

NOTE:  
The building is designed  
for a 140 mph wind load.

# ALPINE — Home

Jeff Meisel  
13145 6th st  
Santa Fe Tx.77520  
213-300-3888

Brad Strickland  
2021 Caravel  
League City, Tx 77573  
832-488-7746

13145 6TH ST, SANTA FE TEXAS 77510  
Survey of 1.01 acres (44,032 Square Feet) of land out of and a part of Outlot 365, of ALTA LOMA OUTLOTS, a subdivision in Galveston County, Texas, according to the map or plat thereof recorded in Volume 113, Page 9, of the Map Records in the Office of the County Clerk of Galveston County, Texas, and being more particularly described by metes and bounds hereon.



*Benjamin Berardino P.E.*

1/18/2021

**BMS**  
BUILDINGS AND ARCHITECTURE

BMSaSo.com 832-488-7746

BUILDER:

13145 6TH ST  
SANTA FE TX 77510

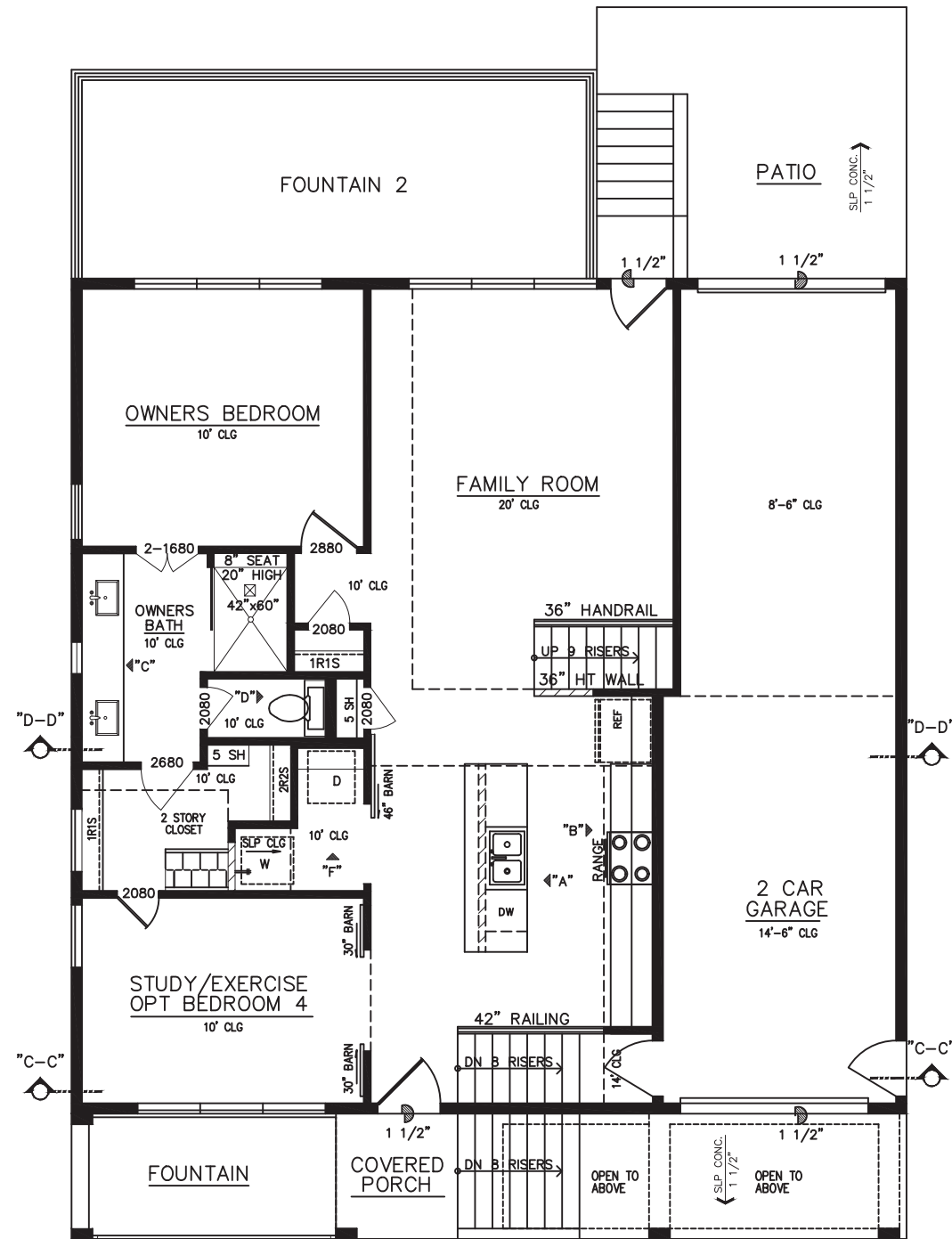
ISSUE DATE  
12/15/20

PLAN NAME  
ALPINE

PLAN NUMBER  
7088

COVER SHEET

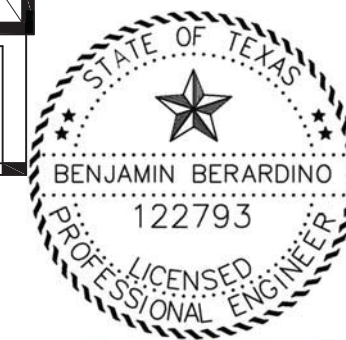
SQUARE FOOTAGES	
	LAYOUT 1
First Floor Living	1150
Second Floor Living	903
Total Living	2053
1st Floor GARAGE (A/C)	450
Total Space	2503
Porch & Patio	192/173
Fountains	65/251
Balcony	70
Total all areas	3254



1ST FLOOR PLAN



2ND FLOOR PLAN



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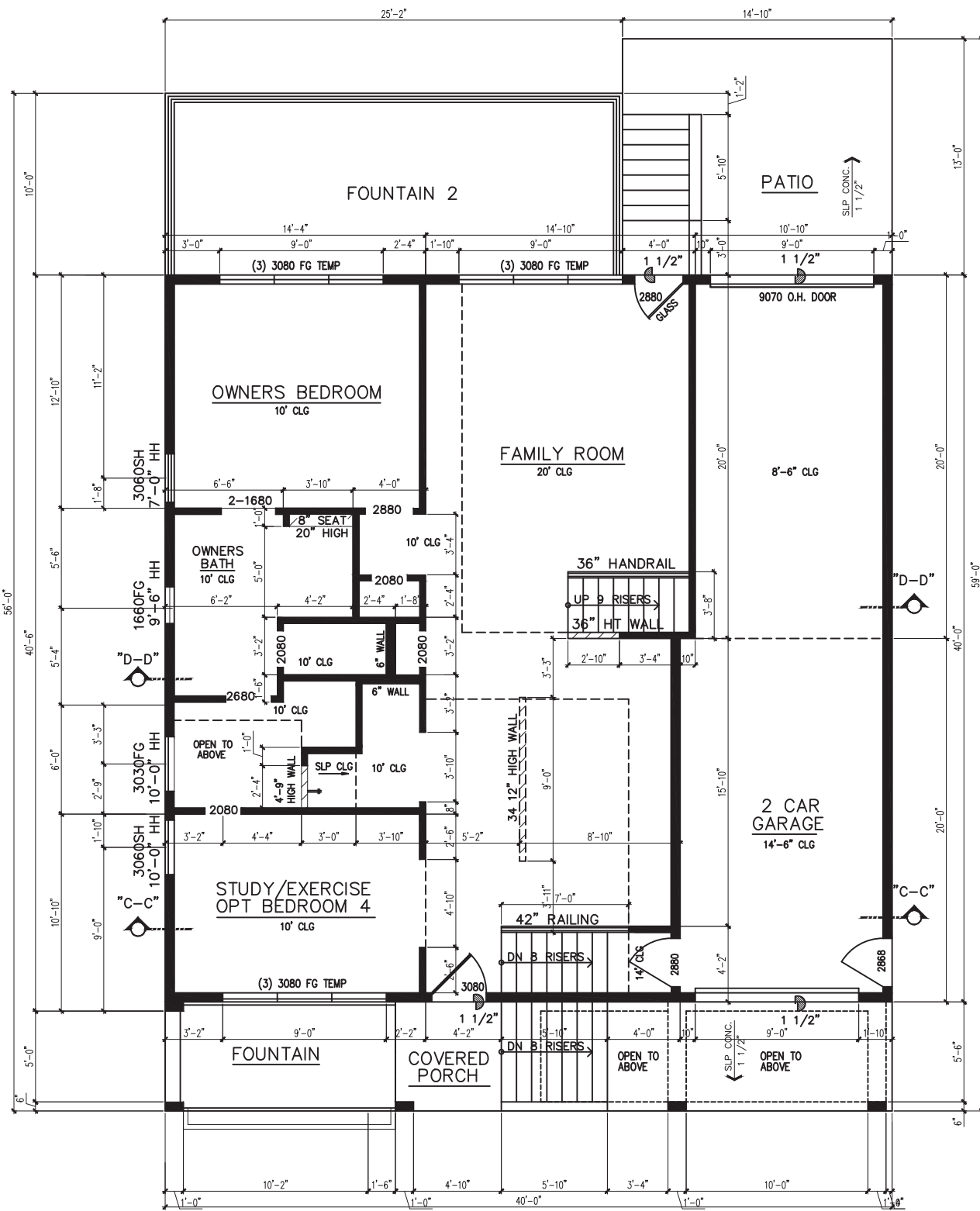
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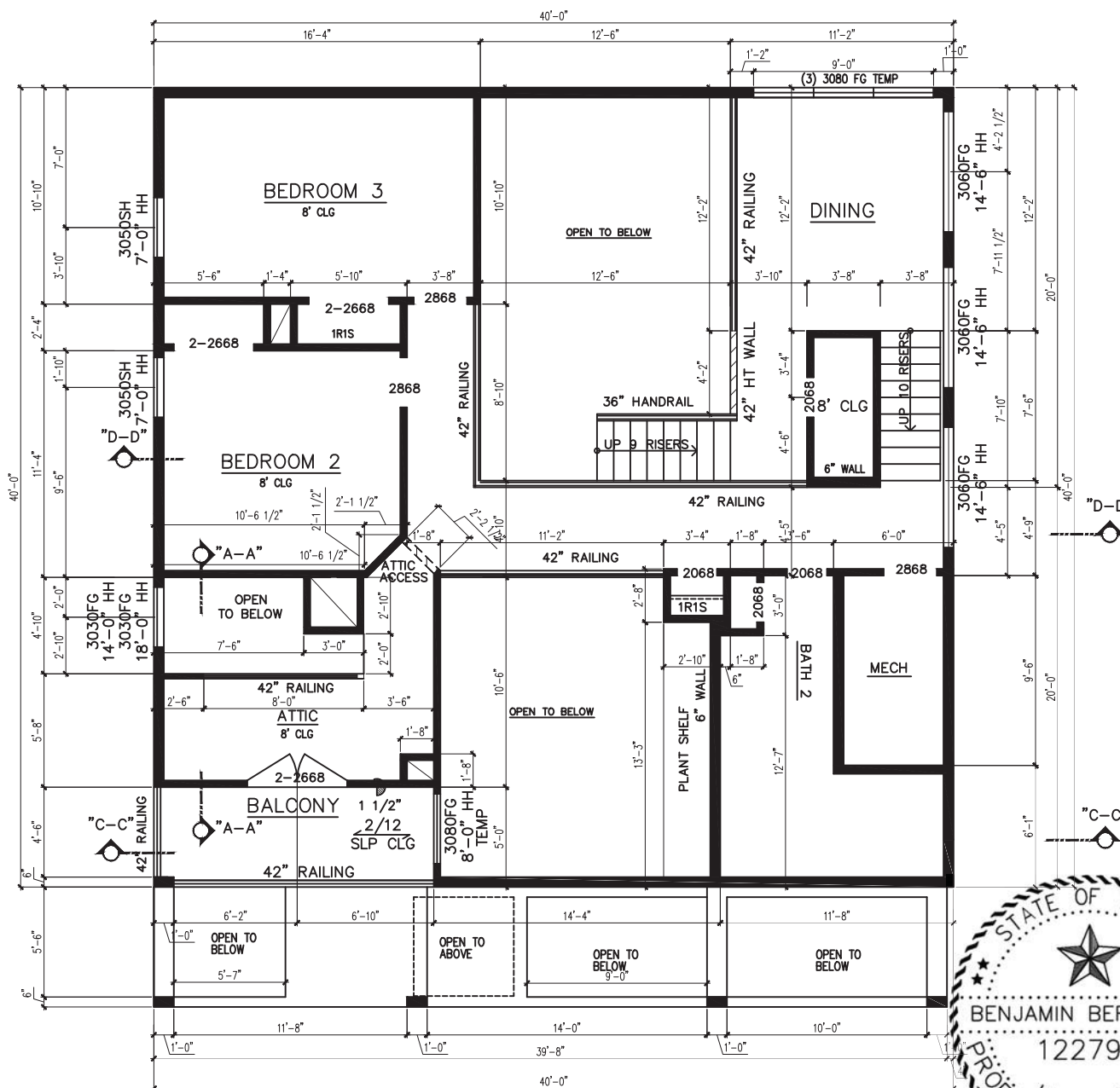
PLAN NAME  
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TRIM  
PLAN



