PUBLIC STREET

ADDRESS: 11315 COLOMA
NEW CONSTRUCTION

DATE: JUNE, 2020

CITY: PINEY POINT VILLAGE, TEXAS
TYNEWOOD H.O.A.

BUILDER: CONCORD BUILDERS
701 SHEPHERD DRIVE
SUITE 200
HOUSTON, TX. 77007

DESIGNER: KEVIN YOUNG DESIGNERS, INC.
5615 N.W. CENTRAL DRIVE
SUITE C-108
HOUSTON, TEXAS 77092

STRUCTURAL ENGINEER: HENDRICKS ENGINEERS, INC.
BRYAN HENDRICKS, P.E.
16000 STUEBNER AIRLINE
SUITE 400
SPRING, TEXAS 77379

CIVIL ENGINEER: ANDREW LONNIE SIKES, INC.
ANDREW LONNIE SIKES II P.E.
11415 BEDFORD STREET
HOUSTON, TEXAS 77031

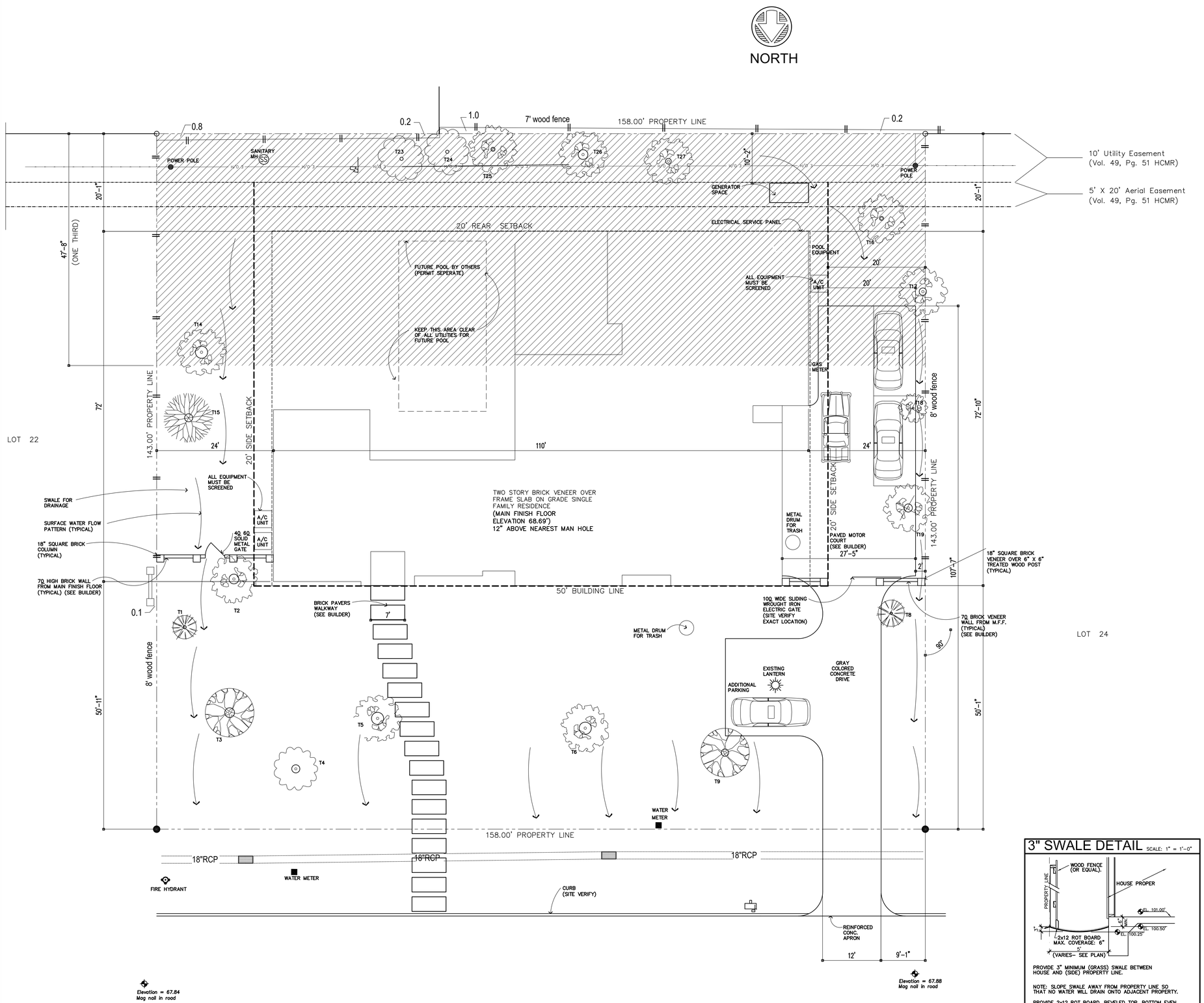
SURVEYOR: PROBSTFELD & ASSOCIATES
MATT PROBSTFELD
515 PARK GROVE DRIVE
SUITE 102
KATY, TEXAS 77450

PROPERTY OWNER: CONCORD BUILDERS
701 SHEPHERD DRIVE
SUITE 200
HOUSTON, TX. 77092

HOA: TYNEWOOD HOA

SEPARATE PERMIT REQUIRED FOR DRIVEWAY, SWIMMING POOL, FENCE, AND GENERATOR.

CITY OF PINEY POINT VILLAGE
FOLLOWS BUILDING CODES
INTERNATIONAL RESIDENTIAL CODE IRS 2012
INTERNATIONAL PLUMBING CODE IPC 2012
INTERNATIONAL MECHANICAL CODE IMC 2012
INTERNATIONAL ENERGY CONSERVATION CODE IECC 2012
INTERNATIONAL FIRE CODE IFC 2012
INTERNATIONAL FUEL GAS CODE IFGC 2012
INTERNATIONAL ELECTRIC CODE NFPA 70 2017



11315 COLOMA LANE
60' R.O.W.

lot coverage calculations

	Existing Area	Proposed Area	Total Area
Main Structure		5,594	5,594
Accessory Bldgs.			
Paving, Walks, Flatwork, Fence and A/C pads		2,781	2,781
Pool and Deck			
TOTAL LOT COVERAGE			22,594

Include all buildings within 5' of main structure

Percent of Lot Coverage by Main Structure:

5,594 (Area of Main Structure) / 22,594 (Area of Lot) = 25% (30% Max. Coverage)

Percent of Total Lot Coverage:

8,375 (Total Lot Coverage: (Building,Driveways,Street,Walkway)) / 22,594 (Area of Lot) = 37% (50% Max. Coverage)

3" SWALE DETAIL SCALE: 1" = 1'-0"

PROVIDE 3" MINIMUM (GRASS) SWALE BETWEEN HOUSE AND (SIDE) PROPERTY LINE.

NOTE: SLOPE SWALE AWAY FROM PROPERTY LINE SO THAT NO WATER WILL DRAIN ONTO ADJACENT PROPERTY.

PROVIDE 2x12 ROT BOARD, BEVELED TOP, BOTTOM EVEN WITH ADJACENT UNDISTURBED GRADE, WHEN TOTAL GRADE DIFFERENCE EACH SIDE OF PROPERTY LINE IS 6" OR LESS... AT THE PROPERTY LINE.

unless noted otherwise

site plan

SP 1 Contractor or sub-contractor shall verify, at time of stake-out and prior to ordering of any materials, all dimensions and measurements, existing grades, location of all lot lines, easements, building set-back lines and rear yard requirements (whether shown or not on the drawings) and shall be responsible for their accuracy

SP 1A This site plan is based upon data derived from a survey conducted by Probstfeld & Associates, Inc., Job. No. 2047-022 dated January 7, 2015.

SP 2 Drainage design is beyond the scope of this work. The foundation design shall be predicated upon proper final grading by others to ensure adequate drainage. Provisions shall be made for the control and drainage of surface water from around the perimeter of the proposed foundation and these patterns of drainage shall not be subjected to impediments by landscaping or other site improvements

SP 3 Tree locations if shown are approximate and should be site verified. Builder shall verify location of and tag any existing trees which are to remain and provide adequate interim protection against damage.

SP 4 The builder and/or owner shall be responsible for consulting with a licensed professional engineer regarding the foundation, superstructure and site drainage. KEVIN YOUNG DESIGNERS, INC. is a professional building design firm, not an engineering firm and consequently is not qualified nor licensed to design structural framing or foundations. Should an engineer's seal be present on these drawings, the engineer of record shall bear the responsibility for the structural design. KEVIN YOUNG DESIGNERS, INC. will not be held responsible for the structural design in any way or with any problems associated with the engineering aspects of the structure.

SP 5 Air conditioning condensing units shall be accessible in accordance with Section 1105.3 of the Mechanical Code. A minimum of 24" wide by 6'-6" high access passageway must be maintained to each condensing unit. A minimum 30" service area must be maintained on the service panel access side of each condensing unit. Where a condensing unit is allowed to be installed immediately adjacent to a property line the neighboring property cannot be considered a means of access to the unit of service area for the unit.

SP 6 All A/C and Pool Equipment to be within 20'-0" side setbacks

LEGAL DESCRIPTION

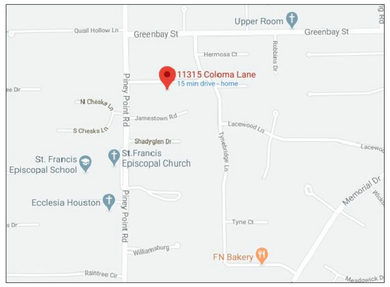
lot 23, block 1, of
Tynewood subdivision
Piney Point Village, Tx.

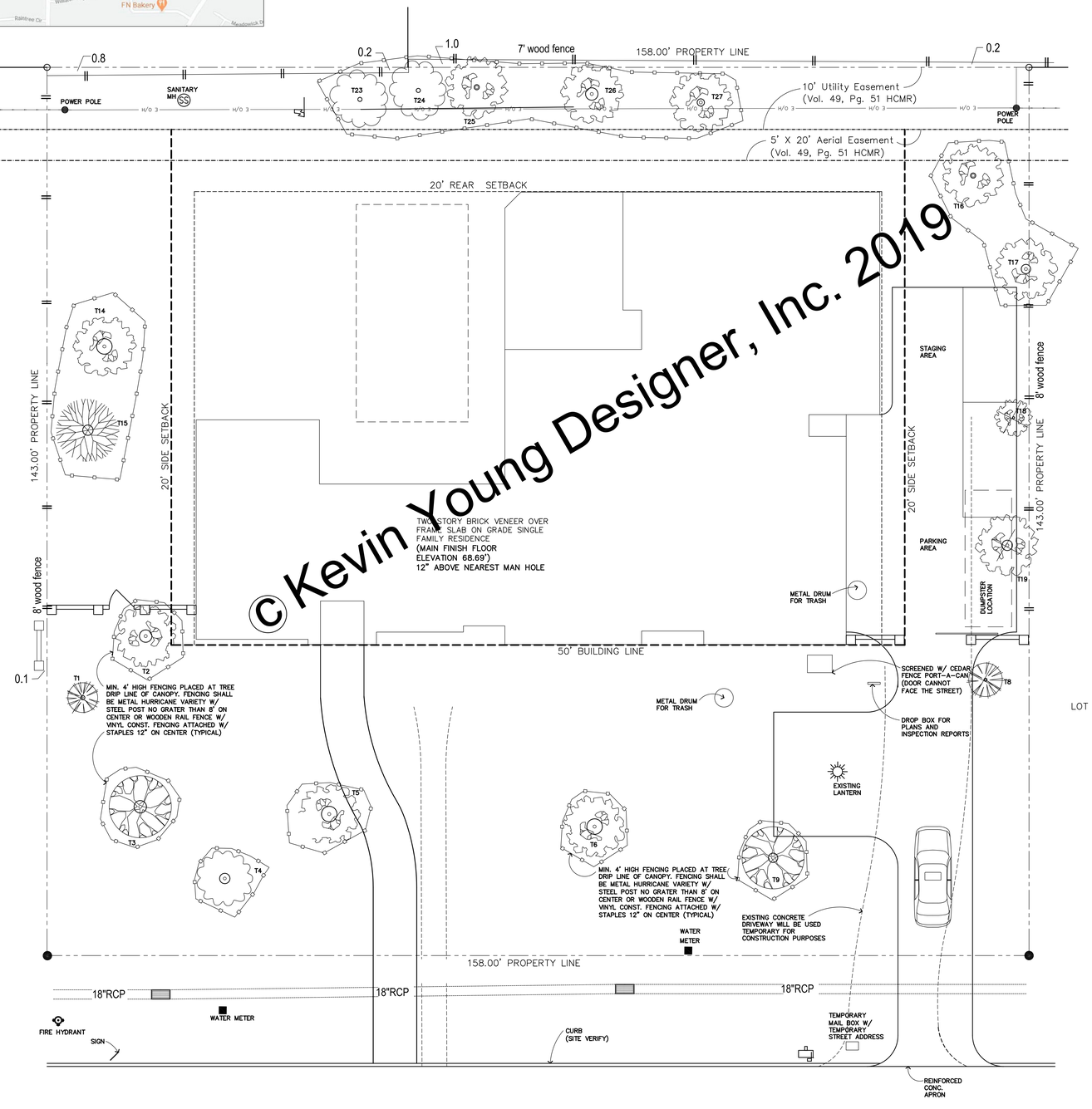
SITE PLAN

scale: 1/8" = 1'-0"

KEVIN YOUNG DESIGNERS, INC
5615 Kirby Drive, Suite C-108
Houston, Texas 77005
713.690.1136
Website: www.kyd.com • email: kyoung@kyd.com

Sheet 1 of 14
Plan Number: 7040
Drawn By: JC
Date: 12/23/19





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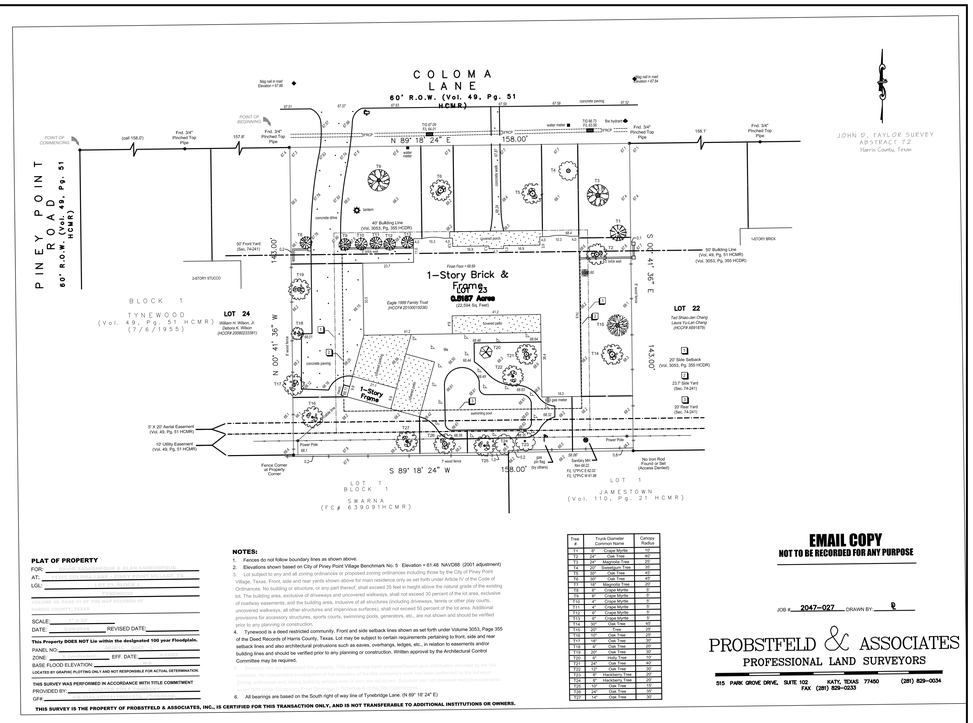
60' R.O.W.



