

T-47 RESIDENTIAL REAL PROPERTY AFFIDAVIT  
(MAY BE MODIFIED AS APPROPRIATE FOR COMMERCIAL TRANSACTIONS)

Date: 6-15-21 GF No. \_\_\_\_\_

Name of Affiant(s): Donna Beaver

Address of Affiant: 14000 Fm 2354, Beach City, TX

Description of Property: TR:3 6-1-3-4-1 S Barrow

County Chambers, Texas

"Title Company" as used herein is the Title Insurance Company whose policy of title insurance is issued in reliance upon the statements contained herein.

Before me, the undersigned notary for the State of Texas, personally appeared Affiant(s) who after by me being sworn, stated:

1. We are the owners of the Property. (Or state other basis for knowledge by Affiant(s) of the Property, such as lease, management, neighbor, etc. For example, "Affiant is the manager of the Property for the record title owners."):

2. We are familiar with the property and the improvements located on the Property.

3. We are closing a transaction requiring title insurance and the proposed insured owner or lender has requested area and boundary coverage in the title insurance policy(ies) to be issued in this transaction. We understand that the Title Company may make exceptions to the coverage of the title insurance as Title Company may deem appropriate. We understand that the owner of the property, if the current transaction is a sale, may request a similar amendment to the area and boundary coverage in the Owner's Policy of Title Insurance upon payment of the promulgated premium.

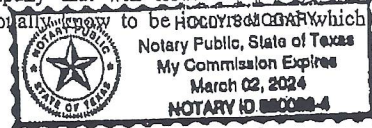
4. To the best of our actual knowledge and belief, since September 1, 2010 there have been no:  
a. construction projects such as new structures, additional buildings, rooms, garages, swimming pools or other permanent improvements or fixtures;  
b. changes in the location of boundary fences or boundary walls;  
c. construction projects on immediately adjoining property(ies) which encroach on the Property;  
d. conveyances, replattings, easement grants and/or easement dedications (such as a utility line) by any party affecting the Property.

EXCEPT for the following (If None, Insert "None" Below): None

5. We understand that Title Company is relying on the truthfulness of the statements made in this affidavit to provide the area and boundary coverage and upon the evidence of the existing real property survey of the Property. This Affidavit is not made for the benefit of any other parties and this Affidavit does not constitute a warranty or guarantee of the location of improvements.

6. We understand that we have no liability to Title Company that will issue the policy(ies) should the information in this Affidavit be incorrect other than information that we personally know to be incorrect which we do not disclose to the Title Company.

Donna Beaver  
\_\_\_\_\_  
Notary Public



SWORN AND SUBSCRIBED this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_  
Notary Public

DESCRIPTION OF A TRACT OF LAND CONTAINING  
1.4030 ACRE (61,116 SQUARE FEET) SITUATED IN  
THE SOLOMON BARROW LEAGUE, ABSTRACT 3  
CHAMBERS COUNTY, TEXAS

Being a tract of land containing 1.4030 acre (61,116 square feet), being all of a tract of land conveyed unto Donna K. Beaver and Dennis L. Beaver by deed recorded in Volume 809, Page 846 of the Deed Records of Chambers County, Texas, situated in the Solomon Barrow League, Abstract 3, Chambers County, Texas, Said 1.4030-acre tract being more particularly described by metes and bounds as follows:

BEGINNING at a found 1/2-inch iron rod in the east right-of-way line of F.M. 2354 (a.k.a. Tri City Beach Road (120.00 feet wide) for the southwest corner of said Beaver Tract, the northwest corner of a tract of land conveyed unto John Meadors, Jr. by deed recorded in Volume 239, Page 500 of the Deed Records of Chambers County, Texas, and for the southwest corner of said tract herein described;

THENCE North 01° 18' 14" West with the east right-of-way line of said F.M. 2354 and the west line of said Beaver Tract, a distance of 116.68 feet to a found 1/2-inch iron rod with cap marked "Chandler" in the east right-of-way line of said F.M. 2354 for the northwest corner of said Beaver Tract, the southwest corner of a tract of land conveyed unto Billy F. Mudd and Karen C. Mudd by deed recorded in Volume 230, Page 185 of the Deed Records of Chambers County, Texas, and for the northwest corner of said tract herein described;

THENCE North 85° 15' 07" East with the north line of said Beaver Tract and the south line of said Mudd Tract, a distance of 539.65 feet to a found 1/2-inch iron rod for the northeast corner of said Beaver Tract, the southeast corner of said Mudd Tract, in the west line of a tract of land conveyed unto Ray E. Pursley by deed recorded in Volume 283, Page 74 of the Deed Records of Chambers County, Texas, and for the northeast corner of said tract herein described;

THENCE South 13° 24' 09" West with the east line of said Beaver Tract and the west line of said Pursley Tract, a distance of 122.90 feet to a found 1/2-inch iron rod with cap marked "Chandler" for the southeast corner of said Beaver Tract, the southwest corner of said Pursley Tract, the northwest corner of a tract of land conveyed unto Adam Lee Landriault and Dian Gay Landriault by deed recorded in Volume 698, Page 431 of the Deed Records of Chambers County, Texas, the northeast corner of said Meadors Tract, and for the southeast corner of said tract herein described;

THENCE South 85° 17' 17" West with the south line of said Beaver Tract and the north line of said Meadors Tract, a distance of 508.38 feet to the POINT OF BEGINNING and containing 1.4030 acre (61,116 square feet), more or less.

Note: This metes and bounds description is referenced to a survey drawing prepared by Survey 1, Inc. dated September 1, 2010, job number 8-11079-10.

Survey 1, Inc.  
P.O. Box 2543  
Alvin, TX 77512  
281-393-1382