1ST FLOOR FRAME



2ND FLOOR FRAME



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



















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FRAME PLAN

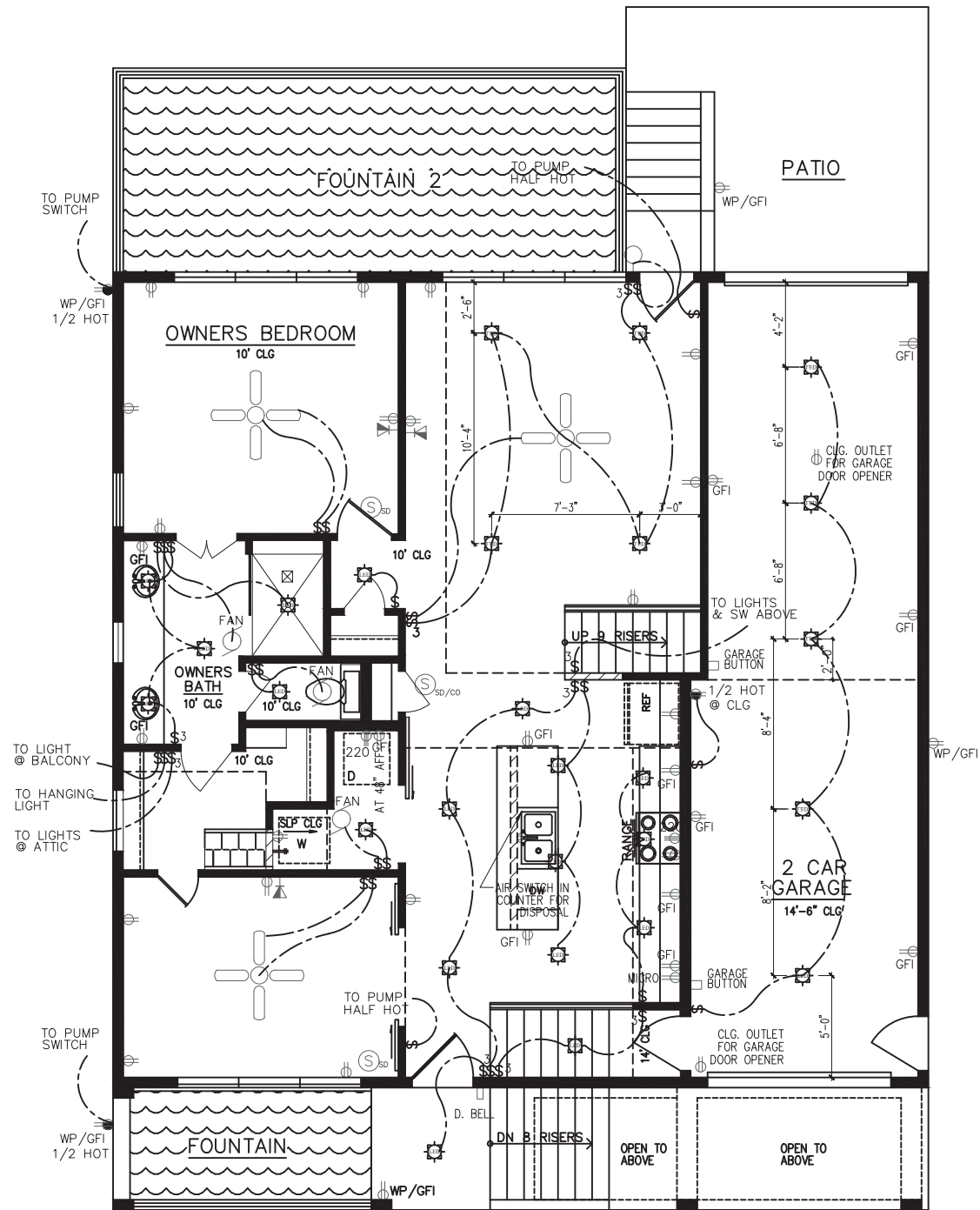
**ELECTRICAL LEGEND**

-  CEILING MOUNTED LIGHT
-  HANGING LIGHT FIXTURE
-  WALL MOUNTED LIGHT
-  RECESSED LED CAN LIGHT
-  PENDANT LIGHT FIXTURE
-  MINI RECESSED CAN LIGHT
-  12" FLUORESCENT UNDER-CABINET LIGHT
-  WALL MOUNTED STRIP LIGHTS (3LIGHT)
-  WALL MOUNTED STRIP LIGHTS (4LIGHT)
-  1' X 4' FLUR FLUORESCENT LIGHT
-  LIGHT SWITCH
-  3-WAY LIGHT SWITCH
-  4-WAY LIGHT SWITCH
-  110V ELECTRICAL OUTLET
-  UNDER COUNTER OUTLET
-  GROUND FAULT CIRCUIT INTERRUPTER
-  220V ELECTRICAL OUTLET
-  DOOR BELL
-  DOOR BELL CHIME
-  PHONE/DATA/TV BUNDLE
-  SMOKE DETECTOR
-  SMOKE DETECTOR WITH CARBON MONOXIDE DETECTOR
-  GAS
-  EXHAUST FAN
-  ICE MAKER
-  CEILING FAN WITH LIGHT KIT
-  A/C SYSTEM

PIONEER®12,000 BTU 17.5 SEER 115V DUCTLESS MINI-SPLIT AIR CONDITIONER HEAT PUMP SYSTEM (OR EQUIVALENT)

**GENERAL ELECTRICAL NOTES:**

- 1.) BREAKER BOX TO BE LOCATED PER PLAN.
- 2.) ALL PLUGS AND SMOKE DETECTORS PER IRC CODES AND WHERE LOCATED ON PLAN. ALL SMOKE DETECTORS SHOULD BE IN AN AREA ACCESSIBLE BY 16' EXTENSION LADDER OR 6' STEP LADDER. SMOKE DETECTORS MUST BE MIN. OF 30" FROM ANY R.A.G. INCLUDING ADJACENT ROOMS. DETECTORS SHALL BE INSTALLED INTERCONNECTED SO THAT THE ACTUATION OF ONE WILL ACTIVATE ALL OTHERS.
- 3.) COACH LIGHTS TO BE MOUNTED PER ELEV.
- 4.) SWITCHES TO BE 54" AFF. (TOP OF BOX).
- 5.) PRE-WIRE LOW VOLTAGE FOR O.H. DOOR OPENER - LOW VOLTAGE AT 8" AFF. ON EACH SIDE OF O.H. DOOR. OPENER BUTTONS TO BE 5'-0" AFF.
- 6.) DOORBELL WIRING PER PLAN BY COMMUNITY --- BUTTON TO BE AT 42" A.F.F. WHERE APPLICABLE AND LOCATION DENOTED ON PLAN.
- 7.) DOORBELL CHIMES AND SECURITY SIREN BOX PER PLAN 8" FROM CLG. TO BOTTOM OF BOX.
- 8.) MICROWAVE/VENTHOOD PLUG TO BE LOCATED AT 76" AFF. (IF OVER COOKTOP; WHEN APPLICABLE IN PLAN). MICROWAVE AND REFRIGERATOR AND FREEZER OUTLETS TO BE DEDICATED 20 AMP.
- 9.) BATH VANITY LIGHT FIXTURE BLOCKING TO BE AT 86" A.F.F. (TO BOTTOM OF BLOCKS). SEE INTERIOR ELEV. FOR MOUNTING HT OF VENT HOOD.
- 10.) VANITY LIGHT BOXES TO BE AT 86" AFF. (TO BOTTOM OF BOX).
- 11.) INSTALL GFCI PLUGS AT ALL SINK VANITIES: SIDEWALL PLUG TO BE 8" FROM BACK WALL. BATH VANITY PLUGS TO BE AT 42" AFF. TO BOTTOM OF BOX.
- 12.) INSTALL GFCI PLUGS AT ALL SINK VANITIES AND AT KITCHEN COUNTERTOPS.
- 13.) KITCHEN COUNTERTOP PLUGS AND SWITCHES TO BE VERTICAL AT 42" A.F.F. (TO BOTTOM OF BOX). ALL PLUGS AND SWITCHES AT BAR TOP TO BE HORIZONTAL AT 38 1/2" AFF. TO BOTTOM OF BOX.
- 14.) GARBAGE DISPOSAL TO HAVE PLUG.
- 15.) SECURITY KEYPADS TO BE LOCATED ABOVE SWITCHES, PER PLAN. SECURITY PANEL AT 67" AFF. TOP OF BOX, STRUCTURED WIRING PANEL AT 53" AFF. TOP OF BOX.
- 16.) TELEPHONE, T.V., AND PLUG BELOW KNEE SPACE AT PLANNING CENTER (WHEN APPLICABLE IN PLAN) TO BE AT 13" AFF. TO BOTTOM OF BOX.
- 17.) PLANNING CENTER 110V OUTLET (WHEN APPLICABLE IN PLAN) ABOVE COUNTER TO BE 36" AFF. TO BOTTOM OF BOX. - BOX TO BE VERTICAL.
- 18.) WALK IN CLOSET LIGHT TO BE 18" FROM SHELF.
- 19.) NO WIRES TO BE RUN OVER ATTIC CAT WALKS.
- 20.) LIGHT IN ATTIC AT HVAC WORK PLATFORM AND W/H/ PLATFORM (PER IRC CODES) TO BE SWITCHED IN ATTIC, ACCESSIBLE FROM ATTIC LADDER. IF LOCATION REQ.'S PROVIDE 2 LIGHTS, 1 AT UNIT AND ACCESS OPENING (ON 1 SWITCH).
- 21.) INSTALL SPLIT OUTLET BELOW SINK FOR DISPOSAL AND DISHWASHER AND CENTER AT SINK BASE, SWITCH FOR DISPOSAL ONLY.
- 22.) 110V SERVICE OUTLET IN ATTIC AT HVAC AND W/H PLATFORM.
- 23.) BLOCK AND WIRE FOR ALL CEILING FANS AND LIGHTS IN ALL SECONDARY BDRMS, MASTER BDRM, GAME ROOM, AND FAMILY RM. SEPERATE SWITCH FOR LIGHT AND FAN (2 GANG SWITCH).
- 24.) 110V OUTLETS AT ISLAND TO BE 25" AFF. TO BOTTOM OF BOX. PLUG TO BE HORIZONTAL.
- 25.) HVAC CONTRACTOR TO SUPPLY AND INSTALL ALL EXHAUST FANS. ELECTRICIAN TO WIRE. INSTALL 16" FROM BACK OF BOX TO WALL WHEN POSSIBLE AND CENTER OVER DRYER & TOILET.
- 26.) THERMOSTAT TO BE LOCATED 60" AFF. TO CENTER OF BOX. LOCATIONS PER PLAN.
- 27.) CLG FANS ARE TO BEINSTALLED & BALANCED PER MANUF. SPECS.
- 28.) SEE SPECS FOR WATER SOFTENER OUTLET REQUIREMENTS (PER COMMUNITY).
- 29.) PLUG FOR SPRINKLER SYSTEM AT 84" AFF. IN GARAGE (PER COMMUNITY).
- 30.) EXTERIOR GFI AT A/C CONDENSER SHOULD BE LOCATED NEXT TO, AND AT THE SAME HEIGHT AS THE DISCONNECT.
- 31.) DRYER VENT TO SIT ON BOTTOM PLATE.
- 32.) INSTALL DRYER VENT BOX CENTER OF DRYER LOCATION IN PLAN WHEN APPLICABLE.
- 33.) DOORBELL TRANSFORMER TO BE LOCATED BEHIND CHIMES IN J-BOX.
- 34.) SECURITY MOTION DETECTOR PER PLAN. TO BE MOUNTED @ 7'-6" A.F.F.
- 35.) REFERENCE PARIAL FLOOR PLANS FOR ADDITIONAL LIGHTS AT EXTENDED FRONT PORCH PER ELEVATION.



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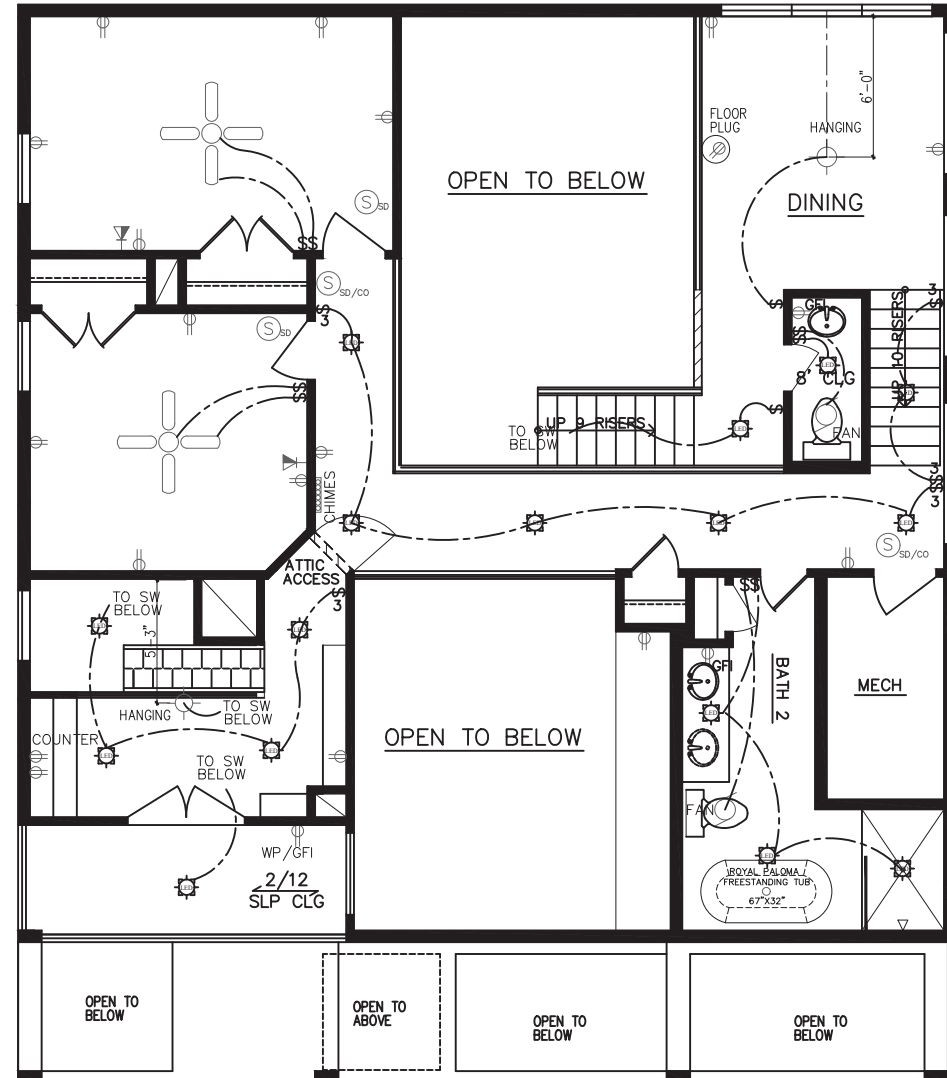
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ELEC  
PLAN