PLAT OF PROPERTY

FOR: _____

AT: _____

LOT: _____

SCALE: _____

DATE: _____ REVISED DATE: _____

This Property DOES NOT Lie within the designated 100 year Floodplain.

PANEL NO: _____

ZONE: _____ EFF. DATE: _____

BASE FLOOD ELEVATION: _____

LOCATED BY GRAPHIC PLOTTING ONLY AND NOT RESPONSIBLE FOR ACTUAL DETERMINATION

THIS SURVEY WAS PERFORMED IN ACCORDANCE WITH TITLE COMMITMENT PROVIDED BY: _____

GF# _____

THIS SURVEY IS THE PROPERTY OF PROBSTFELD & ASSOCIATES, INC., IS CERTIFIED FOR THIS TRANSACTION ONLY, AND IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR OWNERS.

NOTES:

1. Fences do not follow boundary lines as shown above.
2. Elevations shown based on City of Piney Point Village Benchmark No. 5 Elevation = 81.48 NAVD88 (2001 adjustment)
3. Lot subject to any and all zoning ordinances or proposed zoning ordinances including those by the City of Piney Point Village, Texas. Front, side and rear yards shown above for main residence only as set forth under Article IV of the Code of Ordinances. No building or structure, or any part thereof, shall exceed 35 feet in height above the natural grade of the existing lot. The building area, exclusive of driveways and uncovered walkways, shall not exceed 30 percent of the lot area, exclusive of roadway easements, and the building area, inclusive of all structures (including driveways, tennis or other play courts, swimming pools, all other structures and impervious surfaces), shall not exceed 50 percent of the lot area. Additional uncovered walkways, all other structures and impervious surfaces), shall not exceed 50 percent of the lot area. Additional provisions for accessory structures, sports courts, swimming pools, generators, etc., are not shown and should be verified prior to any planning or construction.
4. Tynewood is a deed restricted community. Front and side setback lines shown as set forth under Volume 3053, Page 355 of the Deed Records of Harris County, Texas. Lot may be subject to certain requirements pertaining to front, side and rear setback lines and also architectural protrusions such as eaves, overhangs, ledges, etc., in relation to easements and/or building lines and should be verified prior to any planning or construction. Written approval by the Architectural Control Committee may be required.
5. Bearings are based on the South right of way line of Tynebridge Lane. (N 89° 18' 24" E)
6. All bearings are based on the South right of way line of Tynebridge Lane. (N 89° 18' 24" E)

Tree #	Trunk Diameter Common Name	Canopy Radius
T1	8" Crape Myrtle	10
T2	6" Crape Myrtle	10
T3	24" Magnolia Tree	30
T4	24" Magnolia Tree	30
T5	30" Oak Tree	40
T6	30" Oak Tree	40
T7	8" Crape Myrtle	10
T8	6" Crape Myrtle	8
T9	6" Crape Myrtle	8
T10	6" Crape Myrtle	8
T11	4" Crape Myrtle	6
T12	4" Crape Myrtle	6
T13	6" Crape Myrtle	8
T14	30" Oak Tree	40
T15	30" Oak Tree	40
T16	20" Oak Tree	25
T17	20" Oak Tree	25
T18	20" Oak Tree	25
T19	20" Oak Tree	25
T20	Shrub	10
T21	20" Oak Tree	25
T22	20" Oak Tree	25
T23	18" Hackberry Tree	20
T24	18" Hackberry Tree	20
T25	30" White Oak Tree	40
T26	30" Oak Tree	40
T27	30" Oak Tree	40

EMAIL COPY
NOT TO BE RECORDED FOR ANY PURPOSE

JOB #: 2047-027 DRAWN BY: B

PROBSTFELD & ASSOCIATES
PROFESSIONAL LAND SURVEYORS
515 PARK GROVE DRIVE, SUITE 102 KATY, TEXAS 77450 (281) 829-0034
FAX (281) 829-0233

City of Piney Point

A. "Any grass within the City's right-of-way which is damaged during construction shall be replaced with St. Augustine grass".

B. "Any damage to existing roads, driveways, sidewalks, or other appurtenances within the City's right-of-way shall be saw-cut, removed and replaced with material at least equal to that which was damaged. All replacement shall be performed to City standards and will require a building permit issued prior to starting the work".

C. "During the construction process the contractor shall maintain proper drainage to assure that no water flows onto adjacent properties".

D. Any and all revisions to (the new construction house plans, drainage and tree dispositions plans) must have city approval prior to making any changes or adjustments.

E. "All accessory buildings, pools, driveways, sidewalks, flatwork, fences, generators are included with the new construction plan sets.

F. "All area calculations include all of the improvements for this project.

G. "No work is allowed on Sundays".

H. "Temporary tree protections to remain up at all times until the tree final.

I. Temporary drainage (re-enforced filter fabric) to remain in place until the drainage final.

J. No run off of any king can be placed or dumped into the storm drains.

K. A Final "As Built Topo," is required at the end of the construction project. A final as built Topo is to be submitted at least 4 to 6 weeks in advance of the closing of the property. The topo must be approved by the Cities Engineers and must pass drainage final before a certificate of occupancy can and will be issued.

L. Builder, architect and or designer is responsible for any changes at it relates to any new building codes, city zoning ordinances and amendments and all administrative procedures and policy changes.

unless noted otherwise

site plan

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SP 3 Tree locations if shown are approximate and should be site verified. Builder shall verify location of and tag any existing trees which are to remain and provide adequate interim protection against damage.

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SP 5 Air conditioning condensing units shall be accessible in accordance with Section 1105.3 of the Mechanical Code. A minimum of 24" wide by 6'-6" high access passageway must be maintained to each condensing unit. A minimum 30" service area must be maintained on the service panel access side of each condensing unit. Where a condensing unit is allowed to be installed immediately adjacent to a property line the neighboring property cannot be considered a means of access to the unit of service area for the unit.

DESIGNER:	KEVIN YOUNG DESIGNERS, INC. 5615 N.W. CENTRAL DRIVE SUITE C-108 HOUSTON, TEXAS 77092
STRUCTURAL ENGINEER:	HENDRICKS ENGINEERS, INC. BRYAN HENDRICKS, P.E. 16000 STUEBNER AIRLINE SUITE 400 SPRING, TEXAS 77379
CIVIL ENGINEER:	ANDREW LONNIE SIKES, INC. ANDREW LONNIE SIKES II P.E. 11415 BEDFORD STREET HOUSTON, TEXAS 77031
SURVEYOR:	PROBSTFELD & ASSOCIATES MATT PROBSTFELD 515 PARK GROVE DRIVE SUITE 102 KATY, TEXAS 77450
H.O.A.	TYNEWOOD SUBDIVISION
CITY	PINEY POINT, TEXAS

NORTH

LEGAL DESCRIPTION

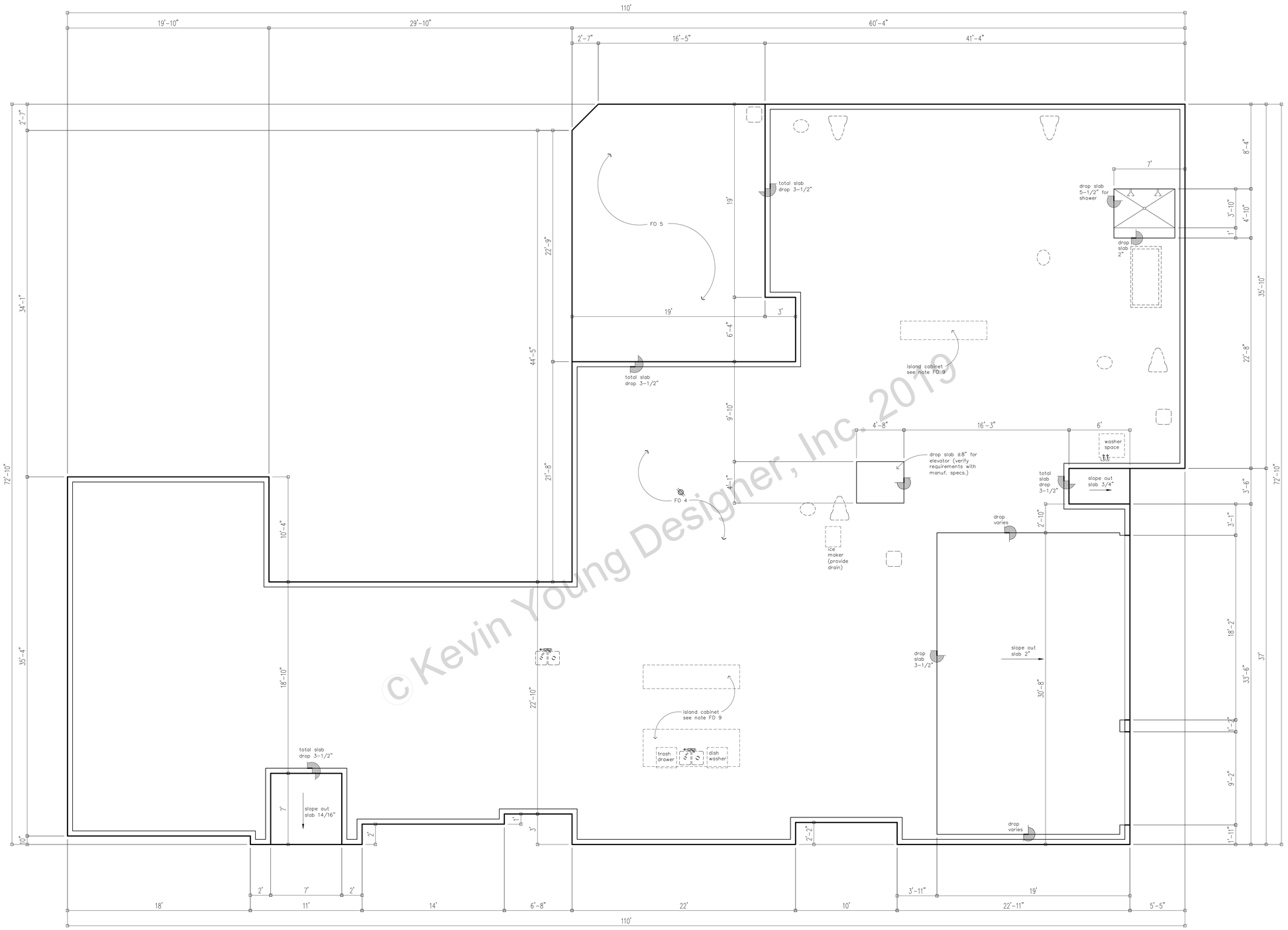
lot 23, block 1, of
Tynewood subdivision
Piney Point Village, Tx.

PRE-CONSTRUCTION SITE PLAN

scale: 1/8" = 1'-0"

KEVIN YOUNG DESIGNERS, INC
5615 N.W. Central Dr. Suite C-108
Houston, Texas 77092
713-590-1136
Website: www.kyd.com ◦ email: kyoung@kyd.com

Sheet 2 of 14
Plan Number: 7040
Drawn By: JC
Date: 12/23/19



unless noted otherwise

foundation outline

FO 1 All angles shown in plan shall be divisible by 45
FO 2 Refer to Floor Plan for exact location of all dropped or raised areas of the slab not dimensioned on this sheet
FO 3 All height designations shall be as measured from main finished floor
FO 4 Refer to Owner and/or Builder for location of any electrical outlets flush with finish floor
FO 5 Slope out all slabs at covered areas which are open to the elements at minimum 1/8" per lineal foot of slab
FO 6 Raise slab 1 1/2" at all hatched areas for carpeting and provide double sole plates (pressure treated) at areas not raised
FO 7 Foundation walls shall extend minimum 6 inches above the finish grade adjacent to the wall at all points
FO 8 Provide 1/2" diameter x 8" anchor bolts at 36 inches on center at all exterior wall conditions and at conditions of double sole plates anchor bolts shall be 1/2" x 10"
FO 9 Allow for electrical, mechanical and plumbing at all free-standing island cabinetry requiring same (refer to Floor Plan)
FO 10 Dashed outlines of plumbing fixture locations are approximate refer to Floor Plan for dimensions
FO 11 All gas piping through outside foundation walls shall be sleeved
FO 12 Provide minimum (2) layers of polyethylene vapor barrier under all wood floors
FO 13 Excavation for all footings shall be neat
FO 14 Footings shall be poured as soon as possible after excavation
FO 15 The foundation is a load carrying system for structural purposes only and is not intended to supplement drainage or water movement systems on site. Drainage design is beyond the scope of this work. The foundation design is predicated upon proper final grading by others to ensure adequate drainage. Provisions shall be made for the control and drainage of surface water from around the perimeter of the proposed foundation and these patterns of drainage shall not be subjected to impediments by landscaping or other site improvements
FO 16 Contractor or subcontractor shall verify, at time of stake-out and prior to ordering of any materials, all dimensions and measurements, existing grades, location of all property lot lines, easements, building set-back lines and rear yard requirements (whether shown or not on the drawings), any subdivision notes and requirements and shall be responsible for their accuracy.
FO 17 This drawing shall be used for architectural reference only and is not intended as a construction drawing. Refer to the engineered foundation plan by others.
FO 18 The builder and/or owner shall be responsible for consulting with a licensed professional engineer regarding the foundation, superstructure and site drainage. KEVIN YOUNG DESIGNERS, INC. is a professional building design firm, not an engineering firm and consequently is not qualified nor licensed to design structural framing or foundations. Should an engineer's seal be present on these drawings, the engineer of record shall bear the responsibility for the structural design. KEVIN YOUNG DESIGNERS, INC. will not be held responsible for the structural design in any way or with any problems associated with the engineering aspects of the structure.

