



**SUMMARY**  
 3406 Watersedge Dr, Sugar Land TX  
 77478  
 Chet Pack  
 January 13, 2022

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MAINTENANCE ITEM



RECOMMENDATION



SAFETY HAZARD

2.1.1 A. Foundations

**FOUNDATION CRACKS - CORNERS**

Recommendation

Corner cracks are visible in the foundation slab but are of minimal structural concern. Shrinkage is a natural part of the curing process of concrete and cracks located in corners of structures are common. Recommend monitoring to confirm the cracking does not worsen.

Recommendation  
 Recommend monitoring.



Back Left



Left Back

2.1.2 A. Foundations

**EXPOSED POST-TENSION ANCHORS**

Recommendation

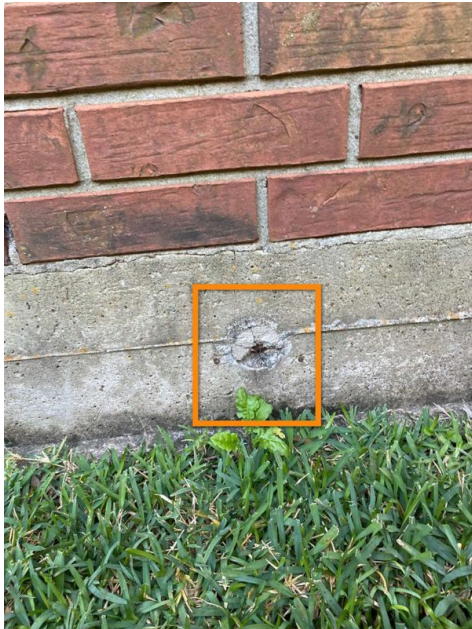


In post-tension reinforced slab-on-grade foundations, the concrete of the foundation is reinforced with cables to prevent cracking and hold the concrete together. The tendons are the assemblies made up of a cable extending across the foundation, sheathing filled with grease covering the cable, and an anchor at either end of each tendon cable. The tendon assemblies are installed in a grid arrangement across the foundation forms with the purpose of compressing the concrete in two directions. Tension is applied to each cable by using a hydraulic tool that pulls on the cable of the tendon stretching the steel cable.

Exposure of these ends can result in corrosion of the cable, anchor, or locking wedges and eventually cause the cable to lose its tension and leave the foundation concrete with insufficient compression to resist cracking. Inspector recommends masonry be placed to cover the exposed tension anchors

Recommendation

Contact a qualified masonry professional.



Left



Left



Left

### 2.1.3 A. Foundations

#### **BRICK EXTENDS BEYOND FOUNDATION AREA**

Recommendation

Contact a qualified professional.

 Recommendation



Back

### 2.2.1 B. Grading and Drainage

#### **GUTTARS FULL**

The gutters are full of leaves and debris. Recommend removal.

 Recommendation





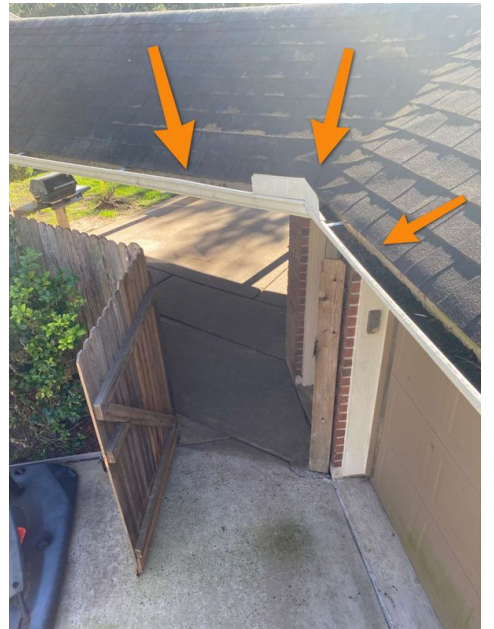
2.2.2 B. Grading and Drainage

**GUTTER IS SAGGING**

A gutter is sagging. Sagging gutters will often hold water and debris, will leak at joints, and/or will be heavy to the fascia to withstand. Recommend a gutter contractor to correct the issue.

Recommendation

Contact a qualified gutter contractor



2.2.3 B. Grading and Drainage

**GUTTER IS CRUSHED**

A downspout gutter is crushed. This can cause flow restrictions and debris buildup in the gutter system that could lead to an overflow. Recommend replacing the crushed portion of the gutter, as necessary.