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*Benjamin Berardino P.E.*

1/18/2021

2ND FLOOR ELECTRIC

BUILDINGS AND DESIGN
13145 6TH ST SANTA FE TX 77510
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PLAN NAME ALPINE
PLAN NUMBER 7088
ATTIC ELEC PLAN

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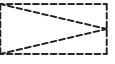




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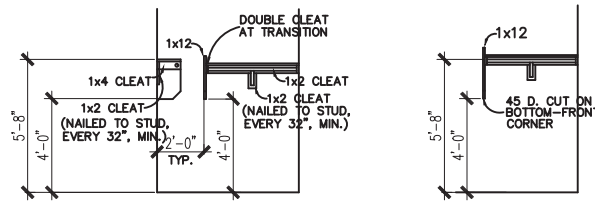
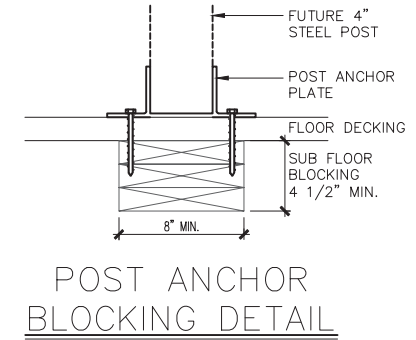
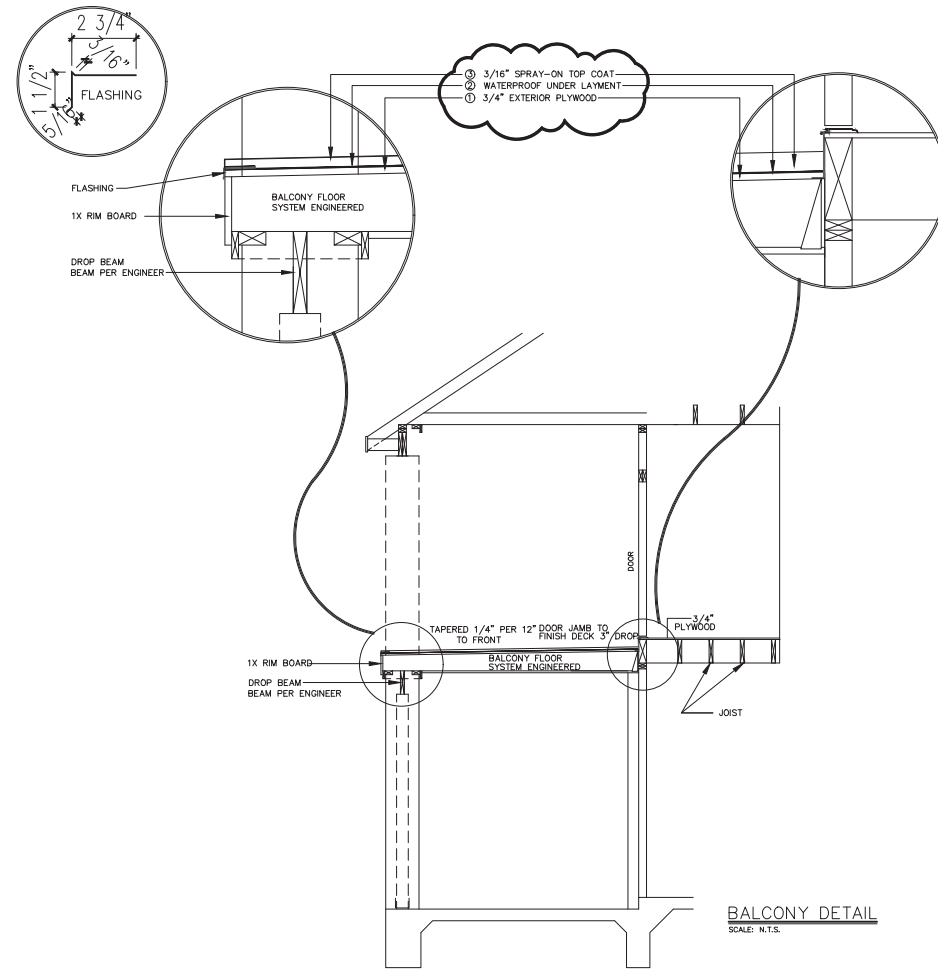
**GENERAL NOTES**

- 1.) REF. PARTIAL FLOOR PLAN & FRONT ELEVATION FOR WINDOW SIZES & LOCATIONS, PROJECTIONS, RAISED PLATES, ETC.
- 2.) ALL BRICK LEDGES TO BE 5 1/2"
- 3.) ALL ALPINES TO BE 45 D UNLESS NOTED OTHERWISE
- 4.) ALL SHOWER HEADS TO BE @ 6"-10" A.F.F.
- 5.) NUMBER OF WATER HEATERS TO BE LOCATED IN ATTIC: 1 (UP TO 2 1/2 BATHS)  
2 (3 OR MORE BATHS)
- 6.) ALL DOOR OPENINGS TO BE CENTERED ON WALL UNLESS OTHERWISE NOTED. STANDARD DOOR JAMB TO BE 4".
- 7.) HARRIS COUNTY TO HAVE SELF CLOSING HINGES ON GARAGE PEDESTRIAN DOORS.

**NOTES TO FRAMER:**

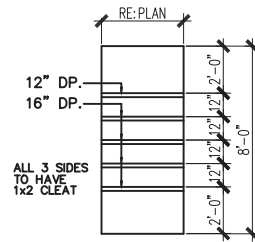
- 1.) ALL DIMENSIONS ARE TO FACE OF STUDS UNLESS NOTED OTHERWISE
- 2.) CABINET BLOCKING ON KITCHEN WALLS @ 3 LOCATIONS: 37-1/2" A.F.F., 57-1/2" A.F.F., & 91-1/2" A.F.F. (TO BOTTOM OF BLOCK).
- 3.) ALL NON-LOAD BEARING INTERIOR WALL STUDS TO BE 24" O.C.
- 4.) MANTLE BLOCKING AT EACH SIDE OF FIREPLACE EVERY 24" O.C. A.F.F.
- 5.) ALL BEAMS WHICH ARE BRACED OFF OF MUST BE RAISED 1 1/2" FROM TOP PLATE
- 6.) ALL FINISHED CEILING HEIGHTS TO BE PER PLAN.
- 7.) ALL WINDOW ROUGH OPENING SIZES TO BE FRAMED SAME AS WINDOW CALL-OUT SIZE.
- 8.) TUB/SHOWER COMBO BLOCKING 26"-32" FROM WALL BOTTOM PLATE TO TOP PLATE  
MASTER SHOWER BLOCKING 40"-46" FROM WALL BOTTOM PLATE TO TOP PLATE WHEN APPLICABLE IN PLAN
- 9.) VANITY LIGHT FIXTURE 2x4 BLOCKING TO BE IN ALL BATHS @ 86" A.F.F. (TO BOTTOM OF BLOCKS)
- 10.) CABINET BLOCKING FOR PLANNING CENTER TO BE @ 30" A.F.F. (TO TOP OF BLOCKS)
- 11.) BLOCK BETWEEN STUDS @ ALL RAKES W/ 2x MATERIAL AT ROOF LINE

TRIM SCHEDULE	
LIVING	CROWN (SEE SPEC'S)
DINING	CROWN (SEE SPEC'S)
M. BDRM	CHAIR RAIL (SEE SPEC'S)
1R/1S HGT	CROWN (SEE SPEC'S)
2R/1S HGT	72" A.F.F. TO TOP OF SHELF
ROD & SHELF SUPPORT	84" A.F.F. TO TOP OF SHELF
	BOTTOM ROD @ 42" A.F.F.
	ALL RODS (EVERY 32" MIN. OF 1)
	30" x 54" ATTIC STAIRS
	22-1/2" x 30" ATTIC SCUTTLE
BASE	SEE SPEC'S
CASING	SEE SPEC'S
	TOILET PAPER HOLDER 25" A.F.F.
	TOWEL RING 55" A.F.F.
	TOWEL BAR 54" A.F.F.
TRIM ALL WINDOWS W/ STOOL & 2 1/4" MDF SKIRT	
MANTLE - (PER DETAIL) A.F.F. TO TOP OF MANTLE	
ALL BEDROOM DOORS TO BE 1" ABOVE CARPET ( 2" ABOVE CONC.)	
WORK AREA LEDGE-1X8 DOUBLE OG. W/ CASING BELOW	
PLANT LEDGES TO BE TRIMMED WITH 3/4" MDF AND 2 1/4" SKIRT (SPECIFY AREA OF HOME)	
ALL PULL DOWN STAIRS AND SCUTTLES TO BE TRIMMED W/ 2 1/4" MDF CASING W/ MASONITE COVER	



**ROD & SHELF DETAILS, TYP.**

- NOTES:
- 1.) 1x2 CLEAT ONLY ALONG REAR WALL AT ROD/SHELF
  - 2.) 1x4 CLEAT ONLY ALONG SIDES AT ROD/SHELF
  - 3.) CLEAT SUPPORT FOR SHELF BRACKET TO BE 9" FROM BOTTOM OF REAR WALL CLEAT
  - 4.) DOUBLE CLEAT AT ENDS OF ALL INTERIOR SHELVING