FOUNDATION OUTLINE

scale: 1/4" = 1'-0"

KEVIN YOUNG DESIGNERS, INC
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713-690-1136
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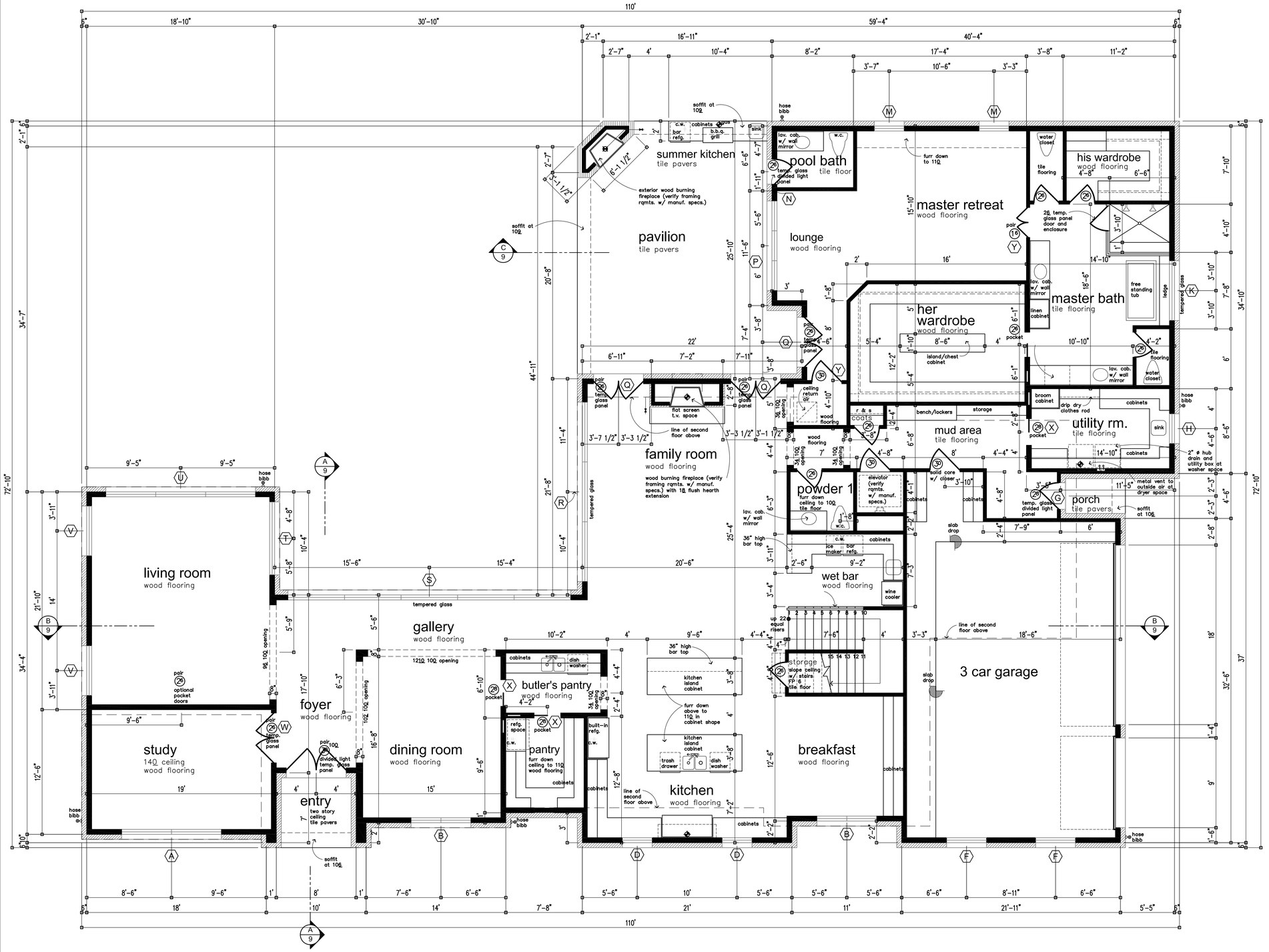
Sheet 2 of 14
Plan Number: 7040
Drawn By: JC
Date: 12/26/19

window schedule

- (A) (2)4⓪ 2⓪ fixed glass transoms at 10⓪ head height mulled horizontally w/ (2)4⓪ 6⓪ divided light fixed glass below
- (B) (2)3⓪ 2⓪ fixed glass transoms at 10⓪ head height mulled horizontally w/ (2)3⓪ 6⓪ divided light fixed glass below
- (C) not used
- (D) 3⓪ 2⓪ fixed glass transoms at 10⓪ head height mulled horizontally w/ 3⓪ 4⓪ divided light fixed glass below
- (E) not used
- (F) 4⓪ 2⓪ fixed glass transoms at 10⓪ head height mulled horizontally w/ 4⓪ 6⓪ divided light fixed glass below
- (G) 2⓼ 2⓪ fixed glass transom mulled horizontally w/ door below at 10⓪ head height
- (H) 3⓪ 2⓪ fixed glass transom at 10⓪ head height mulled horizontally w/ 3⓪ 4⓺ divided light fixed glass
- (J) not used
- (K) 6⓪ 2⓪ fixed glass transom at 10⓪ head height mulled horizontally w/ 6⓪ 5⓪ tempered divided light fixed glass below
- (L) not used
- (M) 3⓪ 2⓪ fixed glass transom at 10⓪ head height mulled horizontally w/ 3⓪ 6⓪ divided light casement
- (N) 2⓺ 2⓪ fixed glass transom mulled horizontally w/ door below at 10⓪ head height
- (P) (3) 3⓪ 2⓪ fixed glass transoms at 10⓪ head height mulled horizontally w/ (3) 3⓪ 6⓪ divided light fixed glass
- (Q) (2) 2⓼ 2⓪ fixed glass transoms mulled horizontally w/ doors below at 10⓪ head height
- (R) (3) 6⓪ 2⓪ fixed glass transoms at 10⓪ head height mulled horizontally w/ (3) 6⓪ 8⓪ divided light tempered fixed glass below
- (S) (5) 5⓼ 2⓪ fixed glass transoms at 10⓪ head height mulled horizontally w/ (5) 5⓼ 8⓪ divided light tempered fixed glass below
- (T) 7⅛ 2⓪ fixed glass transom at 10⓪ head height mulled horizontally w/ 7⅛ 6⓺ divided light fixed glass
- (U) (3) 5⓪ 2⓪ fixed glass transoms at 10⓪ head height mulled horizontally w/ (3) 5⓪ 6⓺ divided light fixed glass mulled vertically
- (V) 5⓪ 2⓪ fixed glass transom at 10⓪ head height mulled horizontally w/ 5⓪ 6⓺ divided light fixed glass
- (W) 5⓪ 2⓪ fixed glass interior wood transom mulled horizontally w/ doors below at 10⓪ head height
- (X) 2⓼ 2⓪ fixed glass interior wood transom mulled horizontally w/ doors below at 10⓪ head height
- (Y) 3⓪ 2⓪ fixed glass interior wood transom mulled horizontally w/ doors below at 10⓪ head height



unless noted otherwise

floor plans

FP 1 First Floor (nominal heights): 12'–0" ceiling height; 8'–0" header heights;
8'–0" interior door heights (1 3/8" thick solid core);
8'–0" exterior door heights (1 3/4" thick solid core);
10'–0" window header heights

FP 2 Interior wall studs at first and second floor shall be #3 syp 2x4 at 16" on center

FP 3 All height designations shall be as measured from main finished floor at first floor plan and from second finished floor at second floor plan.

FP 4 All angles shown in plan shall be divisable by 45

FP 5 Walls and ceiling shall be 1/2" ASTM–C36 gypsum wallboard with recessed longitudinal edges and installed in accordance with "American Standard Notes for the Application and Finishing of Gypsum Wallboard" and I.R.C. R702.3.

FP 6 Enclosed accessible space under stairs shall have walls, under stair surface and any soffits protected on the enclosed side with 1/2 inch (13 mm) gypsum board. R311.2.2 under stair protection

FP 7 Garage Opening Protection (door) R309.1 2012 I.R.C. Amendments Openings from a private garage directly into a room used for sleeping purposes shall not be permitted. Other openings between the garage and residence shall be equipped with a solid wood door not less than 1 3/8" which shall be self closing having a fire–protection rating of 20 minutes.

FP 8 Refer to Interior Elevations for additional furring and framing information.
b) arched head openings and windows shall have a radius equal to the width of the opening or window. Arched cap openings and windows shall have a radius one half of the opening or window width.

FP 9 All bedroom windows shall comply with the International Residential Code section R310 and shall have a sill height of not more than 44 inches above the floor and produce a net clear opening of 5.7 square feet while providing a minimum 24 inches high and 20 inches wide opening for emergency escape. In dwelling units where the opening of an operable window is located more than 72" above the finished grade or surface below, the lowest part of the clear opening of the window shall be a minimum of 24" above the finished floor of the room in which the window is located. Glazing between the floor and 24" shall be fixed or have openings through which a 4" diameter sphere cannot pass.

FP 10 Stairways shall comply with the International Code Sections 312,314 and 315 or equal. Stair width (R311.5 200r IRC) in residential shall not be less than 36" in clear width at all points above the permitted handrail height and below the required headroom height. a) Stairways shall have at least one handrail and handrails shall be installed on all open sides of stairs. Handrails shall be continuous the full length of the stairs and shall terminate in a newel post or safety terminal. Minimum width between handrails shall be 31.5 inches, height above nose of tread shall be minimum 34 inches and maximum 38 inches, hand–gripping portion of the handrails shall have a circular cross section of 1 1/4 inches minimum to 2 5/8 inches maximum. Other handrail shapes that provide an equivalent smooth grasping surface are permissible. Edges shall have a minimum radius of 1/8 inch. Handrails projecting from a wall shall have a space not less than 1 1/2 inches between the wall and the handrail. b) guardrails and handrails shall comply with the "minimum uniformly distributed live load" (as per IRC table R 301.5) of 200 lbs. per square foot as a single concentrated load applied in any direction at any point along the top. c) Guard in–fill components (except handrails) shall be designed to withstand a horizontally applied normal load of 50 pounds on an area equal to 1 square foot. Balusters or ornamental closures shall not create a ladder effect or allow passage of a sphere 4 inches in diameter, however the triangular openings formed by the riser, tread and bottom rail of a guard at the open side of a stairway are permitted to be of such a size that a sphere 6 inches cannot pass through. d) The width of each landing shall not be less than the stairway served and every landing shall have a minimum dimension of 36 inches measured in the direction of travel e) Stair risers (R311.5.3 2012 IRC) Stair maximum riser height shall be 7 ¾ ". winder treads shall provide 10 inches of tread depth at a point not more than 12 inches from the side where the treads are narrower and minimum width of any tread shall not be less than 6 inches. The continuous handrail shall be located on the side where the treads are narrowest.

FP 11 All guardrails at raised floor areas, balconies and porches shall comply with the I.R.C. section R316 or equal. Minimum height above finish floor to be 36 inches and balusters or ornamental closures shall not allow passage of a sphere 4 inches in diameter. (refer to FP 10 b)

FP 12 Approved smoke detectors shall be listed, located and installed in accordance with the provisions of the I.R.C. section R317 and the fire warning equipment provisions of NFPA 72. In new construction the alarms shall receive their primary power from the building wiring and have secondary power from internal batteries.

FP 13 Provide ventilation at all baths and utility rooms through natural or mechanical means which is capable of providing five air changes per hour and is connected directly to the outside air with a point of discharge at least 3 feet from any opening that allows air entry into occupied portions of the building

FP 14 Water heaters shall be provided with 26 gauge metal drain pan (sized per water heater capacity and city requirements) fastened to floor deck below. Pan drain line and water heater pressure relief line shall be vented to exterior, not into sanitary sewer. Clearance from top of water heater to bottom of rafters shall not be less than 12". Gas equipment shall be provided appropriate attic ventilation for combustion air and minimum 4" diameter pre–fabricated flue lashed where it is vented through roof deck. Size, number and type of equipment shall be per specifications.

FP 15 Shower stalls and tubs with shower heads shall have walls finished with a non–absorbent surface over waterproof gypsum board (or a equal or better material) to a height of not less than 70" above the drain inlet

FP 16 Glazing in locations subject to human impact such as: a) side hinged doors; b) fixed and sliding panels of a sliding door assembly; c) storm doors; d) enclosures and doors for bath tubs and showers where the bottom edge is less than 60 inches above the floor; e) individual fixed or operable panels adjacent to a door where the nearest vertical edge is within a 24 inch arc of the door in a closed position and whose bottom edge is less than 60 inches above the floor; f) glazing in walls enclosing stairways and landings or within 60 inches of the top and bottom of stairways where the bottom edge of the glass is less than 60 inches above walking surfaces; g) individual fixed or operable panels other than those listed above in FP 16d and FP 16e that meet all the following criteria: 1) area panel greater than 9 square feet; 2) bottom edge is less than 18 inches above floor; 3) top edge greater than 36 inches above floor; 4) walking surface within 36 inches horizontally of glazing. h) refer to INTERNATIONAL RESIDENTIAL CODE section R 308.4 for exceptions. i) safety glazing materials are those so constructed, treated or combined with other materials as to minimize the likelihood of cutting and piercing injuries resulting from human contact with this glazing material and include such materials as laminated glass, tempered glass, wired glass, and safety plastic, comply with sections R308.3 and R380.4 of the 2012 IRC. Glazing adjacent to stairways, landings and ramps within 36" horizontally of a walking surface when the exposed surface of the glass is less than 60" above the plane of the adjacent walking surface. Glazing adjacent to stairways within 60" horizontally of the bottom tread of a stairway in any direction when the exposed surface of the glass is less than 60" above the nose of the tread. Plans shall identify glazing in hazardous locations as stated above. Windows adjacent to the stair landing, and adjacent to the tub or shower.

FP 17 Factory–built fireplaces (U.L. and I.C.B.O. approved), hearth extensions and chimneys shall be installed in accordance with the terms of their listings and the manufacturer's instructions as specified in the Mechanical Code and a copy of the manufacturers installation manual shall be available at the job site for the building inspectors review. The hearth extension shall be readily distinguishable from the surrounding floor area.

FP 18 It is the intent of these plans to allow all ceiling construction and heights to be as shown on the drawings. Coordinate the location of structural framing and beams, ductwork and piping and provide offsets in ductwork and piping as needed to meet this intent. Refer to floor plans, cross sections and interior elevations for ceiling, beam and soffit heights.

FP 19 Engineering of the foundation, superstructure and stairs does not fall within the scope of the work performed by KEVIN YOUNG DESIGNERS, INC., it shall be the responsibility of the owner or builder to have this performed. If an engineers seal is present upon these drawings the engineer of record shall be fully responsible for all engineering matters relating to the foundation, superstructure and stairs.

FP 20 Attic (R807.1 2012 IRC)
Attic access shall be provided in buildings with a combustible ceiling or roof construction. An attic access opening shall be provided to attic areas that exceed 30 square feet and have a vertical height of 30 inches or greater. The rough opening shall not be less than 22 inches by 30 inches.
Attic Access Appliances (M1305.1.3 IRC Amendments Attics containing appliances shall be provided with a pull down stairway with a clear opening not less than 22 inches in width and a load capacity of not less than 350 pounds.

