting There From.

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Called 60' Easment
 (County Maintained)
 Volume 599, Page 803
 D.R.H.C.T.

End County Maintenance
 According To Hardin County
 Commissioner Court

Texaco Inc.
 Partition Deed
 November 28, 1917
 Volume 78, Page 1
 D.R.H.C.T.

Called 45.251 Acres
 From Jeff Kellam &
 Rayfield W. Walsh, III
 To Coy Duty, Jr., et ux
 March 4, 2011
 Volume 1807, Page 867
 O.P.R.H.C.T.

Texaco Inc.
 Partition Deed
 November 28, 1917
 Volume 78, Page 1
 D.R.H.C.T.

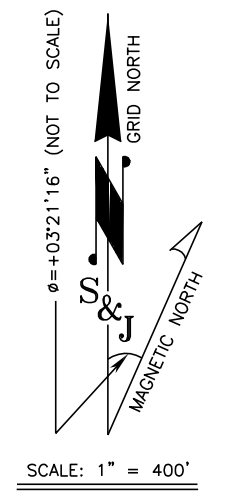
Called 45.60 Acres
 Second Tract
 From James W. Cariker
 To Southland Paper Mills, Inc.
 December 31, 1970
 Volume 564, Page 310
 D.R.H.C.T.

Shine & Johnston, Inc.
 P.O. Box 391
 Silsbee, Texas 77656
 Ph# (409) 385 - 5266
 Fax# (409) 385 - 0936

(HEIRS) NANCY FULLER SURVEY
 A - 207

JAMES WALEA SURVEY
 A - 493

LINE	BEARING	DISTANCE
L1	S 00°19'45" E	171.19'
L2	S 01°56'29" W	48.38'
L3	S 09°58'55" W	48.18'
L4	S 20°51'09" W	235.93'
L5	S 11°29'41" W	269.51'
L6	S 08°30'56" W	131.42'
L7	S 04°15'05" W	182.97'
L8	S 07°57'16" E	277.14'
L9	S 00°45'25" W	89.18'
L10	S 06°58'46" W	421.71'
L11	S 18°25'59" W	23.98'
L12	S 11°33'09" W	53.00'
L13	S 03°29'00" E	12.25'



Survey Plat Showing An
 78.381 Acres Tract Being All Of A
 Called 65.17 Acre Tract (Parcel Three) And
 A Westerly Portion Of A Called 65.44 Acre
 Tract (Parcel Four)
 (Volume 1631, Page 360)
 (Official Public Records of Hardin County, Texas)
 In The
 (Heirs) NANCY FULLER SURVEY
 ABSTRACT 207
 Hardin County, Texas



Steven Ray Boucher
 Steven Ray Boucher
 Registered Professional Land Surveyor No. 5056