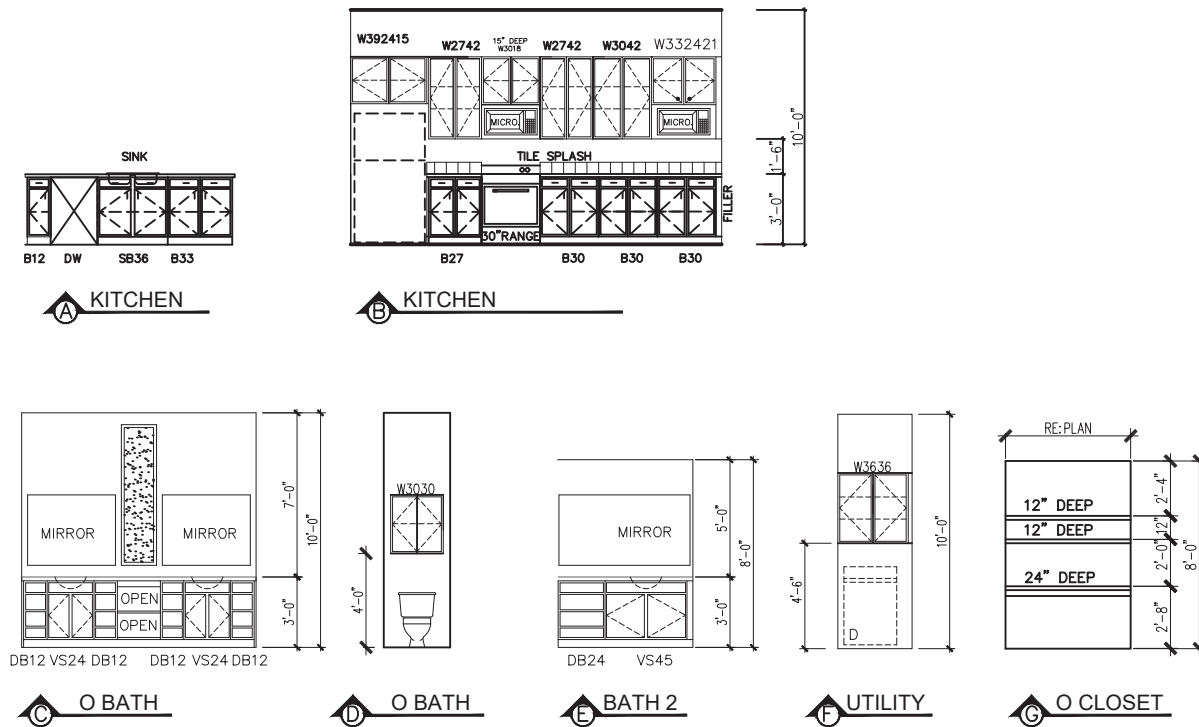


**LINEN/PANTRY, TYP.**

- NOTES:
- SUPPORT ALL INTERIOR CORNERS AT WALK-IN LINEN/PANTRY WITH 1x2 CLEAT VERTICALLY AT CORNER



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**BOMS**  
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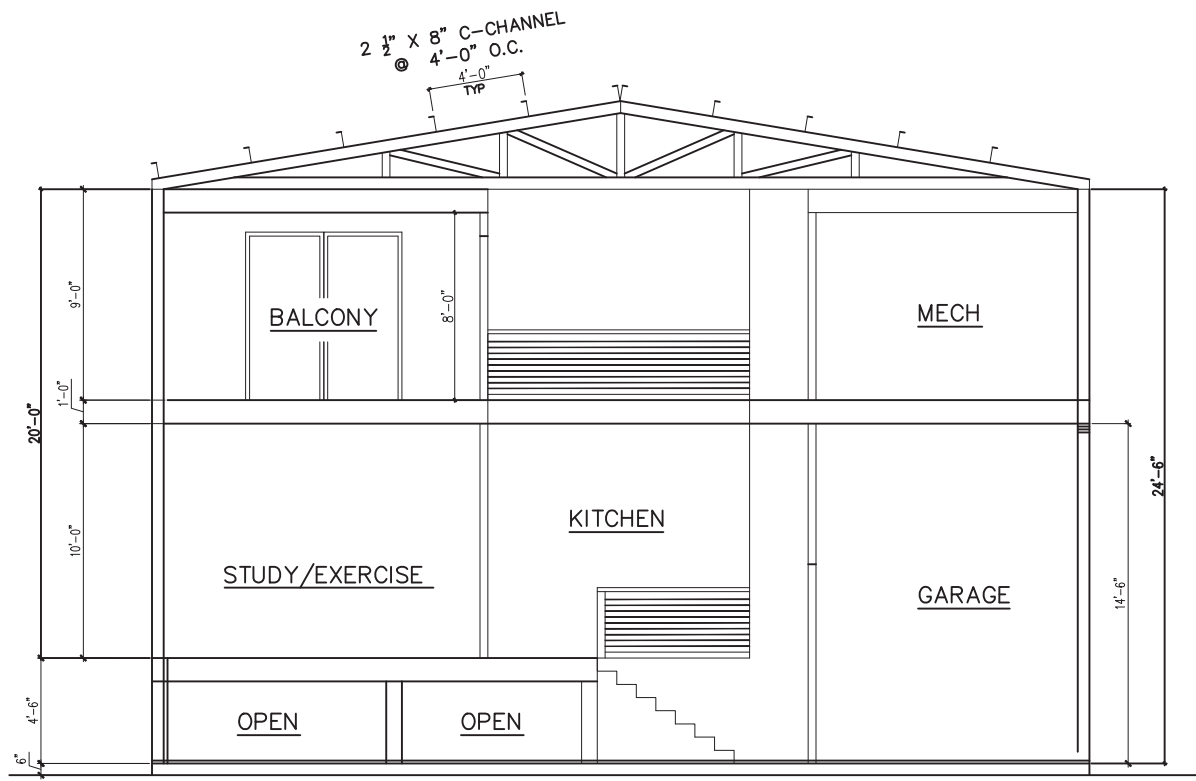
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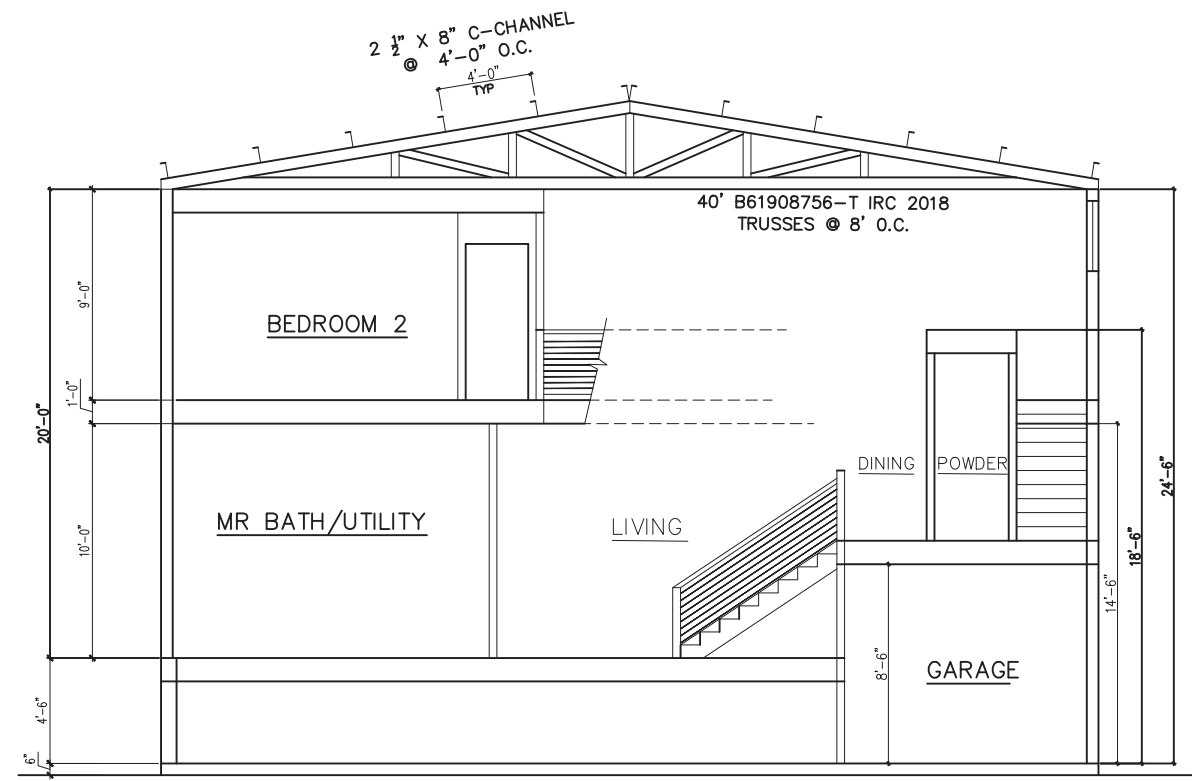
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INTERIORS  
& SECTIONS



SECTION "C-C"



SECTION "D-D"



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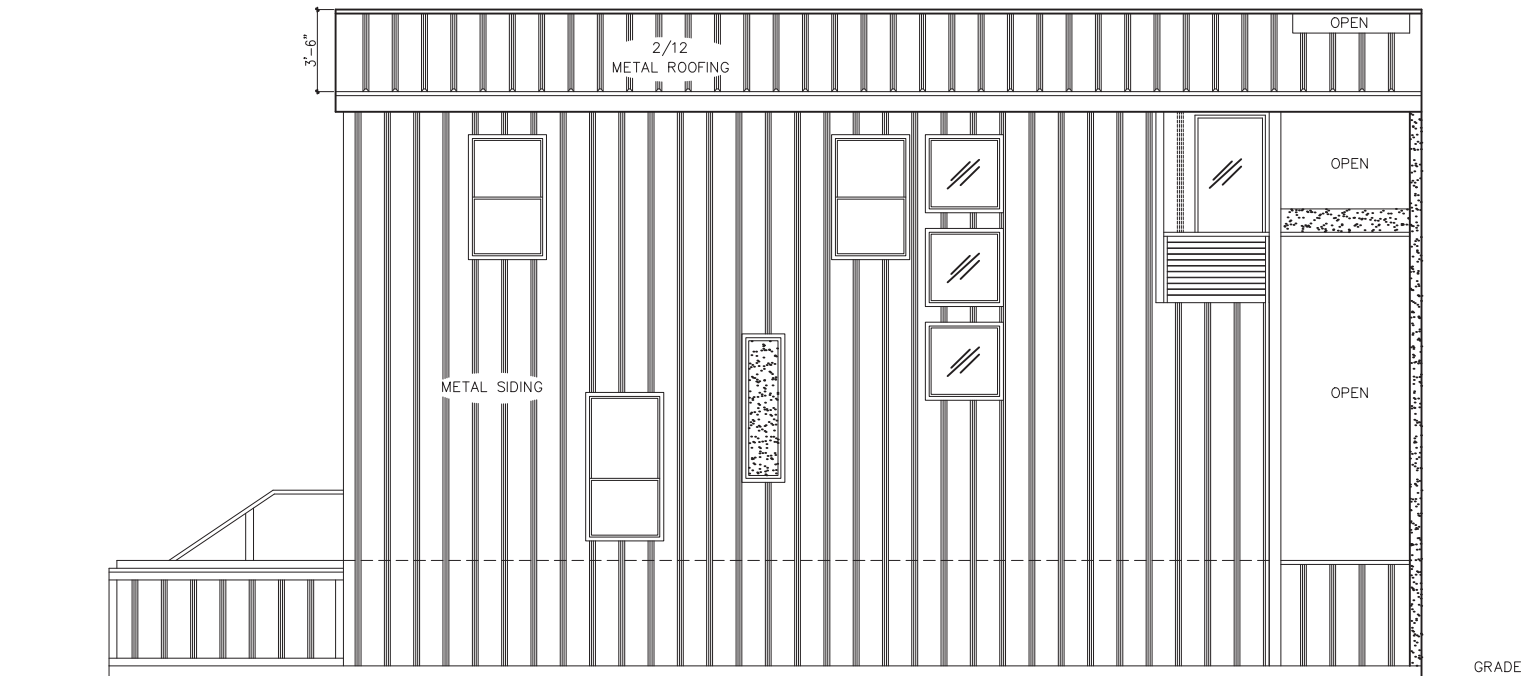
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SLAB  
PLAN