All exterior walls to be 2x6
This plan is designed to follow 2012 I.R.C.

square footage tabulation

first floor	4263
second floor	2777
TOTAL LIVING AREA	7040
entry	55
3 car garage	761
lanai, pavilion, and summer kitchen	497
porch	21
TOTAL COVERED AREA	8374

FIRST FLOOR PLAN

scale: 1/4" = 1'–0"

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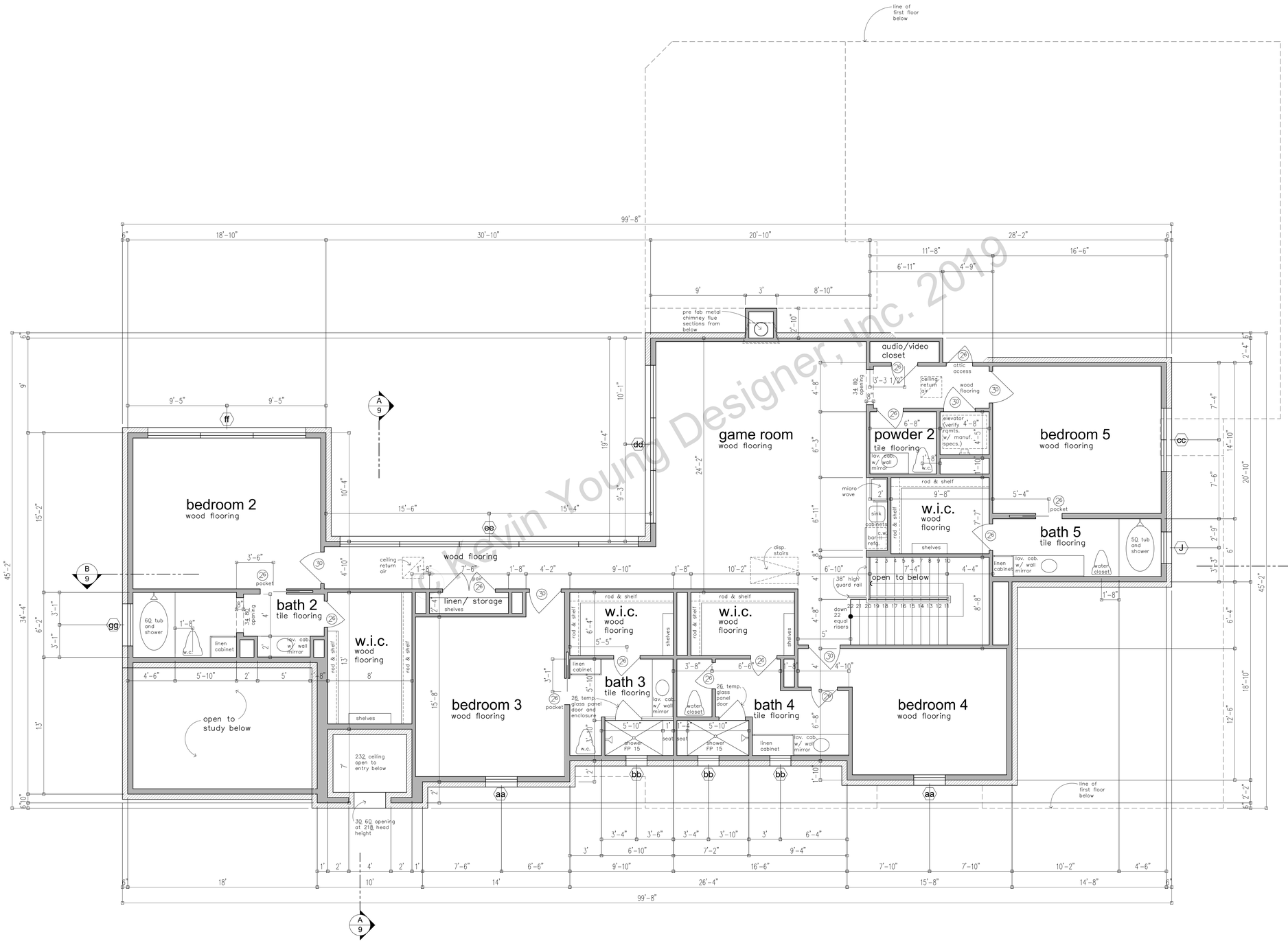
Sheet 5 of 11
Plan Number: 7040
Drawn By: JC
Date: 12/23/19

window schedule

at 80 head height in 2x6 frame u.n.o.

- aa — 30 60 divided light casement
- bb — 20 30 divided light fixed glass
- cc — (2) 30 60 divided light casements
- dd — (3) 50 60 divided light fixed glass mulled vertically
- ee — (5) 58 60 divided light fixed glass mulled vertically
- ff — (3) 50 60 divided light fixed glass mulled vertically
- gg — 40 20 fixed glass



unless noted otherwise

floor plans

FP 1A Second Floor **(nominal heights)**: 10'-0" ceiling height; 8'-0" header heights;
8'-0" interior door heights (1 3/8" thick solid core);
8'-0" exterior door heights (1 3/4" thick solid core);
8'-0" window header heights

FP 2 Interior **wall studs** at first and second floor shall be #3 syp 2x4 at 16" on center

FP 3 All height designations shall be as measured from main finished floor at first floor plan and from second finished floor at second floor plan.

FP 4 All angles shown in plan shall be divisible by 45

FP 5 Walls and ceiling shall be 1/2" ASTM-C36 **gypsum wallboard** with recessed longitudinal edges and installed in accordance with "American Standard Notes for the Application and Finishing of Gypsum Wallboard" and I.R.C. R702.3.

FP 6 **Enclosed accessible space under stairs shall have walls, under stair surface and any soffits protected on the enclosed side with 1/2 inch (13 mm) gypsum board. R311.2.2 under stair protection**

FP 7 Garage Opening Protection (door) R309.1 2012 I.R.C. Amendments Openings from a private garage directly into a room used for sleeping purposes shall not be permitted. Other openings between the garage and residence shall be equipped with a solid wood door not less than 1 3/8" which shall be self closing having a **fire-protection rating** of 20 minutes.

FP 8 Refer to Interior Elevations for additional furring and framing information.
b) **arched head** openings and windows shall have a radius equal to the width of the opening or window. **Arched cap** openings and windows shall have a radius one half of the opening or window width.

FP 9 All bedroom **windows** shall comply with the International Residential Code section R310 and shall have a sill height of not more than 44 inches above the floor and produce a net clear opening of 5.7 square feet while providing a minimum 24 inches high and 20 inches wide opening for emergency escape. In dwelling units where the opening of an operable window is located more than 72" above the finished grade or surface below, the lowest part of the clear opening of the window shall be a minimum of 24" above the finished floor of the room in which the window is located. Glazing between the floor and 24" shall be fixed or have openings through which a 4" diamter sphere cannot pass.

FP 10 **Stairways** shall comply with the International Code Sections 312,314 and 315 or equal. Stair width (R311.5 200r IRC) in residential shall not be less than 36" in clear width at all points above the permitted handrail height and below the required headroom height. a) Stairways shall have at least one handrail and handrails shall be installed on all open sides of stairs. **Handrails** shall be continuous the full length of the stairs and shall terminate in a newel post or safety terminal. Minimum width between handrails shall be 31.5 inches, height above nose of tread shall be minimum 34 inches and maximum 38 inches, hand-gripping portion of the handrails shall have a circular cross section of 1 1/4 inches minimum to 2 5/8 inches maximum. Other handrail shapes that provide an equivalent smooth grasping surface are permissible. Edges shall have a minimum radius of 1/8 inch. Handrails projecting from a wall shall have a space not less than 1 1/2 inches between the wall and the handrail. b) **guardrails** and handrails shall comply with the "minimum uniformly distributed live load" (as per IRC table R 301.5) of 200 lbs. per square foot as a single concentrated load applied in any direction at any point along the top. c) Guard in-fill components (except handrails) shall be designed to withstand a horizontally applied normal load of 50 pounds on an area equal to 1 square foot. **Balusters** or ornamental closures shall not create a ladder effect or allow passage of a sphere 4 inches in diameter, however the triangular openings formed by the riser, tread and bottom rail of a guard at the open side of a stairway are permitted to be of such a size that a sphere 6 inches cannot pass through. d) The width of each landing shall not be less than the stairway served and every landing shall have a minimum dimension of 36 inches measured in the direction of travel e) **Stair risers** (R311.5.3 2012 IRC) Stair maximum riser height shall be 7 ¾ ", **winder treads** shall provide 10 inches of tread depth at a point not more than 12 inches from the side where the treads are narrower and minimum width of any tread shall not be less than 6 inches. The continuous handrail shall be located on the side where the treads are narrowest.

FP 11 All **guardrails** at raised floor areas, balconies and porches shall comply with the I.R.C. section R316 or equal. Minimum height above finish floor to be 36 inches and balusters or ornamental closures shall not allow passage of a sphere 4 inches in diameter. (refer to FP 10 b)

FP 12 Approved **smoke detectors** shall be listed, located and installed in accordance with the provisions of the I.R.C. section R317 and the fire warning equipment provisions of NFPA 72. In new construction the alarms shall receive their primary power from the building wiring and have secondary power from internal batteries.

FP 13 Provide **ventilation** at all baths and utility rooms through natural or mechanical means which is capable of providing five air changes per hour and is connected directly to the outside air with a point of discharge at least 3 feet from any opening that allows air entry into occupied portions of the building

FP 14 **Water heaters** shall be provided with 26 gauge metal drain pan (sized per water heater capacity and city requirements) fastened to floor deck below. Pan drain line and water heater pressure relief line shall be vented to exterior, not into sanitary sewer. Clearance from top of water heater to bottom of rafters shall not be less than 12". Gas equipment shall be provided appropriate attic ventilation for combustion air and minimum 4" diameter pre-fabricated flue lashed where it is vented through roof deck. Size, number and type of equipment shall be per specifications.

FP 15 **Shower stalls** and tubs with shower heads shall have walls finished with a non-absorbent surface over waterproof gypsum board (or a equal or better material) to a height of not less than 70" above the drain inlet

FP 16 **Glazing** in locations subject to human impact such as: a) side hinged doors; b) fixed and sliding panels of a sliding door assembly; c) storm doors; d) enclosures and doors for bath tubs and showers where the bottom edge is less than 60 inches above the floor; e) individual fixed or operable panels adjacent to a door where the nearest vertical edge is within a 24 inch arc of the door in a closed position and whose bottom edge is less than 60 inches above the floor; f) glazing in walls enclosing stairways and landings or within 60 inches of the top and bottom of stairways where the bottom edge of the glass is less than 60 inches above walking surfaces; g) individual fixed or operable panels other than those listed above in FP 16d and FP 16e that meet all the following criteria: 1) area panel greater than 9 square feet; 2) bottom edge is less than 18 inches above floor; 3) top edge greater than 36 inches above floor; 4) walking surface within 36 inches horizontally of glazing. h) refer to INTERNATIONAL RESIDENTIAL CODE section R 308.4 for exceptions. i) safety glazing materials are those so constructed, treated or combined with other materials as to minimize the likelihood of cutting and piercing injuries resulting from human contact with this glazing material and include such materials as laminated glass, tempered glass, wired glass, and safety plastic, comply with sections R308.3 and R380.4 of the 2012 IRC. Glazing adjacent to stairways, landings and ramps within 36" horizontally of a walking surface when the exposed surface of the glass is less than 60" above the plane of the adjacent walking surface. Glazing adjacent to stairways within 60" horizontally of the bottom tread of a stairway in any direction when the exposed surface of the glass is less than 60" above the nose of the tread. Plans shall identify glazing in hazardous locations as stated above. Windows adjacent to the stair landing, and adjacent to the tub or shower.

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FP 18 It is the intent of these plans to allow all ceiling construction and heights to be as shown on the drawings. Coordinate the location of structural framing and beams, ductwork and piping and provide offsets in ductwork and piping as needed to meet this intent. Refer to floor plans, cross sections and interior elevations for ceiling, furr down and soffit heights.

FP 19 **Engineering** of the foundation, superstructure and stairs does not fall within the scope of the work performed by KEVIN YOUNG DESIGNERS, INC., it shall be the responsibility of the owner or builder to have this performed. If an engineers seal is present upon these drawings the engineer of record shall be fully responsible for all engineering matters relating to the foundation, superstructure and stairs.

FP 20 Attic (R807.1 2012 IRC)
Attic access shall be provided in buildings with a combustible ceiling or roof construction. An attic access opening shall be provided to attic areas that exceed 30 square feet and have a vertical height of 30 inches or greater. The rough opening shall not be less than 22 inches by 30 inches.
Attic Access Appliances (M1305.1.3 IRC Amendments Attics containing appliances shall be provided with a pull down stairway with a clear opening not less than 22 inches in width and a load capacity of not less than 350 pounds.
Disp. stairs may be used in fire protected garage ceilings in residential garages provided the exposed panel of the plywood on the garage side is not less than 3/8" fire retardant plywood or covered with a minimum 16 gage sheet metal.

All exterior walls to be 2x6

This plan is designed to follow 2012 I.R.C.