Recommendation

Contact a qualified gutter contractor







### 2.2.4 B. Grading and Drainage

#### AREA WHERE WATER WILL STAND

 Recommendation

Area where water can occur, which could indicate poor drainage and/or grading. Recommend monitor and/or have landscaper correct.

Recommendation

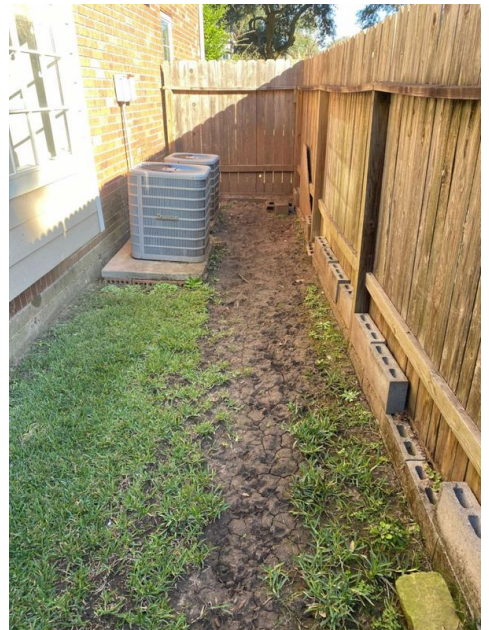
Contact a qualified landscaping contractor



Back



Left



Left

### 2.3.1 C. Roof Covering Materials

#### DELAMINATION - RIDGE

 Recommendation

The asphalt shingle roof shows signs of delamination primarily at the roof ridges. Delamination is separation of the surface layer of asphalt on the shingle and can be a normal aging process of any roof. Ridge delamination occurs before standard shingle delamination because the gable ridge is more susceptible to traversing, direct sunlight, and shingle curvature. It is not always a sign of roofing shingle failure unless it is progressive and the severity does not match the age of the roof. Recommend monitoring the delamination for future issues.



Recommendation  
Contact a qualified roofing professional.