LEFT

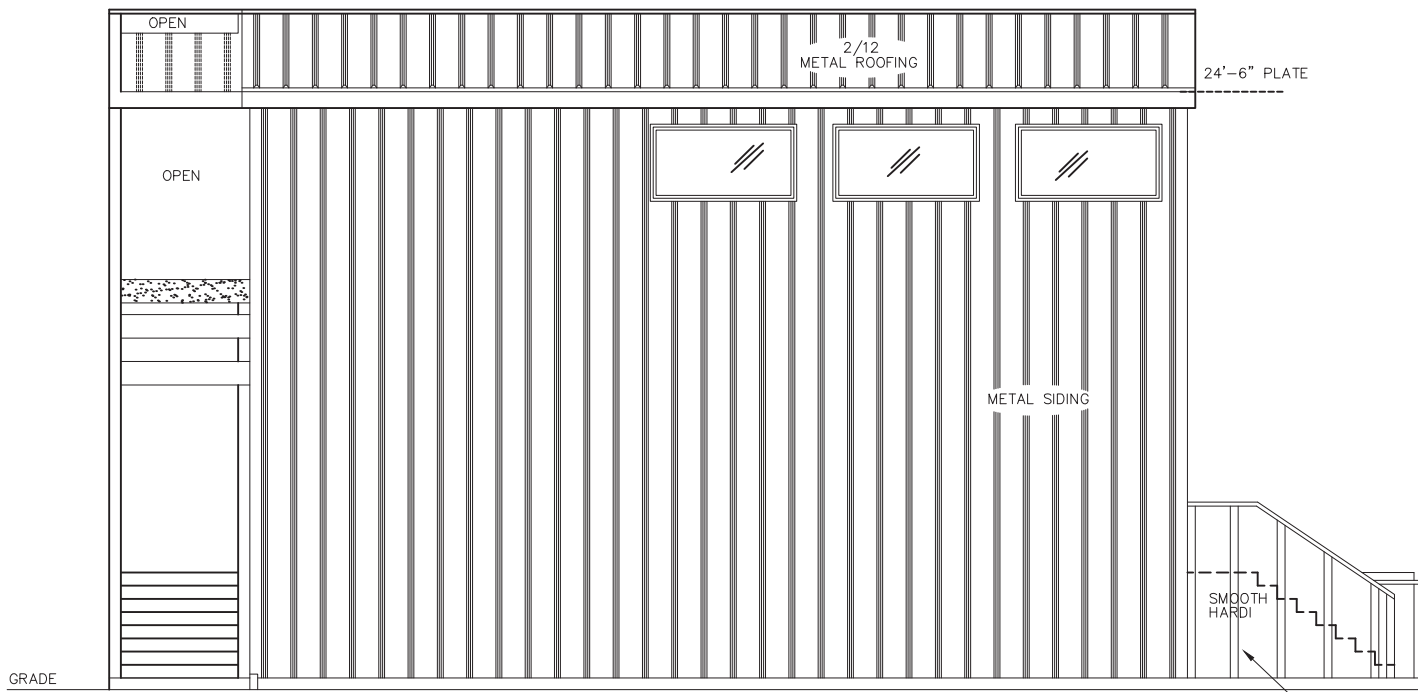


REAR

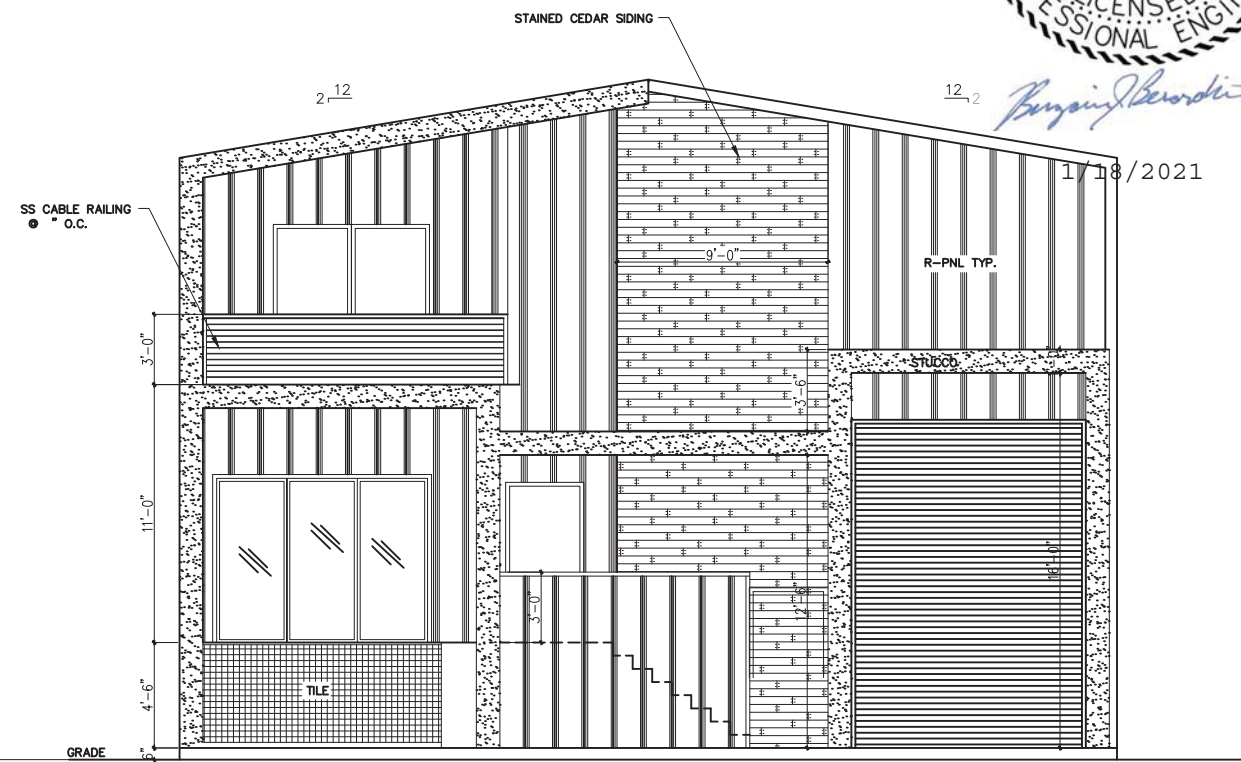


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RIGHT



FRONT

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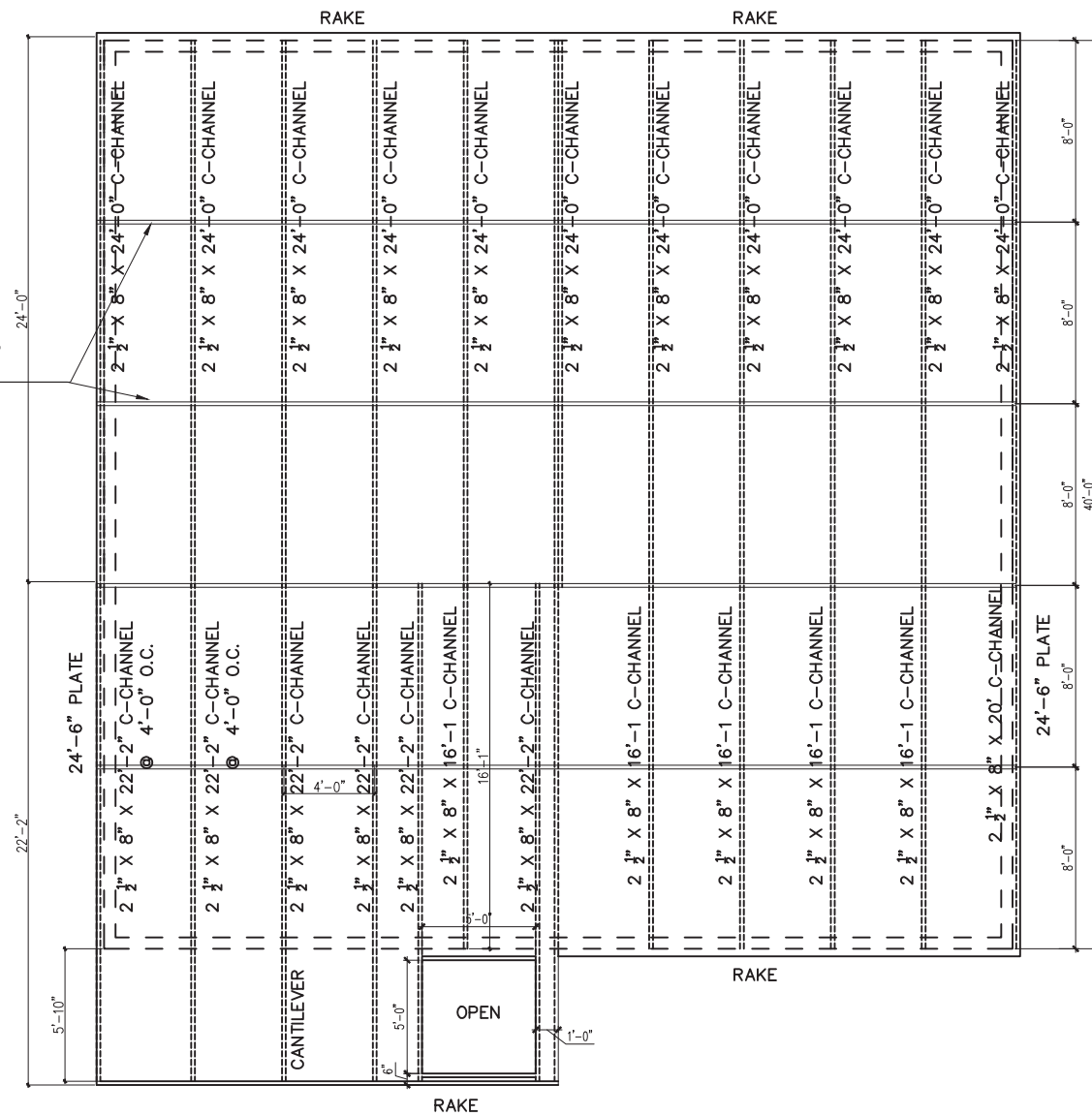
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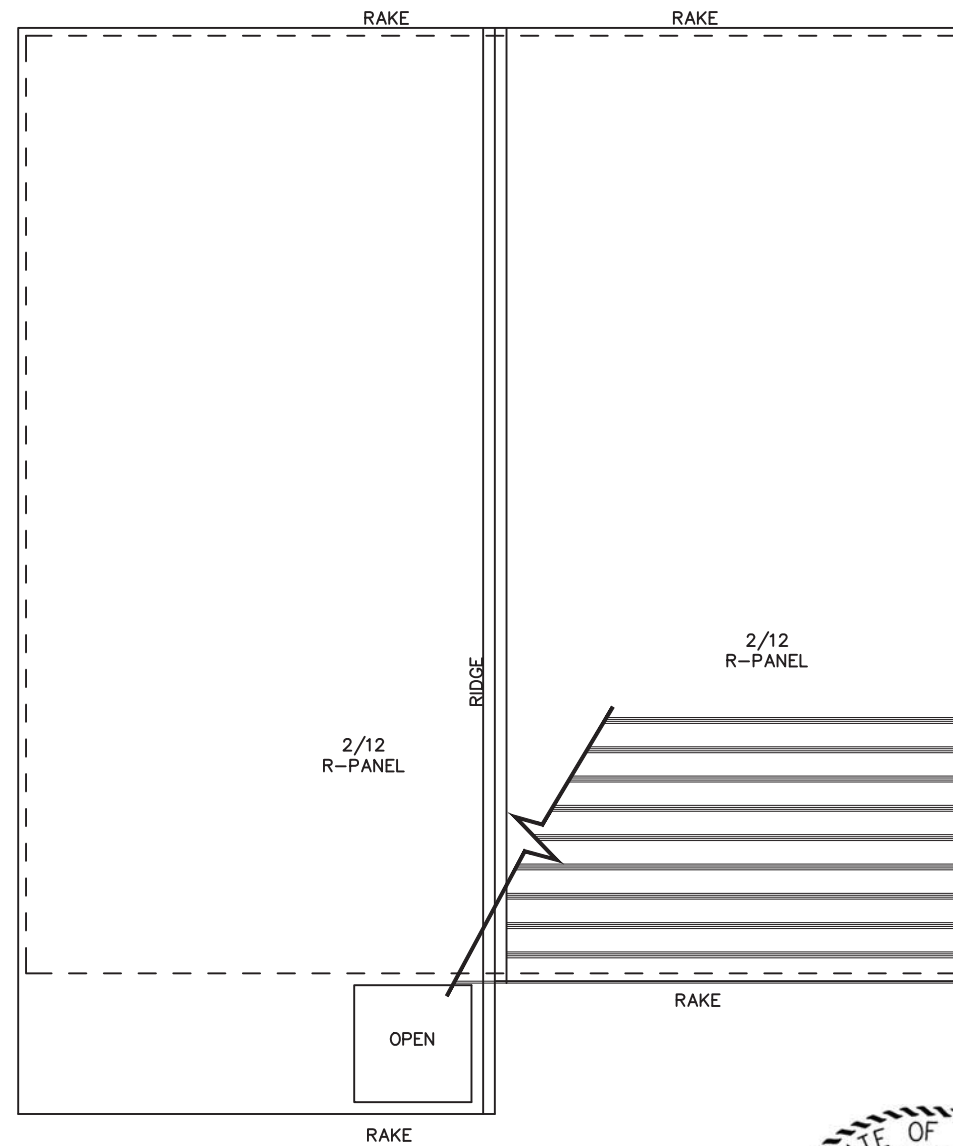
ELEVATIONS



40' B61908756-T IRC 2018  
TRUSSES @ 8' O.C.  
TYP FOR 4



ROOF PLAN AND TRUSS LAYOUT



ROOF PLAN AND TRUSS LAYOUT

NOTE:  
The building is designed  
for a 140 mph wind load.



*Benjamin Berardino P.E.*

1/18/2021



BMS BUILDINGS AND DESIGN  
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BUILDER:

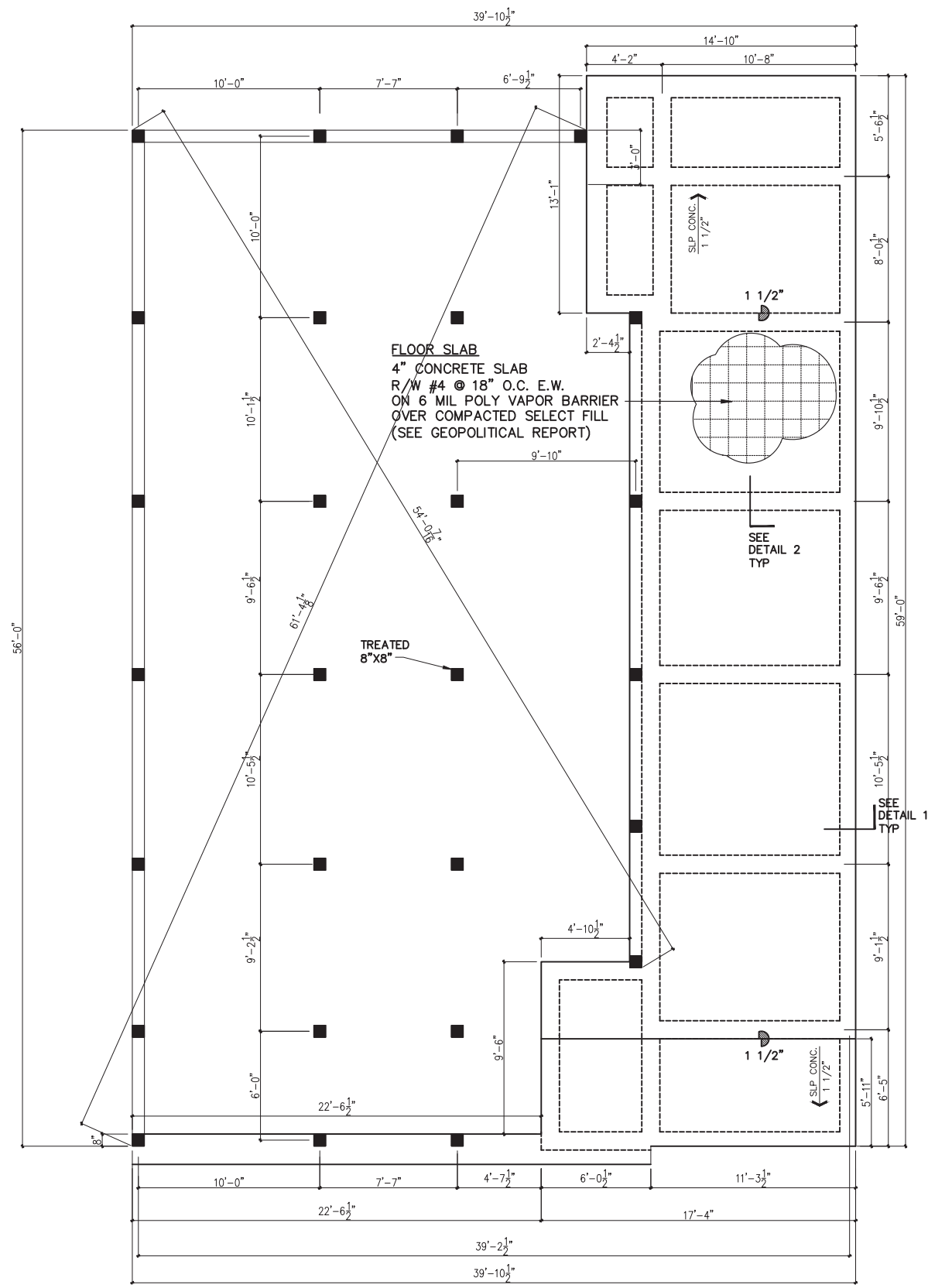
13145 6TH ST  
SANTA FE TX 77510

ISSUE DATE  
12/15/20

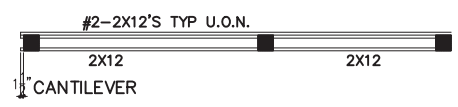
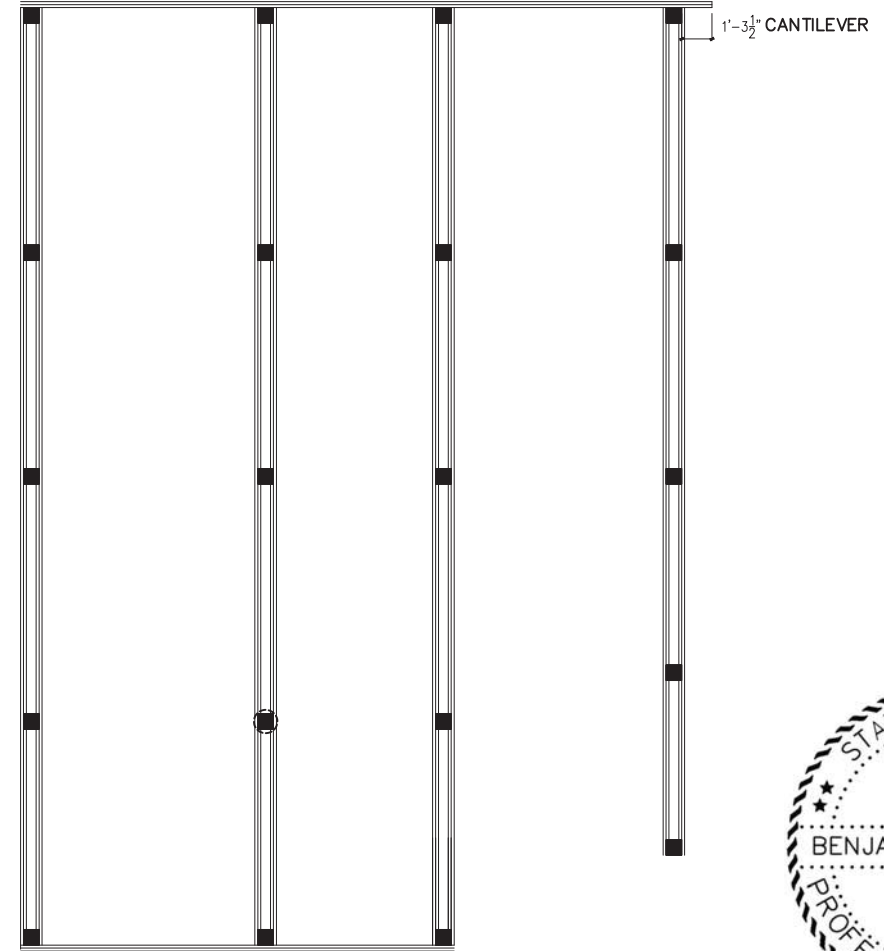
PLAN NAME  
ALPINE

PLAN NUMBER  
7088

ROOF  
PLAN



PILING PLAN



NOTE:  
The building is designed for a 140 mph wind load.