SECOND FLOOR PLAN

scale: 1/4" = 1'-0"

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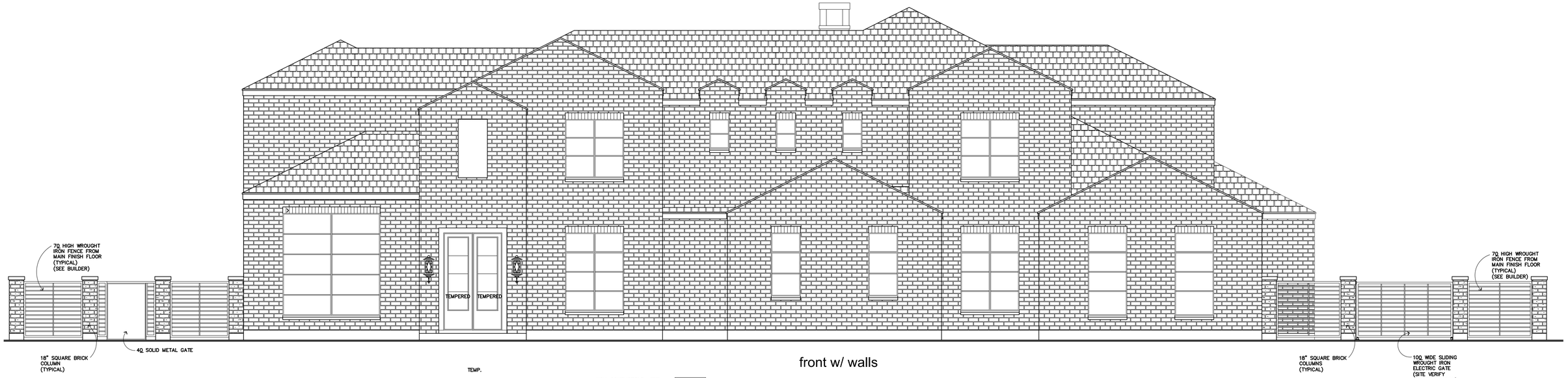
Sheet 6 of 14

Plan Number: 7040

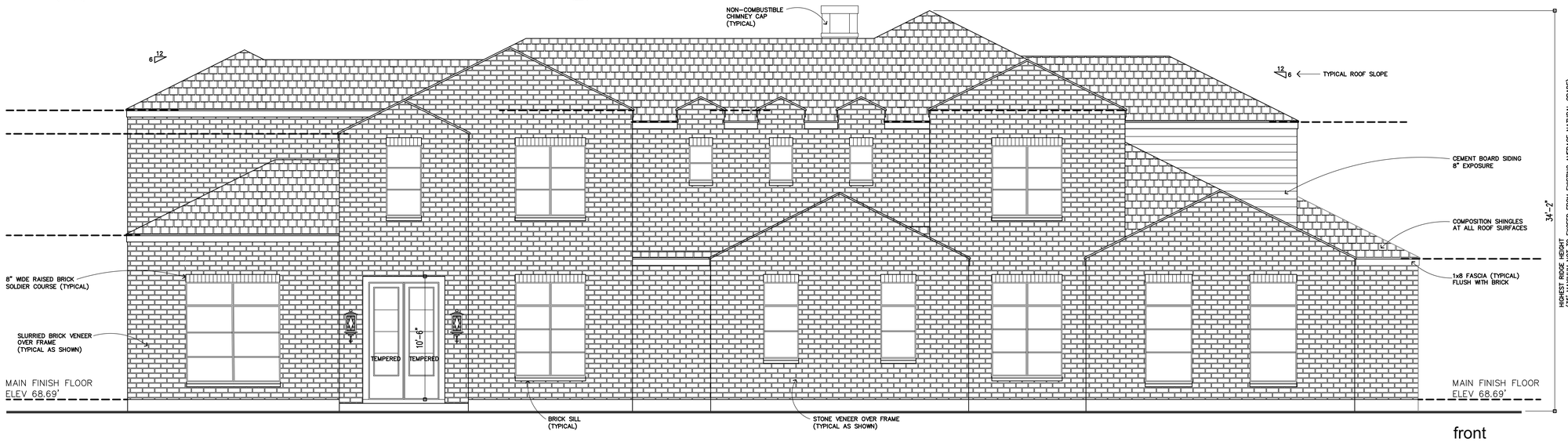
Drawn By: JC

Date: 07/17/20

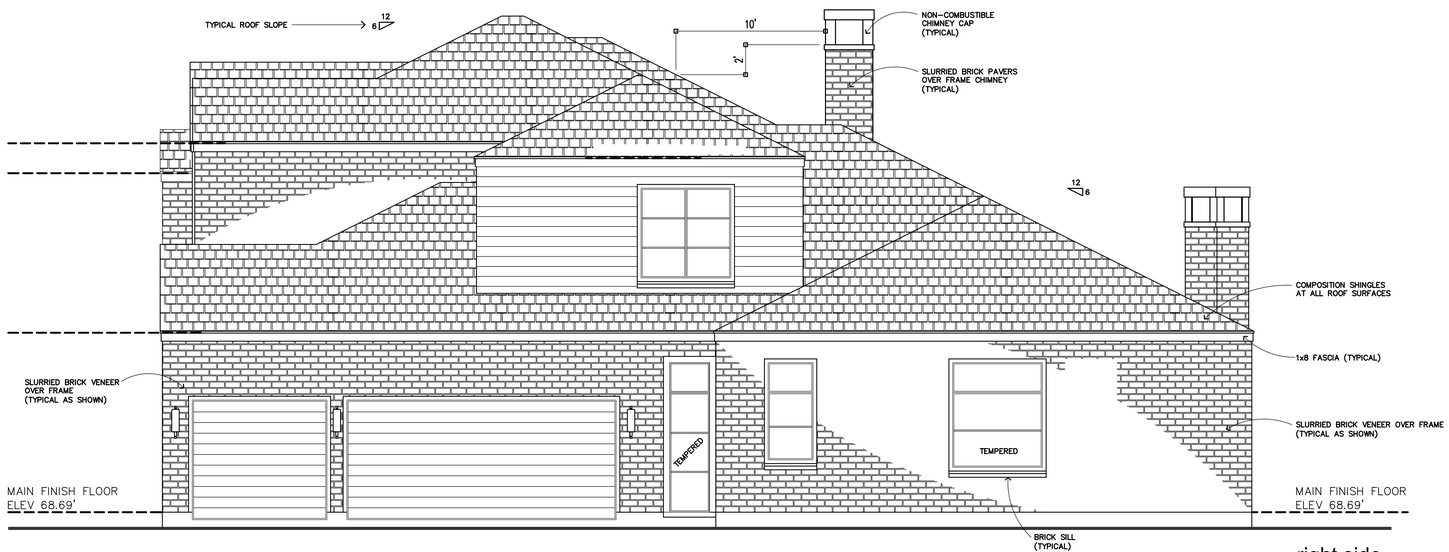


front w/ walls

TEMP.



front



right side

exterior cladding

exterior elevations

Brick veneer : 4,251 SF (83%)
Cement Board Siding: 890 SF (17%)

unless noted otherwise

exterior elevations

EE 1 Brick veneer and trim at all exterior wall surfaces.
EE 2 Roof slopes shall all be 6:12 and produce approximately 6" of overhang.
EE 3 Roof rake overhang shall be flush from exterior wall.
EE 4 Composition shingle roofing at all roof surfaces. Shingles at slopes 2:12 to less than 4:12 shall be of approved self sealing or are hand sealed and shall be installed with an underlayment consisting of two layers of nonperforated type 15 felt applied shingle fashion. Starting with an 18" wide sheet and 36" wide sheet over it at the eaves, each subsequent sheet shall be lapped 19" horizontally.
EE 5 All roof plate height designations are as measured from main finish floor.
EE 6 Applied cricket roofing shall be applied over main roof deck and frame.
EE 7 a) Galvanized sheet metal flashing (26 gauge) at all valleys, hips and ridges. Provide for ventilation projections through roof with flanges and extend 8" beyond sleeve. b) Galvanized sheet metal flashing at all roof to wall and roof to chimney interfaces. c) Continuous galvanized sheet metal eave flashing.
EE 8 a) Chimney termination to be minimum 24" above any roof surfaces within a 10 foot radius but shall not be less than 3 feet above the point where the chimney passes through the roof. The net free area of spark arrester shall not be less than four times the net free area of the outlet of the chimney. b) The spark arrester screen shall have heat and corrosion resistance equivalent to 0.109-inch (No. 12 B.W. gage) wire, 0.042-inch (No. 19 B.W. gage) galvanized wire or 0.022-inch (No. 24 B.W. gage) stainless steel. Openings shall not permit the passage of spheres having a diameter larger than 1/2 inch and shall not block the passage of spheres having a diameter of less than 3/8 inch. Chimneys used with fireplaces or heating appliances in which solid or liquid fuel is used shall be provided with a spark arrester as required in the Fire Code. c) Metal chimneys shall be constructed and installed to meet the requirements of the Mechanical Code and shall be anchored at each floor and roof with two 1 1/2-inch by 1/8-inch metal straps looped around the outside of the chimney installation and nailed with not less than six 8d nails per strap at each joint. d) Factory-built chimneys and fireplaces shall be listed and be installed in accordance with the terms of their listings and the manufacturer's instructions as specified in the Mechanical Code.
EE 9 Roof gutters and downspouts per specifications (refer to builder).
EE 10 Continuous low-intake soffit venting providing approximately 9 square inches of net free area per lineal foot, installed as close to the fascia as possible. Venting shall be clog resistant and insect proof. Refer to Roof Plan for high venting device locations.
EE 11 All guardrails shall comply with I.R.C. R316. Minimum height above main finish floor to be 36" with balusters at maximum 4 inches on center. Open guardrails and stair railings shall have intermediate rails of an ornamental pattern such that a sphere 4 inches in diameter cannot pass through. Required guards shall not be constructed with horizontal rails or other ornamental pattern that results in a ladder effect.

EXTERIOR ELEVATIONS

scale: 1/4" = 1'-0"

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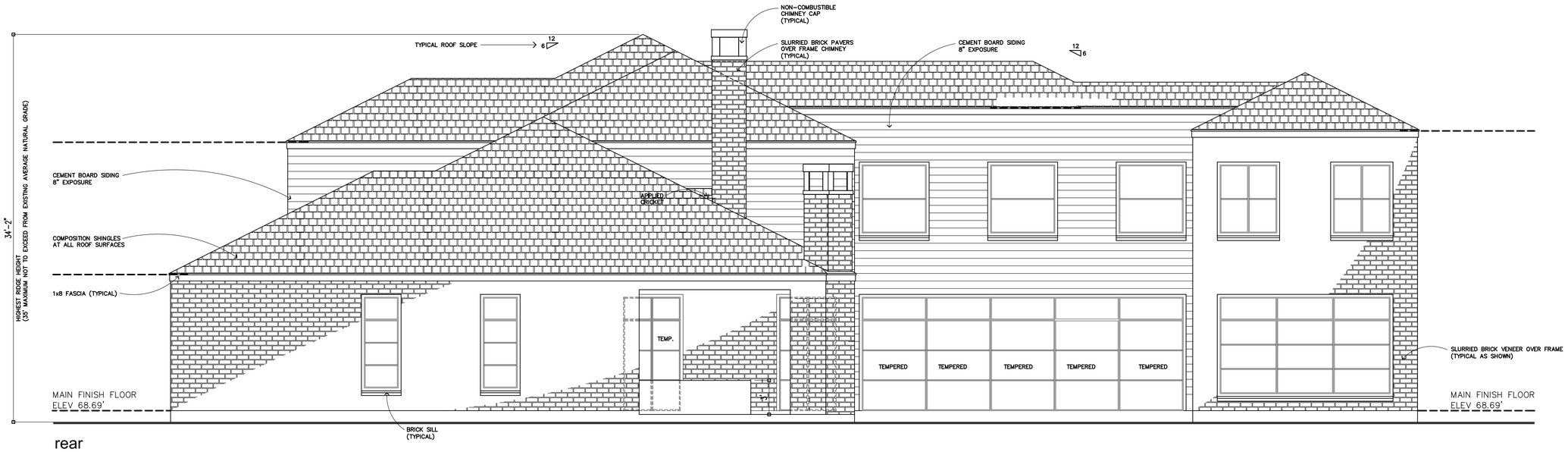
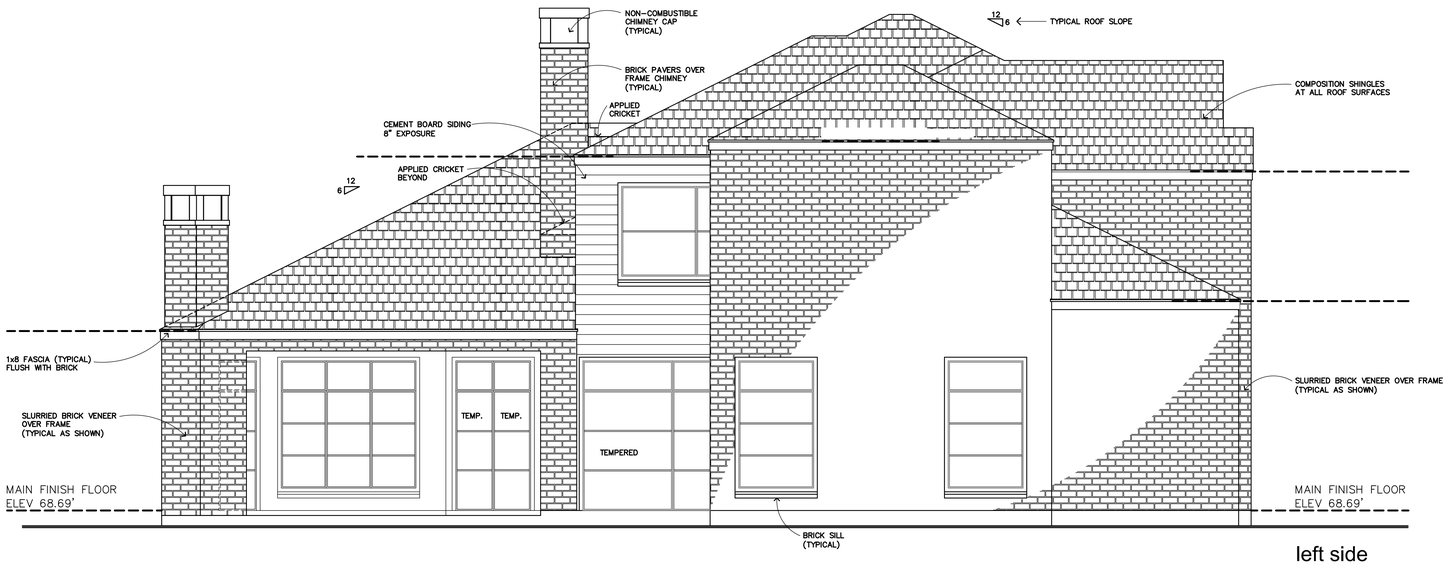
Sheet 7 of 14
Plan Number: 7040
Drawn By: JC
Date: 12/23/19



rear

B/8 brick sill
scale: 1" = 1'-0"



left side

unless noted otherwise

exterior elevations

EE 1 Brick veneer and trim at all exterior wall surfaces.
EE 2 Roof slopes shall all be 6:12 and produce approximately 6" of overhang.

EE 3 Roof rake overhang shall be flush from exterior wall.
EE 4 Composition shingle roofing at all roof surfaces. Shingles at slopes 2:12 to less than 4:12 shall be of approved self sealing or are hand sealed and shall be installed with an underlayment consisting of two layers of nonperforated type 15 felt applied shingle fashion. Starting with an 18" wide sheet and 36" wide sheet over it at the eaves, each subsequent sheet shall be lapped 19" horizontally.
EE 5 All roof plate height designations are as measured from main finish floor.
EE 6 Applied cricket roofing shall be applied over main roof deck and frame.
EE 7 a) Galvanized sheet metal flashing (26 gauge) at all valleys, hips and ridges. Provide for ventilation projections through roof with flanges and extend 8" beyond sleeve. b) Galvanized sheet metal flashing at all roof to wall and roof to chimney interfaces. c) Continuous galvanized sheet metal eave flashing.
EE 8 a) Chimney termination to be minimum 24" above any roof surfaces within a 10 foot radius but shall not be less than 3 feet above the point where the chimney passes through the roof. The net free area of spark arrester shall not be less than four times the net free area of the outlet of the chimney. b) The spark arrester screen shall have heat and corrosion resistance equivalent to 0.109-inch (No. 12 B.W. gage) wire, 0.042-inch (No. 19 B.W. gage) galvanized wire or 0.022-inch (No. 24 B.W. gage) stainless steel. Openings shall not permit the passage of spheres having a diameter larger than 1/2 inch and shall not block the passage of spheres having a diameter of less than 3/8 inch. Chimneys used with fireplaces or heating appliances in which solid or liquid fuel is used shall be provided with a spark arrester as required in the Fire Code. c) Metal chimneys shall be constructed and installed to meet the requirements of the Mechanical Code and shall be anchored at each floor and roof with two 1 1/2-inch by 1/8-inch metal straps looped around the outside of the chimney installation and nailed with not less than six 8d nails per strap at each joint. d) Factory-built chimneys and fireplaces shall be listed and be installed in accordance with the terms of their listings and the manufacturer's instructions as specified in the Mechanical Code.
EE 9 Roof gutters and downspouts per specifications (refer to builder).
EE 10 Continuous low-intake soffit venting providing approximately 9 square inches of net free area per lineal foot, installed as close to the fascia as possible. Venting shall be clog resistant and insect proof. Refer to Roof Plan for high venting device locations.
EE 11 All guardrails shall comply with I.R.C. R316. Minimum height above main finish floor to be 36" with balusters at maximum 4 inches on center. Open guardrails and stair railings shall have intermediate rails of an ornamental pattern such that a sphere 4 inches in diameter cannot pass through. Required guards shall not be constructed with horizontal rails or other ornamental pattern that results in a ladder effect.

EXTERIOR ELEVATIONS

scale: 1/4" = 1'-0"

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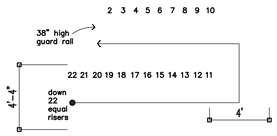
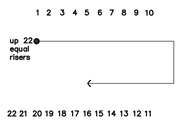
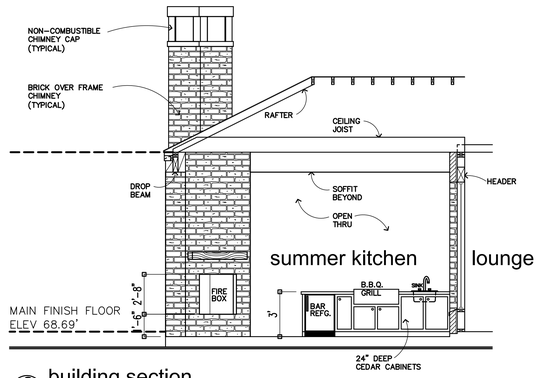
Sheet: 8 of 14
Plan Number: 7040
Drawn By: JC
Date: 12/10/19



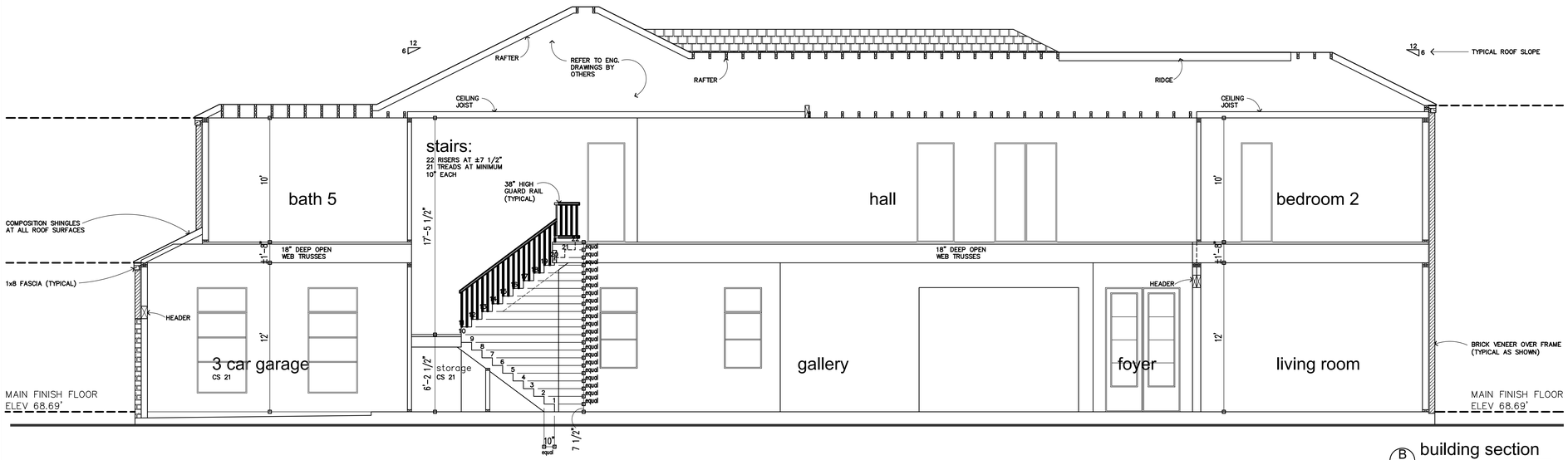
E/9 second floor stair plan



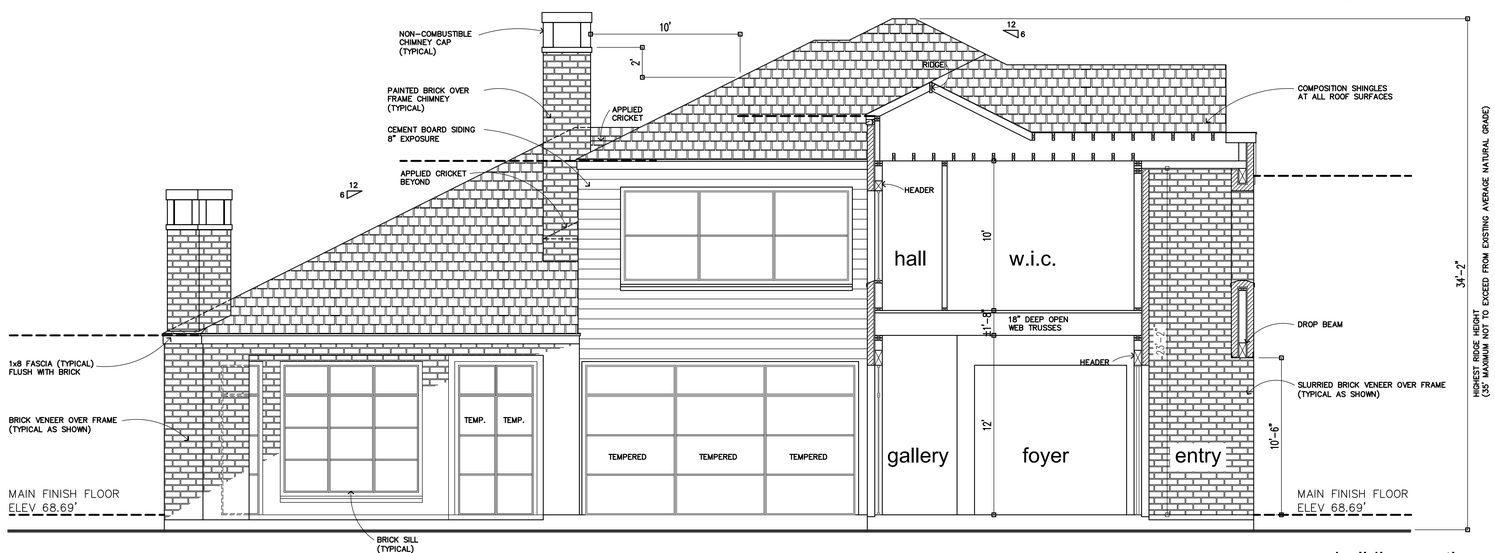
D/9 first floor stair plan



C/9 building section



B/9 building section



A/9 building section

unless noted otherwise

building cross section

CS 1 Ceiling joists at 10 psf Live /with 5 psf Dead (no provisions for storage above);
Ceiling joists at 30 psf Live /with 10 psf Dead (for limited storage above);
Floor joists at 40 psf Live / 10psf Dead (for living quarters); Floor joists at 60 psf Live / 10psf Dead (for exterior balconies).
CS 2 All roof plate height designations are as measured from main finish floor.
CS 3 Size and number of nails connecting wood members shall comply with the International Residential Code Fastener schedule for Structural members R602.3(1)(2) or equal.
Connections not covered in this table shall be designed by a professional engineer.
CS 4 Wall and ceiling framing material shall be minimum #3 SYP (KD15)
CS 5 Wall framing at first floor walls shall be #3 SYP 2 x 6 at 16" o.c.
CS 6 Top wall plates shall be two continuous 2x (same size as wall framing below)
CS 7 Continuous sole plate shall be treated 2x (same size as wall framing)
CS 8 Provide minimum 1/2" x 8" anchor bolts at 36" on center at all exterior wall sole plate conditions (1/2" x 10" at double sole plate)
CS 9 All exterior walls and main cross stud partitions shall be effectively braced at each end or as near as possible, and at least every 25'-0" per I.R.C. R602.10 and table R602.10.3.
CS 10 All structural wood beams and headers shall be minimum #2 S.Y.P. (KD15) with maximum 19% moisture content at time of installation
CS 11 All wood flush beam to flush beam connections shall use Simpson HGB or HGLT
CS 12 All steel flush beam to flush beam connections shall use (2) 4 x 4 x 1/4" x 9" long angles with (3) 3/4" diameter A307 bolts in each leg
CS 13 All headers directly below the 2nd floor of a multi-story structure shall be minimum (2) 2x12 with 1/2" plywood filler
CS 14 Provide minimum two 2x vertical supports under each end of all structural beams and headers longer than 5'-0"
CS 15 Provide double ceiling joists under all equipment areas in attic spaces
CS 16 Strongback joist supports shall be minimum (2) 2x6 at all ceiling joist spans/ exceeding 10'-0" and shall not be used as roof support beams
CS 17 Rafter ties at every third rafter to stud connection, Tamlyn RT9, Simpson H2 or equal.
CS 18 The structural design of the stairs, including load caring capacity, stability, strength and connections to adjacent support members shall be the responsibility of the general contractor and the framing sub-contractor and this structural design should be reviewed by the structural engineer of record.
CS 19 Typical floor sheathing – 2 x 6 tongue and groove diagonal decking w/ 16d at each support. Alternate – 1 1/8" 48/24 APA rated tongue and groove glued and nailed with 10d at 6" o. c. at edges and 10" at field (for 3/4" 48/24 APA rated tongue and groove glued and nailed with 8d at 6" o.c. at edges and 10" at field).
CS 20 Walls and ceiling shall be 1/2" ASTM-36 gypsum wallboard with recessed longitudinal edges and installed in accordance with "American Standard Notes for the Application and Finishing of Gypsum Wallboard". Fasten with 11 gauge galv. screws 1 1/2" long (1 3/4" at 5/8" gyp. bd.) with 7/16" head, 4" o.c. at edges, 8" o.c. at all other bearings or 1 3/8" drywall nails conforming to ASTM C514 nailed 7" o.c. on ceilings and 8" o.c. at walls
CS 21 Enclose underside of stairwells and walls and ceilings of attached garages with 5/8" type "X" fire-rated gypsum board.
CS 22 Brick wall ties shall be corrosion resistant and if made of sheet metal shall have a minimum size of .030 inch (no. 22 galvanized sheet gauge) by 3/4". Wall ties shall not support more than 2 square feet of wall area, but not more than 24 inches on center horizontally
CS 23 Brick veneer shall not support any vertical load other than the dead load of the veneer above. Veneer above openings shall be supported upon lintels of non-combustible materials as specified by the engineer of record
CS 24 All rafters shall be minimum 2x6 #2 S.Y.P. at 16" on center and with no more than 11'-2" unsupported spans, brace longer spans with continuous 2x6 purlins supported by 2x4 braces at 45° o.c. to a beam or wall below, braces shall not be less than 45 degrees and shall not exceed 8'-0" in length without lateral support. Rafters shall be nailed to adjacent ceiling joists to form a continuous tie between exterior walls when such joist are parallel to the rafters. Where not parallel, rafters shall be tied to adjacent ceiling joists with minimum 1 inch by 4 inch (nominal) sized crossties spaced not more the 4 feet on center.
CS 25 Collar ties shall be minimum 2x6 at 48 inches on center and placed in upper one third of attic space
CS 26 Strap ties over the ridge at every third rafter to rafter connection (Simpson MSTA 24)
CS 27 Ridge, hip and valley boards shall be one nominal size larger than adjacent rafter and sized to match the cut end of the connecting rafter
CS 28 Roof openings shall have double trimmers and headers (i.e. at chimney, dormer)
CS 29 Roof sheathing shall be 1/2" CDX 32/16 APA rated with 8d at 6" on center edges, 12" field
CS 30 Shingle underlayment shall be of not less than one layer of non-perforated Type 15 felt, lapped 2 inches horizontally and 4 inches vertically so as to shed water. Shingle underlayment at valley conditions shall have not less than Type 15 felt extending 18 inches from the center line each way.
CS 31 Insulation: in attic above ceiling joists minimum 10" depth; full depth spray open cell (R value 20.6 per manufacturer Certain-teed)) foam insulation at all exterior walls; At volume ceiling conditions where gypsum board is applied to under side of rafters provide cardboard baffles between insulation and rafters to allow minimum 1" ventilation air space ; all insulation shall have a flame spread rating not to exceed 25, and smoke density not to exceed 450; Smoke density at ducts and air plenums shall not exceed 100.
CS 32 The builder and/or owner shall be responsible for consulting with a licensed professional engineer regarding the foundation, superstructure and site drainage. KEVIN YOUNG DESIGNERS, INC. is a professional building design firm, not a engineering firm and consequently is not qualified nor licensed to design structural framing or foundations. Should an engineer's seal be present on these drawings, the engineer of record shall bear the responsibility for the structural design. KEVIN YOUNG DESIGNERS, INC. will not be held responsible for the structural design in any way or with any problems associated with the engineering aspects of the structure. The engineering notes shall, when more vigorous, supersede the above.

This plan complies with R613.2 2012 IRC.