PLUMBING NOTES:

- 1.) MINIMUM OF 2 METAL STAKES PER PVC PIPE THROUGH SLAB
- 2.) ALL COPPER SECURED WITH METAL STAKES (USE TAPE TO PREVENT CONTACT)
- 3.) NO EXPOSED COPPER IN SLAB
- 4.) ALL PIPES MUST BE SEALED AT TOP
- 5.) TEMPORARY HOSE BIB TO BE ON EXTERIOR OF SLAB
- 6.) ALL PLUMBING MUST BE MINIMUM 1-1/2" AWAY FROM FORMS
- 7.) PLUMBING MUST BE PER PLAN
- 8.) PLACE ALL TRASH IN DESIGNATED AREA
- 9.) NOTIFY CONSTRUCTION MANAGER OF ANY PROBLEMS
- 10.) VERIFY ALL MEASUREMENTS BEFORE SLAB IS POURED
- 11.) WATER HEATER TO BE CENTRALLY LOCATED IN ATTIC TO MINIMIZE THE DISTANCE FROM KITCHEN AND MASTER BATH WHEN NOT SHOWN IN GARAGE.



*Benjamin Berardino P.E.*

1/18/2021

BUILDER:

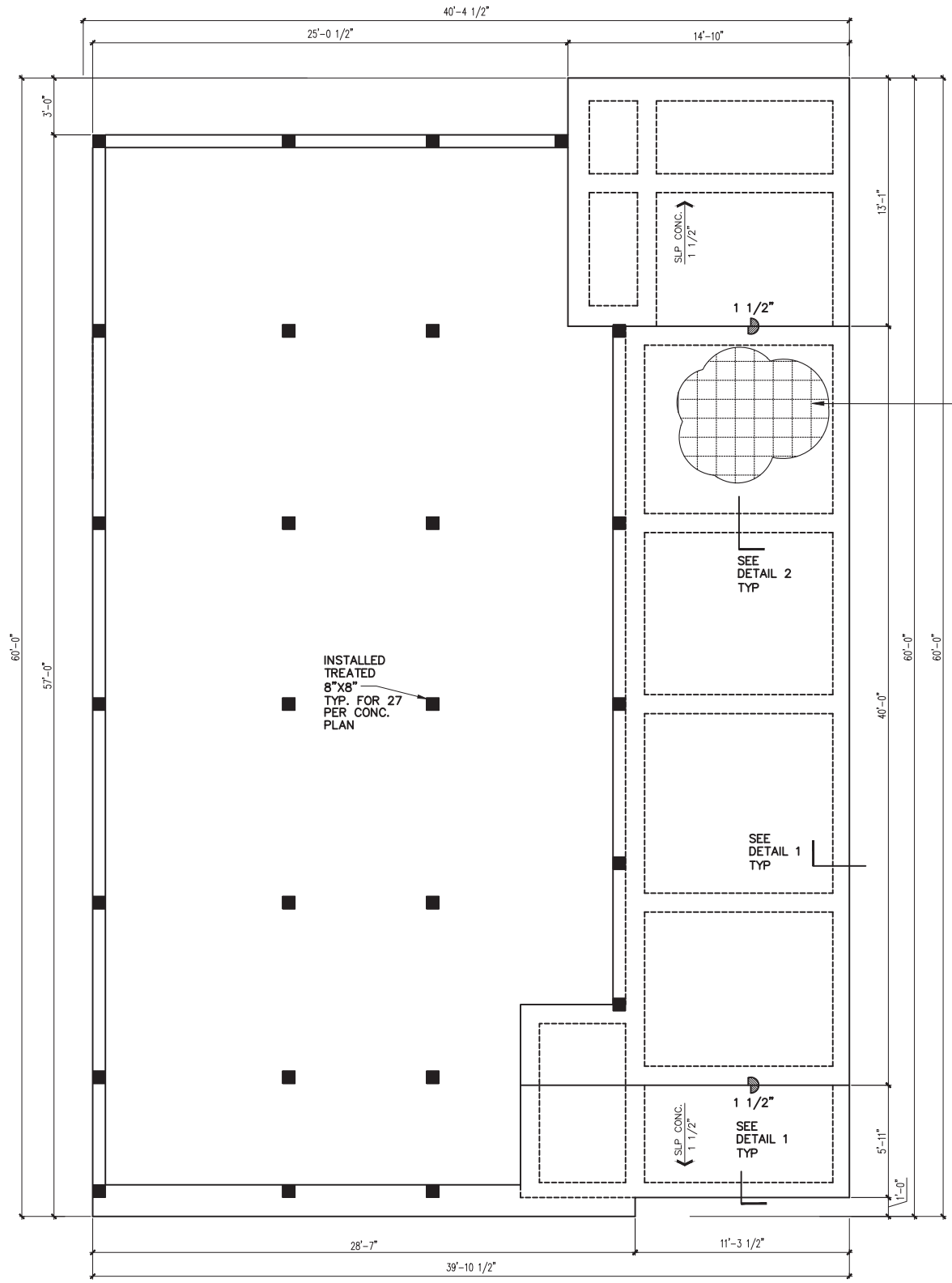
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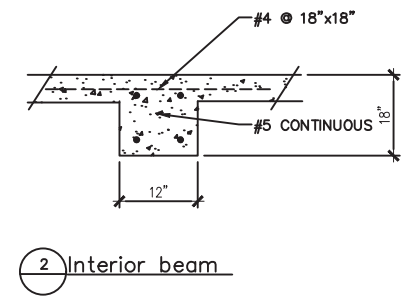
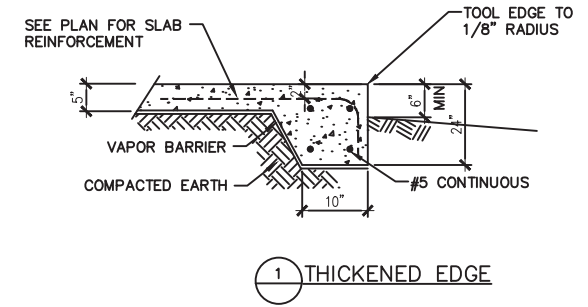
PLAN NUMBER  
7088

PILING PLAN



CONCRETE SUBFLOOR SLAB PLAN

**FLOOR SLAB**  
 5" CONCRETE SLAB  
 R/W #4 @ 18" O.C. E.W.  
 ON 6 MIL POLY VAPOR BARRIER  
 OVER COMPACTED SELECT FILL  
 (SEE GEOPOLITICAL REPORT)  
 NOTE: ALL CONCRETE TO BE  
 3000 PSI



*Benjamin Berardino P.E.*

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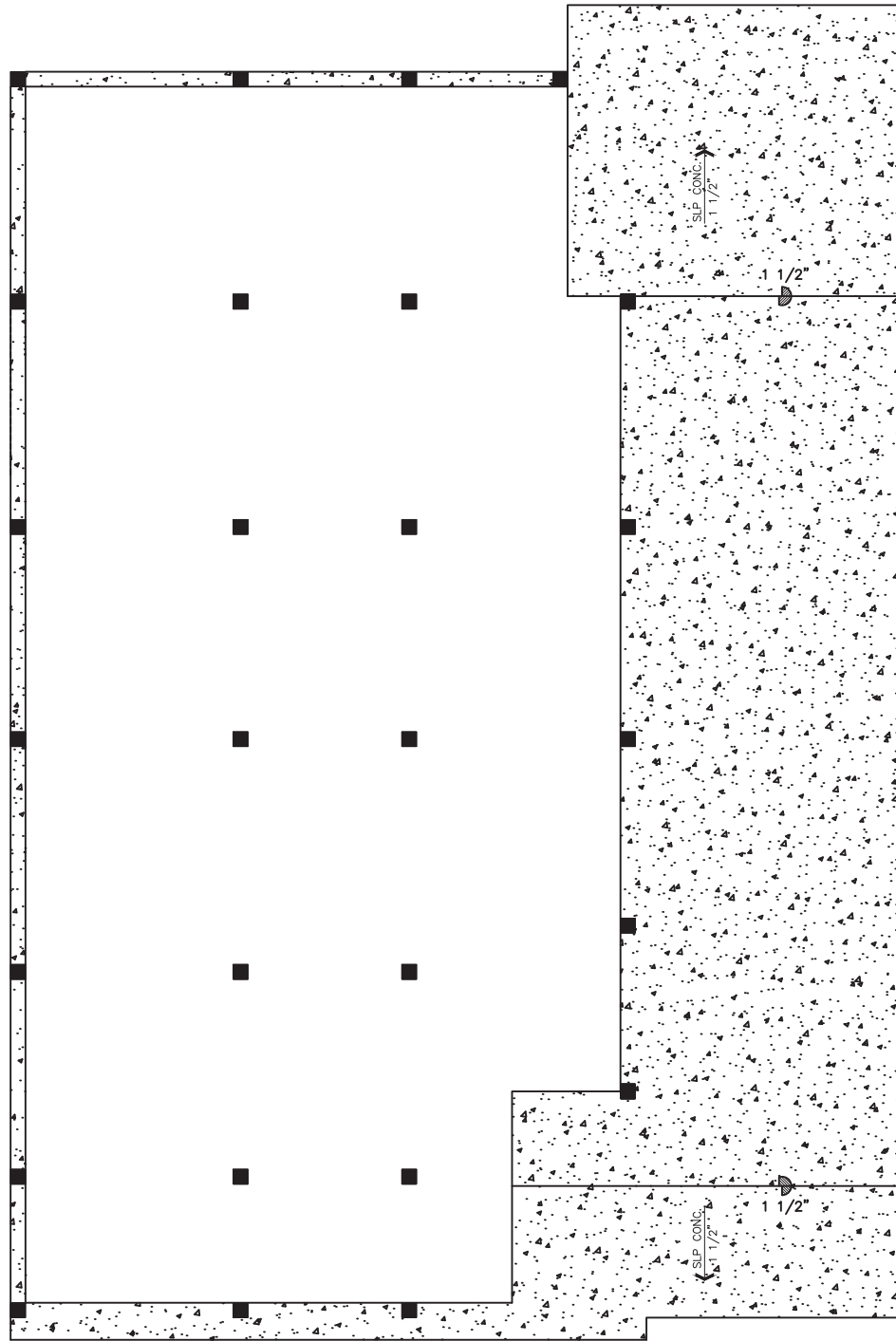
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 ALPINE

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PLAN NUMBER  
 7088

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CONCRETE SUBFLOOR SLAB PLAN



CONCRETE LAYOUT

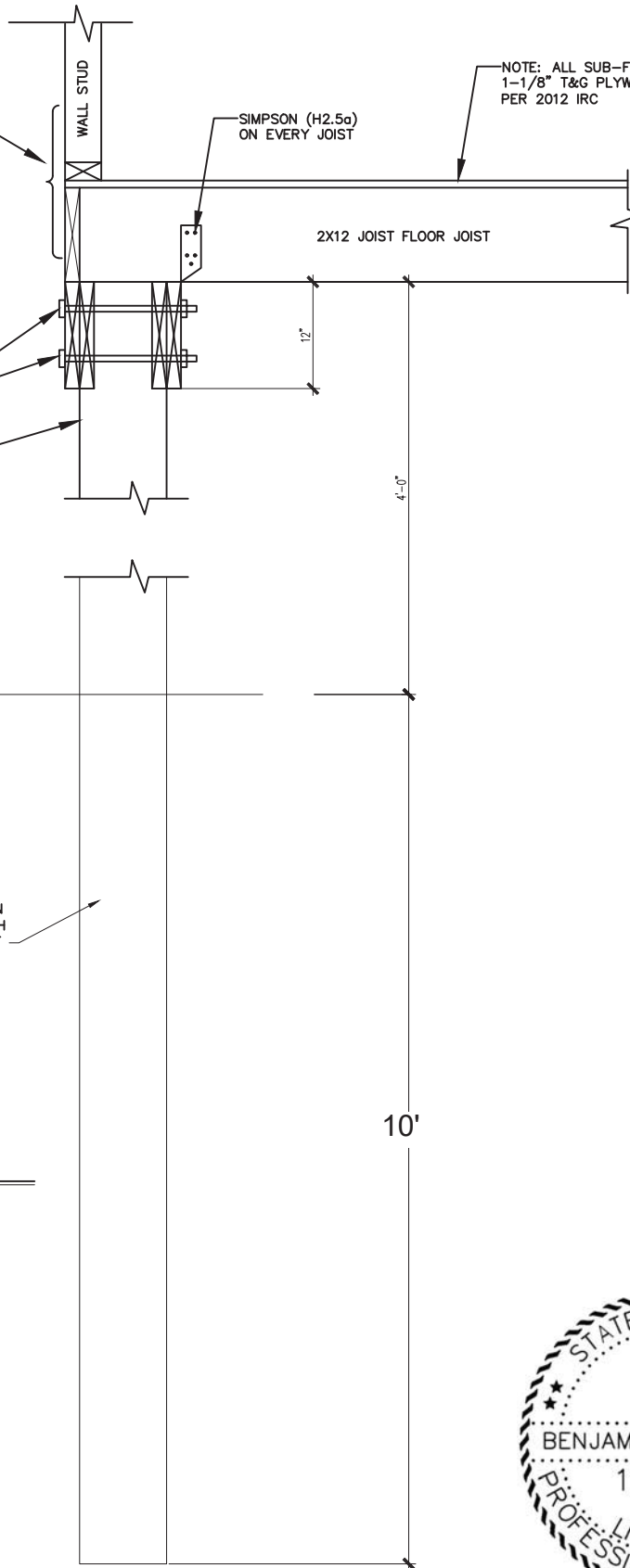
SIMPSON Strong-tie  
MSTA 18 in. 18-Gauge  
Galvanized Medium Strap Tie  
⊙ every wall stud  
over base plate.