CROSS SECTIONS

scale: 1/4" = 1'-0"

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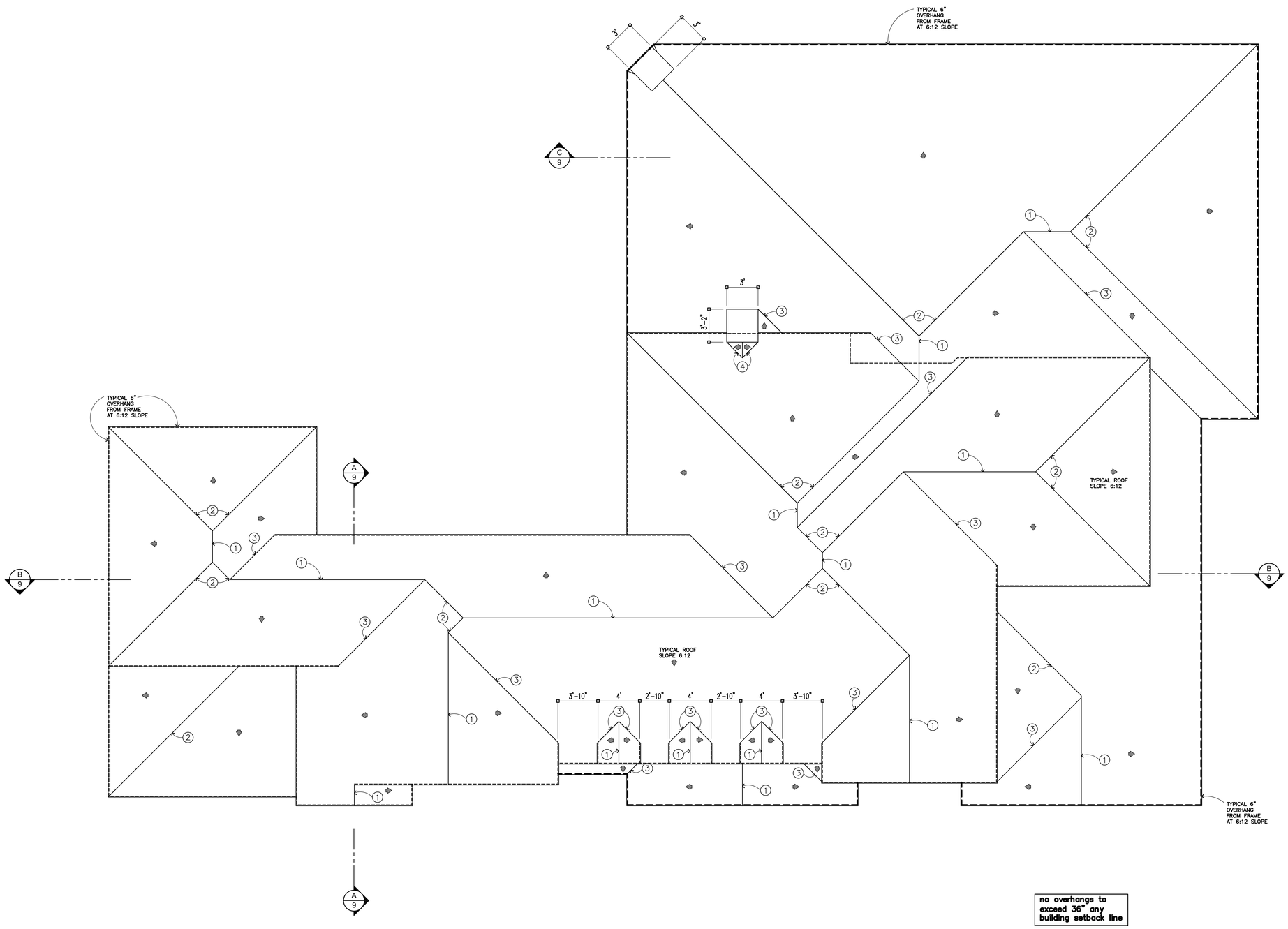
Sheet: 9 of 14
Plan Number: 7040
Drawn By: JC
Date: 12/10/19



no overhangs to exceed 36" any building setback line

unless noted otherwise

roof plan

RP 1 All heights shown are as measured from main finished floor
RP 2 Top wall plates shall be two continuous 2x (same size as wall framing below)
RP 3 Simpson Strong Tie anchors (H2) at every third rafter to stud connection
RP 4 a) Roof rafters structural design load minimums shall be based upon 20 psf live load / 7 psf dead load for composition shingle roofing and 20 psf live load and 15 dead load for tile roofing. b) All rafters shall be minimum 2x6 #2 S.Y.P. at 16" on center and with no more than 11'-2" unsupported spans, brace longer spans with continuous 2x6 purlins supported by 2x4 braces at 48" o.c. to a beam or wall below, braces shall not be less than 45 degrees and shall not exceed 8'-0" in length without lateral support. Rafters shall be nailed to adjacent ceiling joists to form a continuous tie between exterior walls when such joist are parallel to the rafters. Where not parallel, rafters shall be tied to adjacent ceiling joists with minimum 1 inch by 4 inch (nominal) sized crossties spaced not more the 4 feet on center.
RP 5 Ridge, hip and valley boards shall be one nominal size larger than adjacent rafter and sized to match the cut end of the connecting rafter
RP 6 Strap ties over the ridge at every third rafter to rafter connection (Simpson MSTA 24)
RP 7 Roof openings shall have double trimmers and headers (i.e. at chimney, dormer, etc.)
RP 8 Collar ties shall be 2x6 at 48" on center in upper one third of attic space
RP 9 Roof sheathing shall be 1/2" CDX 32/16 APA rated with 8d at 6" on center edges, 12" on center field.
RP 10 Rake roof outlookers shall be 2x6 at 16" o.c.
RP 11 Fascias and rake boards shall be 1x2 over 1x8
RP 12 Size and number of nails connecting wood members shall comply with the International Residential Code Fastener Schedule for Structural Members R602.3(1)(2) or equal. Connections not covered in this table shall be designed by a professional engineer.
RP 13 Galvanized sheet metal flashing at all roof to wall and roof to chimney.
RP 14 The builder and/or owner shall be responsible for consulting with a licensed professional engineer regarding the foundation, superstructure and site drainage. KEVIN YOUNG DESIGNERS, INC. is a professional building design firm, not a engineering firm and consequently is not qualified nor licensed to design structural framing or foundations. Should an engineer's seal be present on these drawings, the engineer of record shall bear the responsibility for the structural design. KEVIN YOUNG DESIGNERS, INC. will not be held responsible for the structural design in any way or with any problems associated with the engineering aspects of the structure. The engineering notes shall, when more rigorous, supersede the above

LEGEND

(1) Ridge (2) Hip (3) Valley (4) Applied Cricket

ROOF PLAN

scale: 1/4" = 1'-0"

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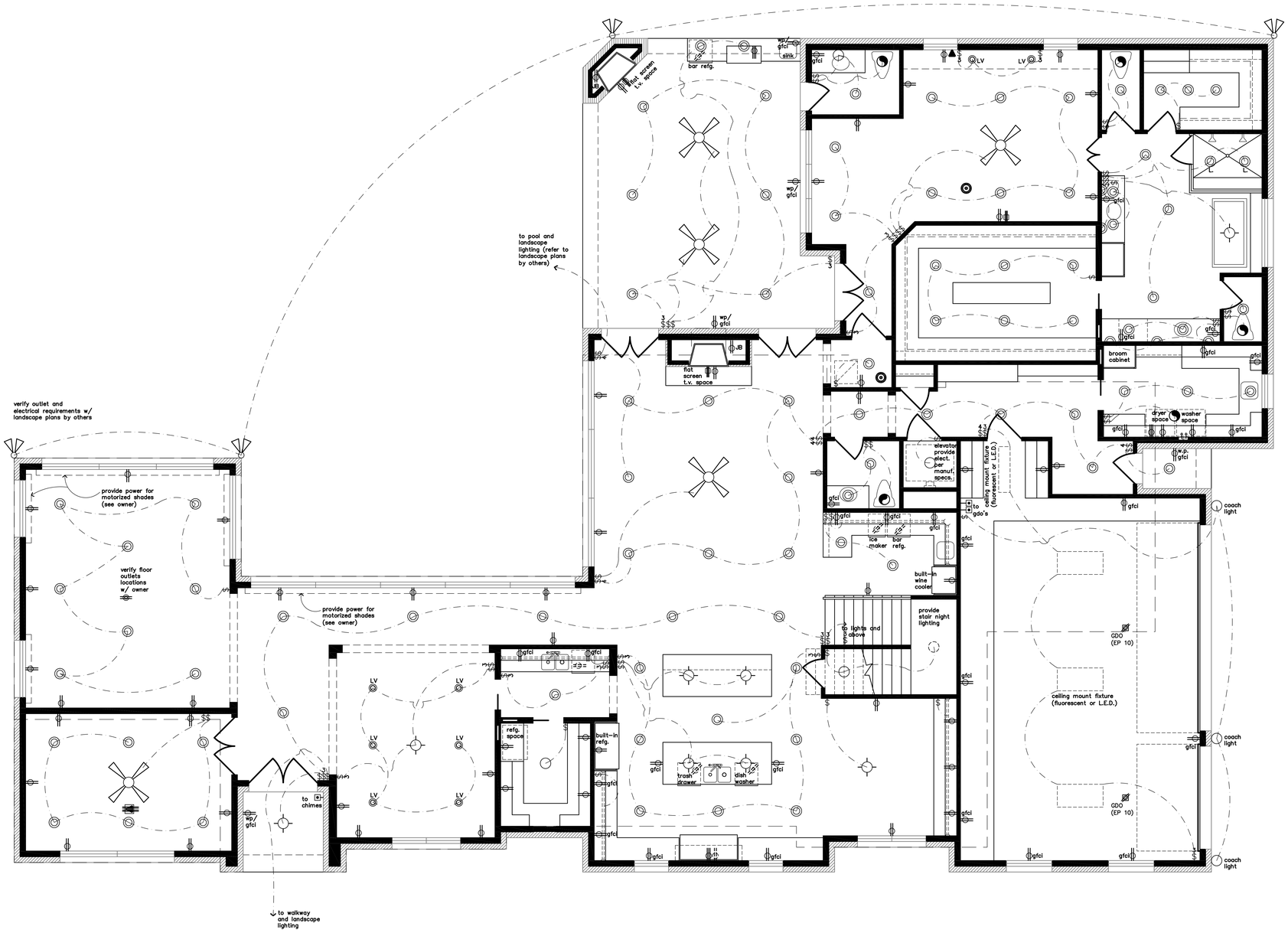
Sheet: 10 of 14
Plan Number: 7040
Drawn By: JC
Date: 12/10/19



electrical legend

	120 volt duplex outlet
	120 v. switched 1/2 hot
	120 volt two duplex
	240 volt outlet
	flush floor outlet
	telephone outlet
	television ant./cable outlet
	voice/data/video CAT. 5 & RG-6 outlet
	surface mounted incand. light
	pendant lighting
	recessed can lighting
	sconce lighting
	recessed eyeball spot slope recessed trim
	recessed pin lighting
	indirect lighting
	security lighting

$	single pole light switch
$3	3-way light switch
$4	4-way light switch
	push button switch
	exhaust fan
	smoke detector
	carbon monoxide detector
	carbon monoxide detector / smoke detector
	chimes/buzzer
	ceiling fan with light
	ceiling fan without light
RHEO	rheostat ltg. dimmer
L	lensed fixture
GFCI	ground fault circuit interrupt
GDO	clg. mt. garage dr. opnr.
LV	low voltage lighting
JB	junction box

unless noted otherwise

electrical floor plans

EP 1 All work performed shall be in accordance with all applicable local codes, regulations, ordinances and authorities having jurisdiction

EP 2 Electrical layout is generally diagrammatic, location of outlets , lights and equipment is approximate. Exact routing of wiring, locations of outlets to be governed by structural conditions and obstructions. Wiring for equipment requiring maintenance and inspection shall be readily accessible

EP 3 Bottom of all duplex outlet boxes shall be 12" above finish floor; bottom of switch box height shall be 50" above finish floor; bottom of switches and outlets at cabinetry shall be 6" above adjacent finished counter-top

EP 4 Smoke detectors shall have 120 v. connection to house wiring and battery back-up.

EP 5 Both exhaust fans shall provide minimum 5 air changes per hour and be vented directly to the outside air with a point of discharge at least 3 feet from any opening that allows air entry into occupied portions of the building (U.B.C. 1203.3 or eq.)

EP 6 Provide ground-fault circuit-interruption (GFCI) as required by NEC sec. 210-8

EP 7 All fixtures exposed to the weather, damp locations, or where subject to water saturation shall be marked "suitable for wet locations". Construction, design and installation shall be such as to prevent the entrance of rain, snow, ice, and dust.

EP 8 Where NM cable (Romex) is run across the top of ceiling joists and/or where the attic is not accessible by permanent stairs or ladders, protection within 6 feet of the nearest edge of the scuttle hole or attic entrance shall be provided.

EP 9 Allow for _____ air conditioning systems (verify number with builder or owner). Provide water-proof unit disconnects and 120 volt weather-proof outlets at each compressor location (verify location with owner or builder).

EP 10 Verify overhead sectional garage door opener locations with manufacturer's specifications.

EP 11 Verify location of junction-boxes required for cabinet mounted appliances with manufacturers' specifications.

ALL ELECTRICAL SERVICE TO BE UNDER GROUND

FIRST FLOOR ELECTRICAL PLAN

scale: 1/4" = 1'-0"

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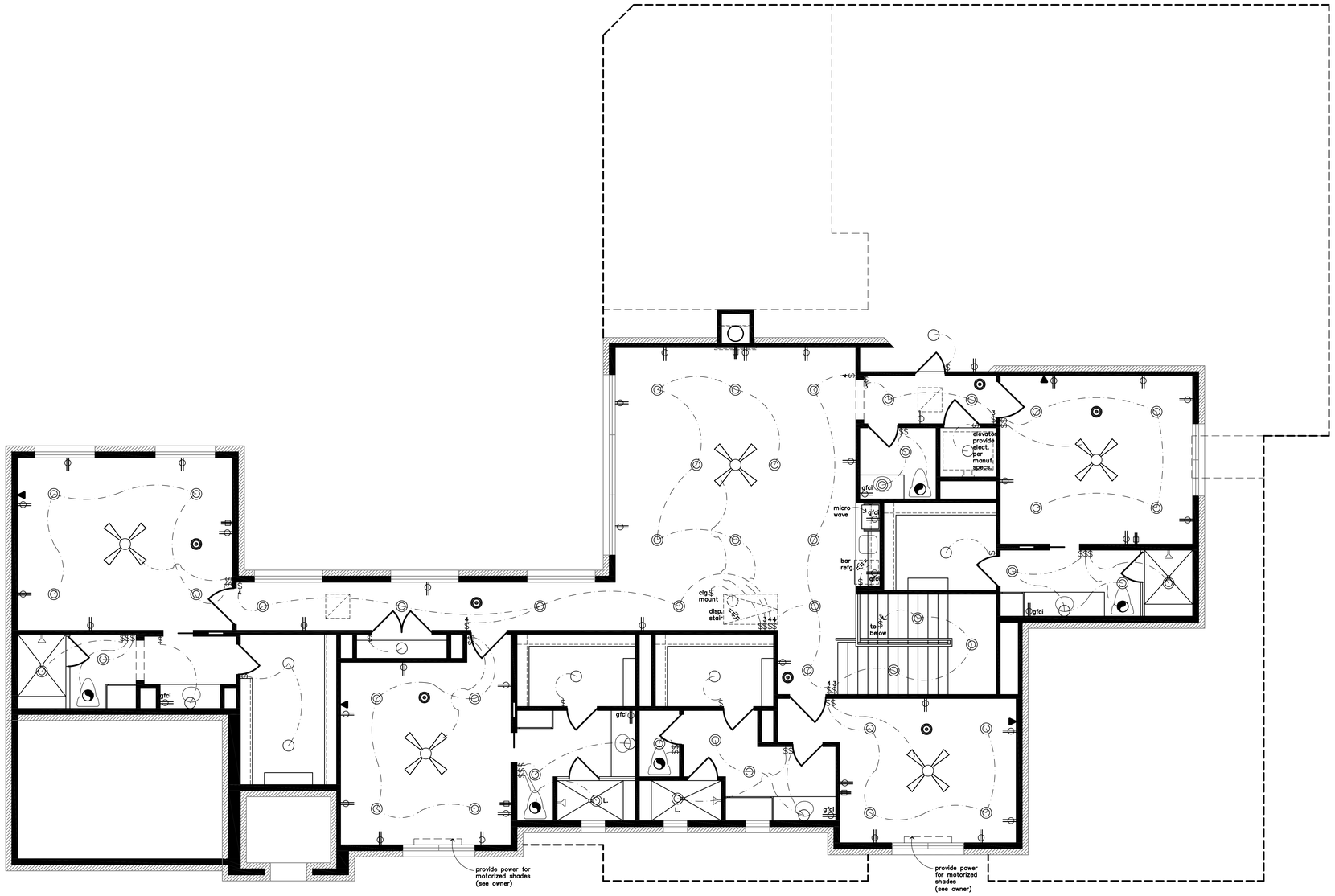
Sheet 11 of 14
Plan Number: 7040
Drawn By: JC
Date: 12/23/19



electrical legend

120 volt duplex outlet	single pole light switch
120 v. switched 1/2 hot	3-way light switch
120 volt two duplex	4-way light switch
240 volt outlet	push button switch
flush floor outlet	exhaust fan
telephone outlet	smoke detector
television ant./cable outlet	carbon monoxide detector
voice/data/video CAT. 5 & RG-6 outlet	carbon monoxide detector / smoke detector
surface mounted incand. light	chimes/buzzer
pendant lighting	ceiling fan with light
recessed can lighting	ceiling fan without light
sconce lighting	RHEO rheostat ltg. dimmer
recessed eyeball spot slope recessed trim	L lensed fixture
recessed pin lighting	GFCI ground fault circuit interrupt
indirect lighting	GDO clg. mt. garage dr. opnr.
security lighting	LV low voltage lighting
	JB junction box

unless noted otherwise

electrical floor plans

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EP 10 Verify overhead sectional garage door opener locations with manufacturer's specifications.

EP 11 Verify location of junction-boxes required for cabinet mounted appliances with manufacturers' specifications.

ALL ELECTRICAL SERVICE TO BE UNDER GROUND

SECOND FLOOR ELECTRICAL PLAN

scale: 1/4" = 1'-0"

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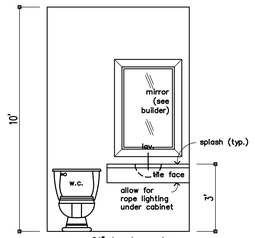
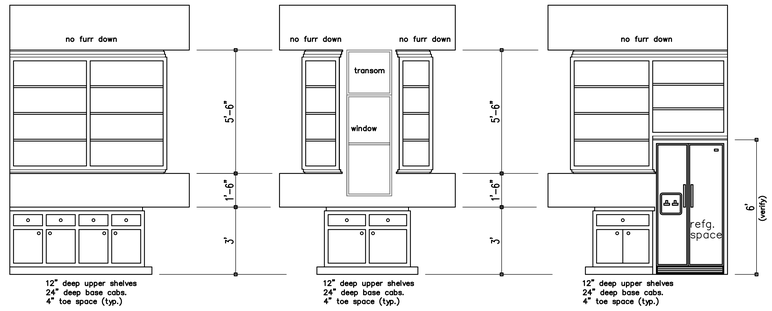
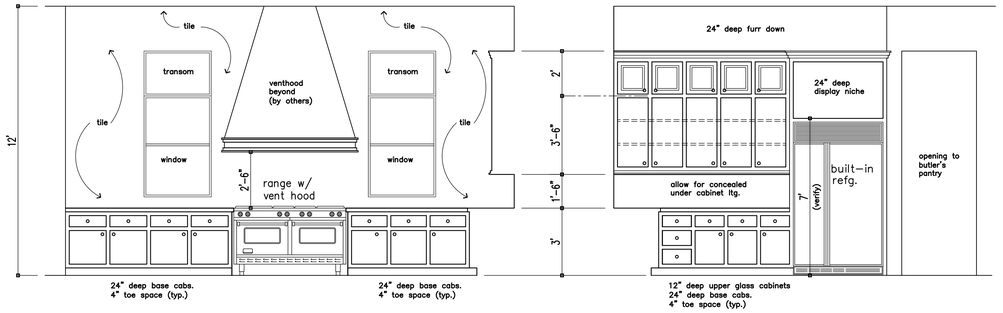
Sheet 12 of 14
Plan Number: 7040
Drawn By: JC
Date: 12/26/19



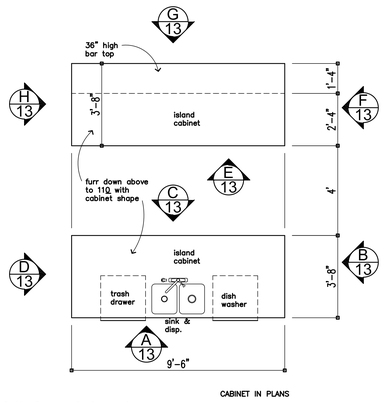
powder 1

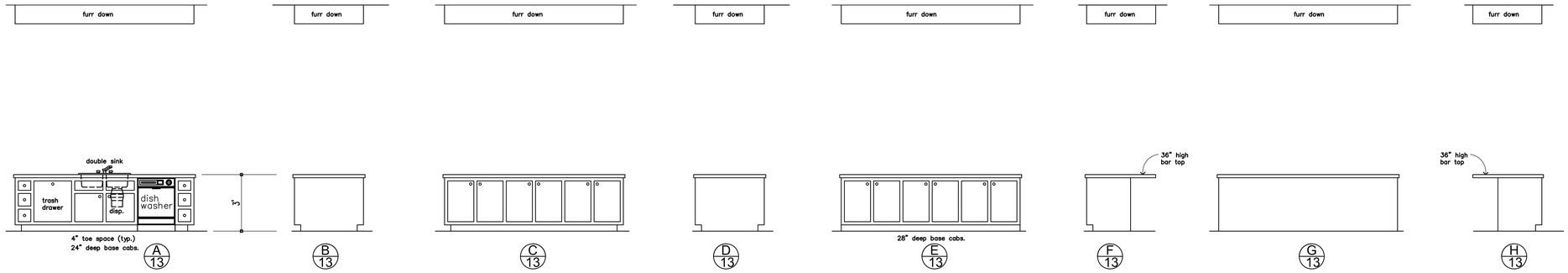


pantry

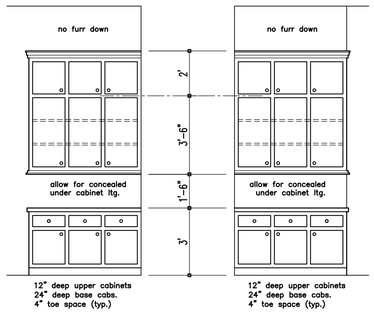


kitchen

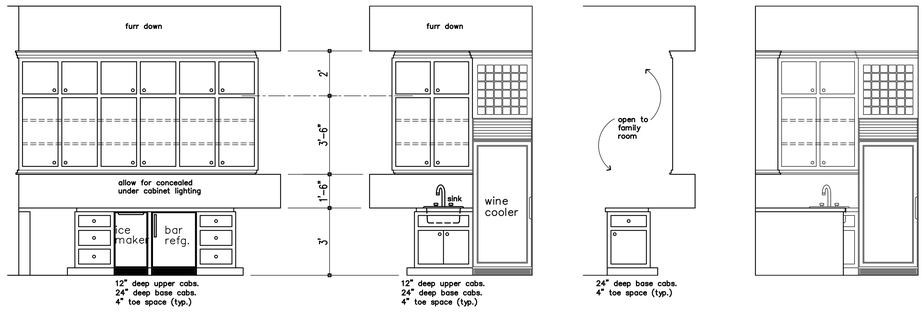




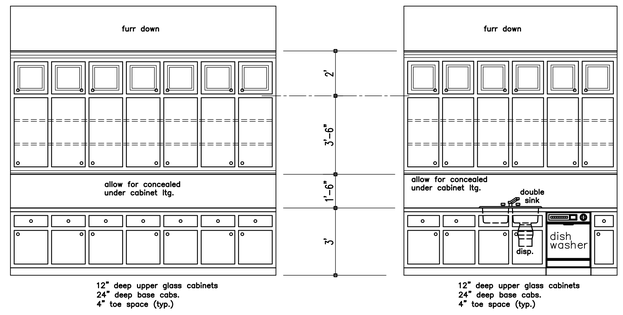
kitchen islands



3 car garage

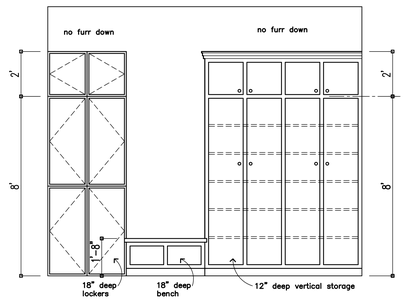


wet bar

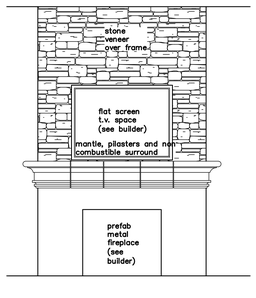


breakfast

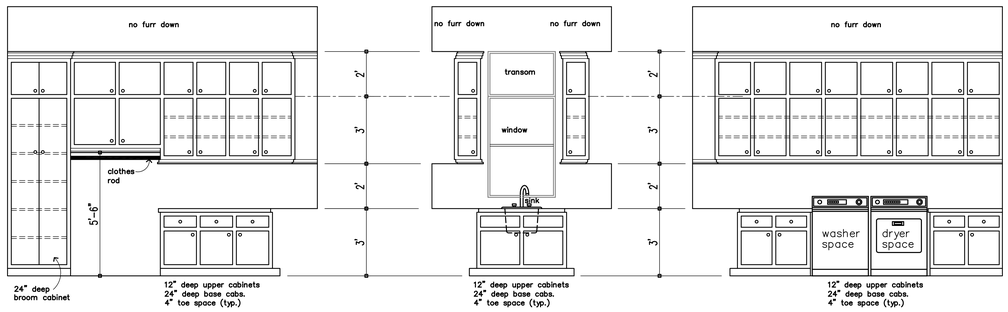
butler's pantry



mud room



family room



utility

All shelves 1'-0" o.c. typical at all upper cabinets

INTERIOR ELEVATIONS

scale: 3/8" = 1'-0"

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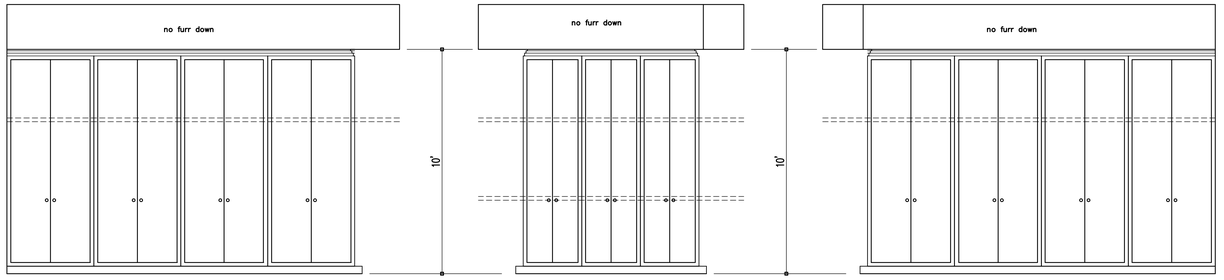
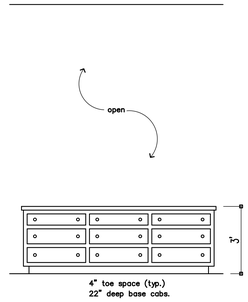
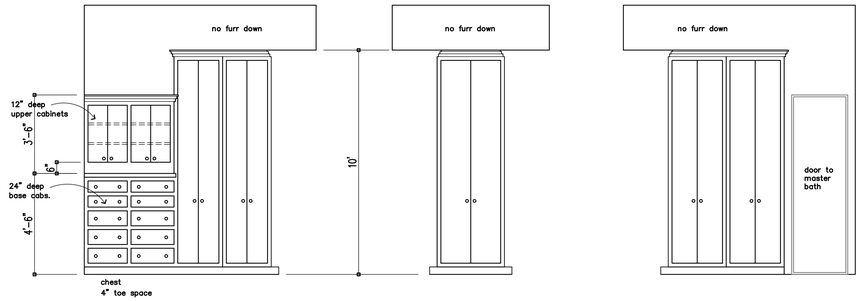
Sheet: 13 of 14
Plan Number: 7040
Drawn By: JC
Date: 12/10/19

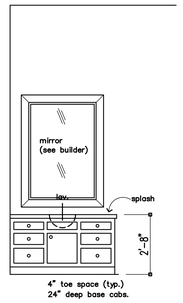


her wardrobe

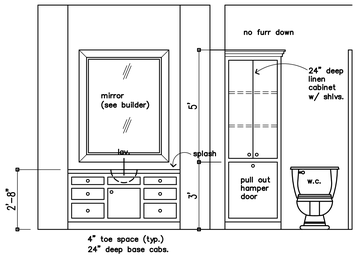




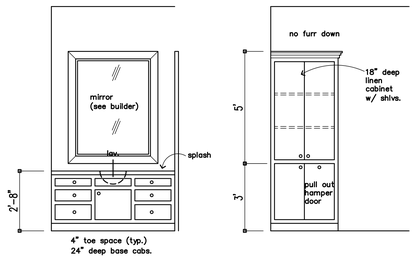
his wardrobe



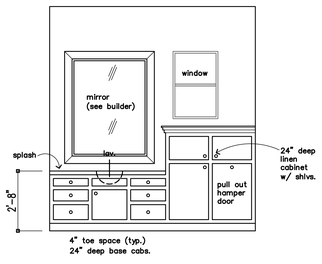
pool bath



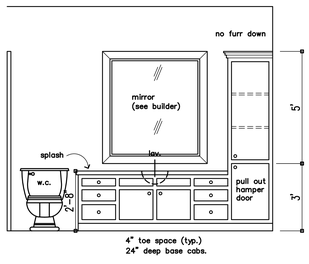
bath 2



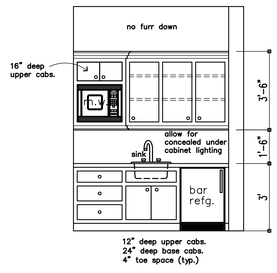
bath 3



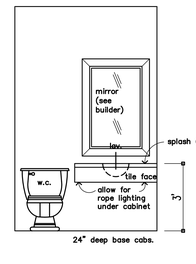
bath 4



bath 5



bar at game room



powder 2

All shelves 1'-0" o.c. typical at all upper cabinets

INTERIOR ELEVATIONS

scale: 3/8" = 1'-0"

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Sheet: 14 of 14
Plan Number: 7040
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