2- 3/4" BOLTS  
8"x8" PILING

GRADE

TREATED  
8"x8"  
PILE DRIVEN  
TO A DEPTH  
OF 12 FEET  
TIP DEPTH

PILING DETAIL  
NOT TO SCALE



*Benjamin Berardino P.E.*

1/18/2021

NOTE: ALL SUB-FLOORING SHALL BE  
1-1/8" T&G PLYWOOD NAILED  
PER 2012 IRC



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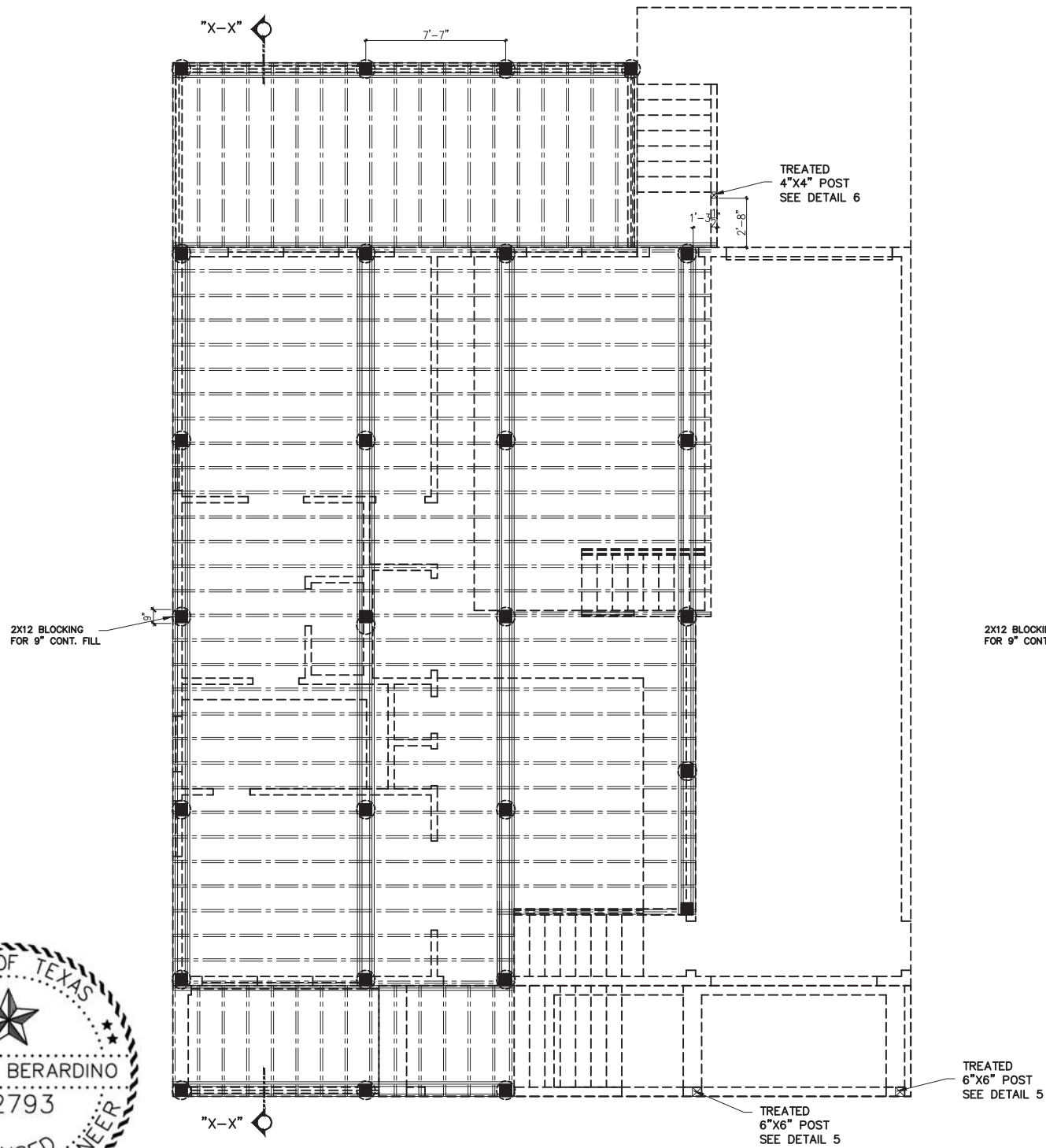
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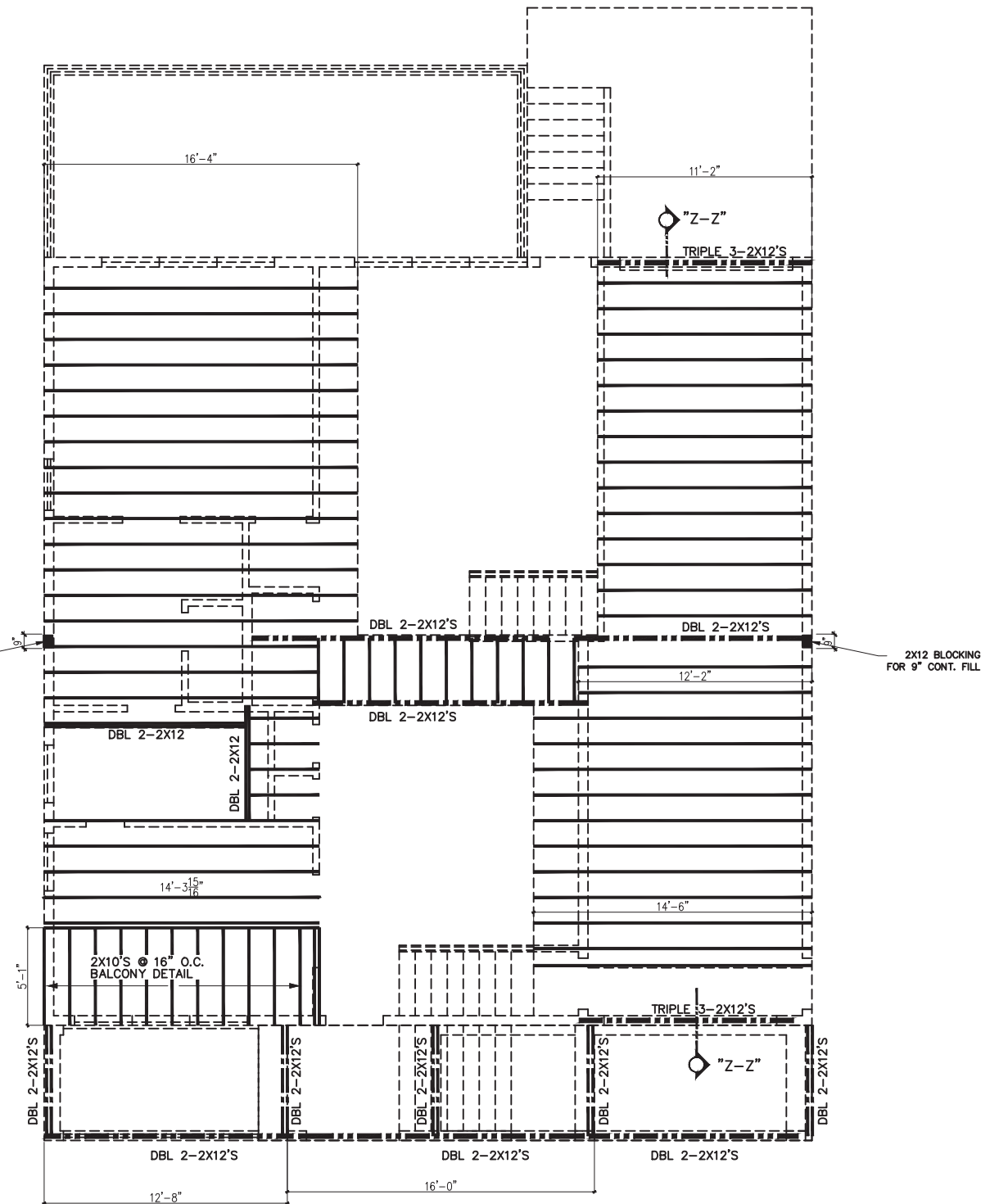
CONCRETE  
LAYOUT  
PLAN

NOTE:  
The building is designed  
for a 140 mph wind load.



1ST FLOOR FRAME

NOTE: ALL FLOOR JOIST TO BE #2 2X12'S @ 16" O.C. U.O.N.



2ND FLOOR FRAME

NOTE: ALL FLOOR JOIST TO BE #2 2X12'S @ 16" O.C. U.O.N.



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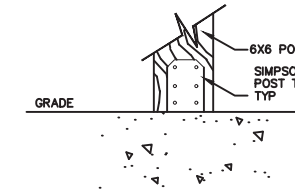
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PLAN NUMBER  
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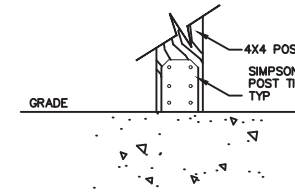
PLAN

**GENERAL NOTES**

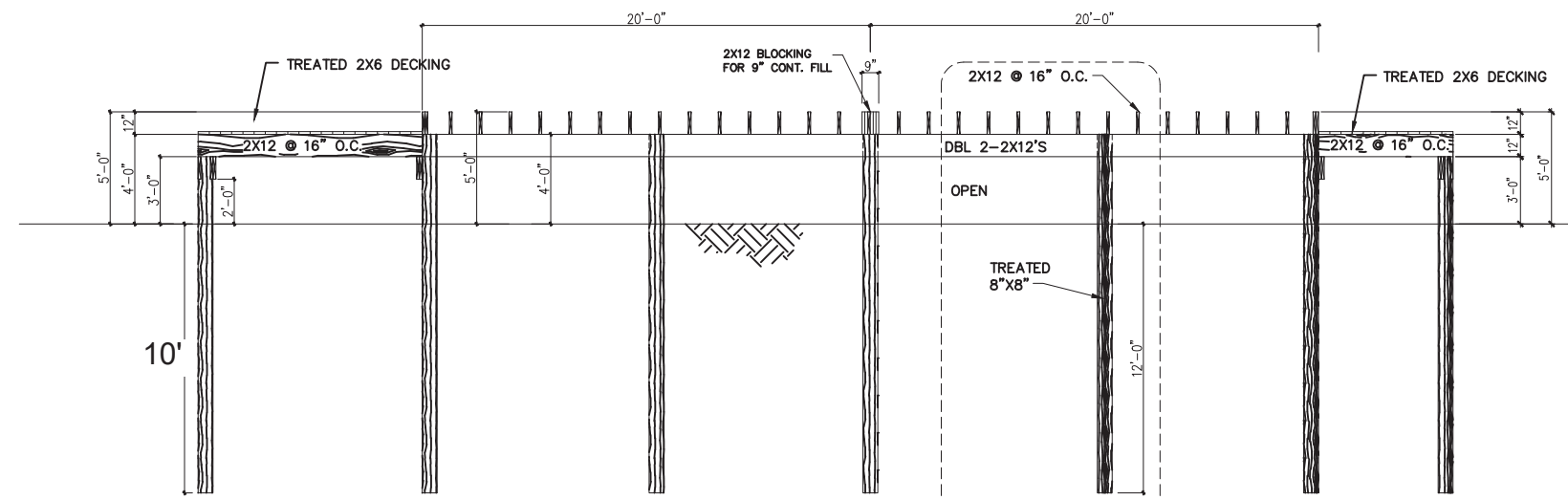
1. STRIP AND REMOVE ALL SURFACE GRASS AND UNSUITABLE MATERIAL FROM UNDER ALL BUILDING AND PAVING AREAS AS REQUIRED.
2. ALL CONCRETE USED ON PROJECT SHALL PRODUCE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS WHEN TESTED IN ACCORDANCE WITH ASTM C-39.
3. CONCRETE MIXING, DELIVERY, PLACEMENT, FINISHING, AND TESTING TO BE IN ACCORDANCE WITH ACI-318 LATEST EDITION.
4. CONCRETE TO BE READY-MIX PROVIDED FROM A DESIGNATED SUPPLIER. TEST STRENGTH REQUIREMENTS BY AN INDEPENDENT LABORATORY. WATER IS NOT TO BE ADDED TO CONCRETE IF MIXTURE WILL EXCEED WATER/CEMENT RATIO. CONCRETE MIX TO HAVE A MAXIMUM WATER/CEMENT RATIO OF 0.45.
5. BUILDING SLAB ON GRADE SHALL BE UNDERLAIN WITH A MINIMUM OF 2 INCHES OF COMPACTED SAND FILL. PRIOR TO PLACING SAND, THE FLOOR SUB GRADE SHALL BE PROPERLY COMPACTED, PROOF-ROLLED, FREE OF STANDING WATER AND MUD. CONCRETE SHALL BE PLACED OVER 6 MIL POLYETHYLENE WITH VINYL TAPED JOINTS.
6. ALL CONCRETE SURFACES SLOPED OR LEVEL, TO BE STRUCK TO CORRECT LINE BY USE OF SCREEDS. SCREEDS TO BE WOOD TO METAL AND SUFFICIENTLY RIGID TO PRODUCE GRADE LINES REQUIRED. BUILDING INTERIOR FLOORS TO RECEIVE GREEN-FINISH.
7. SAW CUTTING SHALL BE TO A DEPTH OF 1/4" OF THE SLAB THICKNESS AT SPECIFIED GRIDS SHOWN ON FOUNDATION DRAWINGS. SAWING SHALL TAKE PLACE WITHIN 4 HOURS AFTER INITIAL CONCRETE SETUP AND WILL BE ACCOMPLISHED USING A KEY "GREEN CUT" BLADE.
8. CONCRETE TO CURED USING A WATER-BASED CEMENT CURING COMPOUND TO BE APPLIED AND REAPPLIED AS REQUIRED PER THE MANUFACTURER'S RECOMMENDATIONS. CURING SHALL START AS SOON AS POSSIBLE AND CONTINUE FOR 7 UNINTERRUPTED DAYS. NO TRAFFIC ON THE SLAB IS ALLOWED.
9. ALL REINFORCING TO BE REBUILT-HIGH-STRENGTH BARS CONFORMING TO ASTM A-615, GRADE 60. HEATING OR FLAME-CUTTING OR REINFORCING SHALL NOT BE PERMITTED UNLESS APPROVED BY ENGINEER OF RECORD. NO. 3 BARS MAY CONFORM TO ASTM 015, GRADE 40. WELDED WIRE FABRIC WILL BE AS-ASTM-A-185.
10. CLEAR COVER FOR CONCRETE PROTECTION OF REINFORCING SHALL BE AS FOLLOWS:  
 10.1 CONCRETE PLACED DIRECTLY AGAINST THE GROUND (FOOTINGS & GRADE BEAMS) 3 INCHES  
 10.2 CONCRETE EXPOSED TO EXHOSURE AFTER FORM REMOVAL: 2 INCHES FOR #3 BARS AND LARGER  
 10.3 FOR SMALLER BARS PROVIDE 1 1/2 INCHES UNLESS NOTED ON THE DRAWING.
11. PROVIDE 4 #5 #5 BARS, TWO TOP AND TWO BOTTOM AT EACH GRADE-BEAM INTERSECTION. LAP-BAR DIAMETERS WITH DISCONTINUOUS GRADE BEAM REINFORCING. "L-BARS" SHALL BE PLACED INSIDE THE TIES.
12. CONTRACTOR MAY USE 3 1/2" METAL KEY WAY WITH #4 X 3'-0" LONG DOWNES CENTERED ON KEY WAY 30" ON CENTER WITH A PLASTIC-CAP SLEEVE ON ONE END END OF SAW CUT.
13. SHOULD ANY OF THE DETAILED INSTRUCTION SHOWN ON THE PLAN CONFLICT WITH GENERAL STRUCTURAL NOTES, THE SPECIFICATION OR WITH EACH OTHER, THE STRICTEST PROVISION SHALL GOVERN.
14. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL DIMENSIONS ON THE PLAN AND FOR COORDINATING ALL DIMENSIONS AND ELEVATIONS SHOWN ON THE STRUCTURAL DRAWINGS WITH THOSE ON THE ARCHITECTURAL AND MECHANICAL DRAWINGS.
15. ALL CONTRACTORS AND SUBCONTRACTORS ARE TO EXAMINE ALL DRAWINGS AND NOTIFY THE PROJECT MANAGER OF ANY DISCREPANCY BEFORE PROCEEDING WITH THE WORK.
16. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES AND PROTECT THEM FROM DAMAGE.
17. ALL CONCRETE WORK SHALL CONFORM TO THE "ACI BUILDING CODE", ACI 318-02.
18. EXPANSION JOINT MATERIAL SHALL CONFORM TO ASTM D-1751
19. REFER TO ARCHITECTURAL, ELECTRICAL, AND MECHANICAL DRAWINGS FOR ANY OTHER ADDITIONAL SLEEVES, ANCHORS, VENT OPENINGS, ETC. NOT SHOWN ON STRUCTURAL PLANS THAT MIGHT BE REQUIRED.



5 Piling Detail

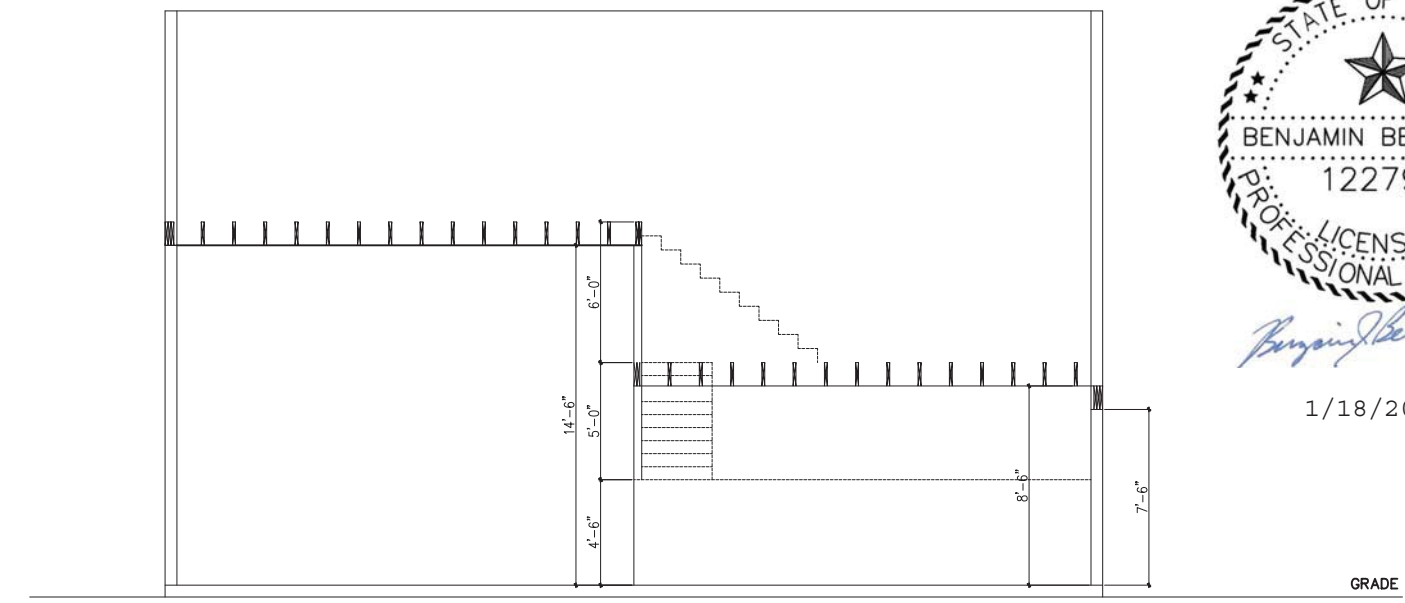


6 Piling Detail

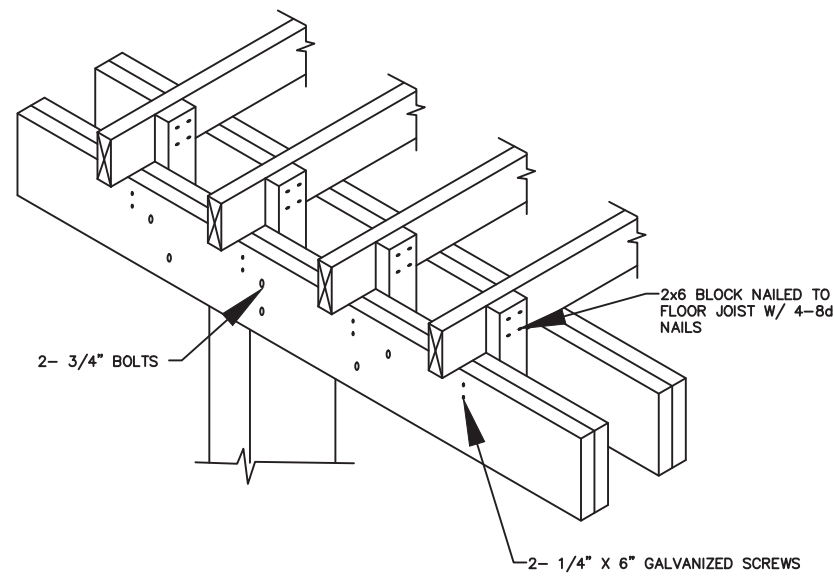


PARTIAL FRAME SECTION "X-X"

3 8"x8" PIER DETAIL



PARTIAL FRAME SECTION "Z-Z"



FLOOR FRAMING DETAIL  
NOT TO SCALE

NOTE:  
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*Benjamin Berardino P.E.*

1/18/2021

**BOMS**  
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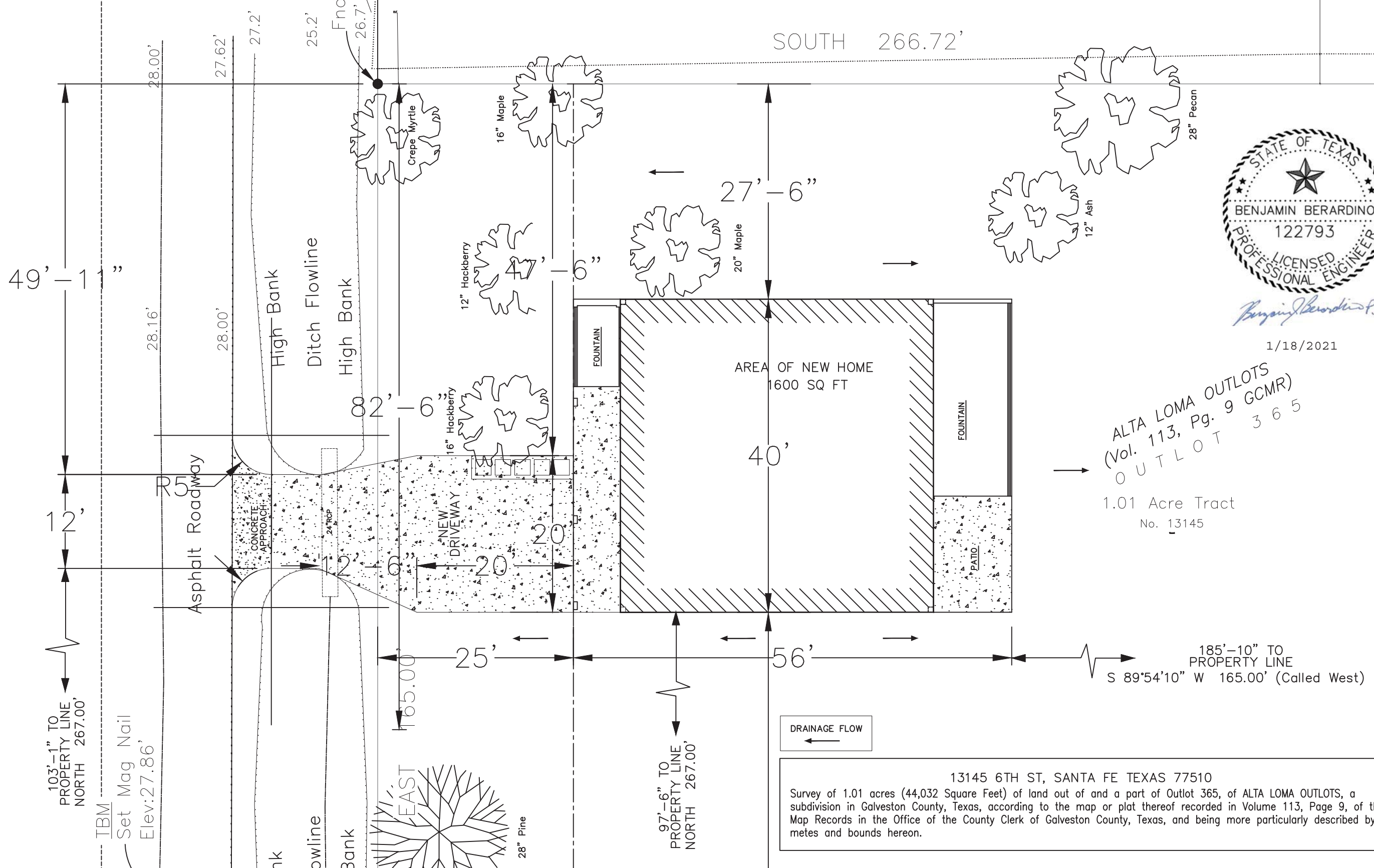
DETAILS &  
FRAME  
SECTION



# Site Plan

NOTE: Grade will fall a minimum of 6 inches within the first 10 feet away from the foundation or provide a swale where a physical barrier does not allow a 6 inch drop in the first 10 feet

Ken & Laura Salas  
1.47 Acre Tract  
(011-69-1912 GCDR)



*Benjamin Berardino P.E.*

1/18/2021

ALTA LOMA OUTLOTS  
(Vol. 113, Pg. 9 GCMR)  
OUTLOT 365

1.01 Acre Tract  
No. 13145

DRAINAGE FLOW  
←

13145 6TH ST, SANTA FE TEXAS 77510  
Survey of 1.01 acres (44,032 Square Feet) of land out of and a part of Outlot 365, of ALTA LOMA OUTLOTS, a subdivision in Galveston County, Texas, according to the map or plat thereof recorded in Volume 113, Page 9, of the Map Records in the Office of the County Clerk of Galveston County, Texas, and being more particularly described by metes and bounds hereon.



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SITE PLAN