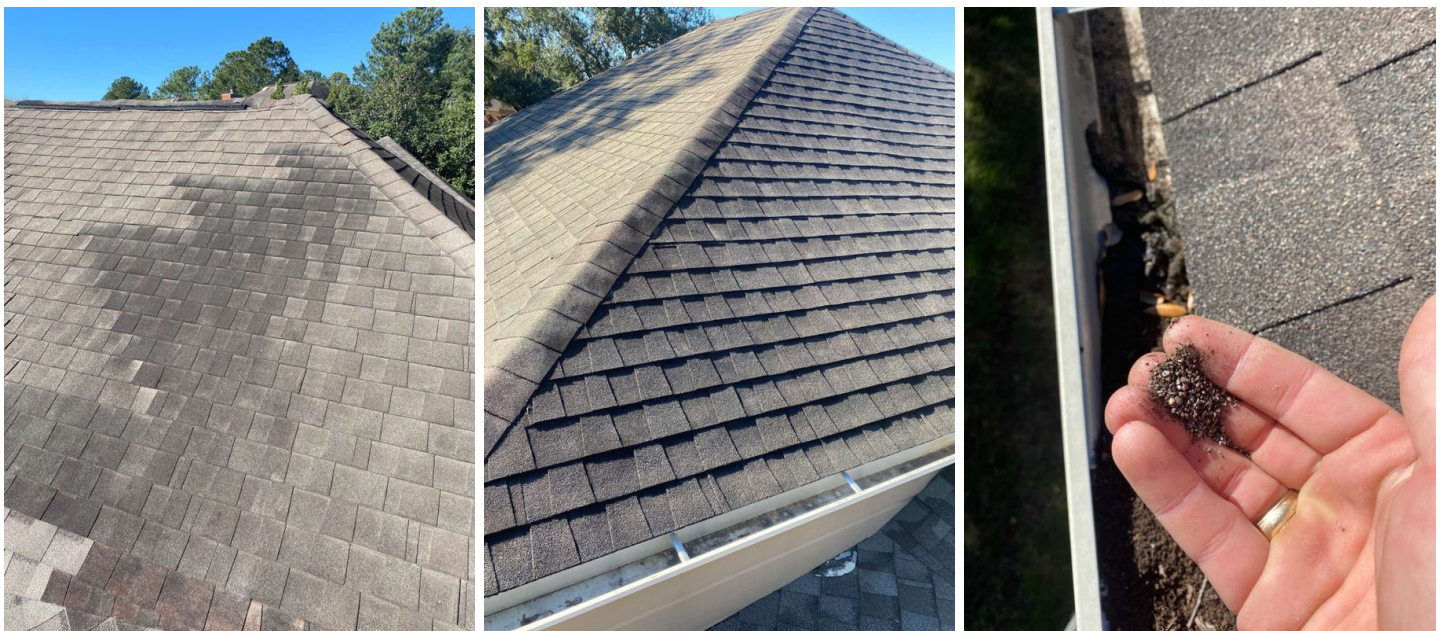


### 2.3.2 C. Roof Covering Materials **DELAMINATION - SHINGLE**

 Recommendation

The asphalt shingle roof shows signs of delamination. Delamination is separation of the surface layer of asphalt on the shingle and can be a normal aging process of any roof. It is not always a sign of roofing shingle failure unless it is progressive and the severity does not match the age of the roof. Recommend monitoring the delamination for future issues.

Recommendation  
Contact a qualified roofing professional.



### 2.3.3 C. Roof Covering Materials **DAMAGED COVERINGS**

 Recommendation

Roof coverings exhibited general damage that could affect performance. Recommend a qualified roofer evaluate and repair.



Recommendation  
Contact a qualified roofing professional.



### 2.3.4 C. Roof Covering Materials **DISCOLORATION**

 Recommendation

Roof shingles were discolored, which can be caused by moisture, rust or soot. Recommend a qualified roofing contractor evaluate and remedy with a roof cleaning or repair.

[Here is a helpful article](#) on common roof stains.

Recommendation  
Contact a qualified roofing professional.



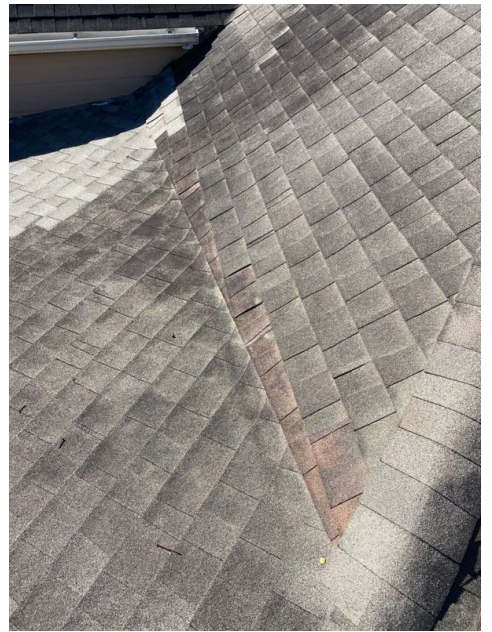
### 2.3.5 C. Roof Covering Materials **ROOF PATCH**

 Maintenance Item

A roof patch was discovered and should be monitored for future leaks.

Recommendation  
Recommend monitoring.





2.3.6 C. Roof Covering Materials  
**LIFTED FLASHING**

Areas of the roof show lifted flashing areas. Lifted flashing areas will not seal with the lower shingle areas or siding and can allow for water intrusion. Recommend a roofing contractor to replace.

Recommendation  
Contact a qualified roofing professional.

 Recommendation



Left

2.3.7 C. Roof Covering Materials  
**VENTS UNPAINTED**

Roof vents are unpainted and should be painted with a rust preventative paint (of any color). Additionally, unpainted vents are more likely to cause discoloration of roofing materials (shingles, metal, etc.).

 Maintenance Item



Recommendation  
Contact a qualified roofing professional.

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2.3.8 C. Roof Covering Materials  
**VENTING LIMITED - INSTALL RIDGE VENT**

 Recommendation

The attic structure has limited observed venting. Recommend a ridge vent be installed by a roofing professional when the client decides to make the purchase of a new roof.

Recommendation  
Contact a qualified roofing professional.



2.3.9 C. Roof Covering Materials  
**ROOF REACHING THE END OF ITS USEFUL LIFE**

 Recommendation

Roofs only have an expected useful life. Most asphalt shingle roofs can last 20-30 years, while a metal roof might last 40-50 years. Roof appears to be reaching the end of its useful life.

The garage and breezeway roof have also reached the end of their useful life. The garage and breezeway roofs appear to be the same age and same condition of the primary home.

Recommendation  
Contact a qualified roofing professional.

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2.4.1 D. Roof Structures & Attics  
**INSUFFICIENT INSULATION**

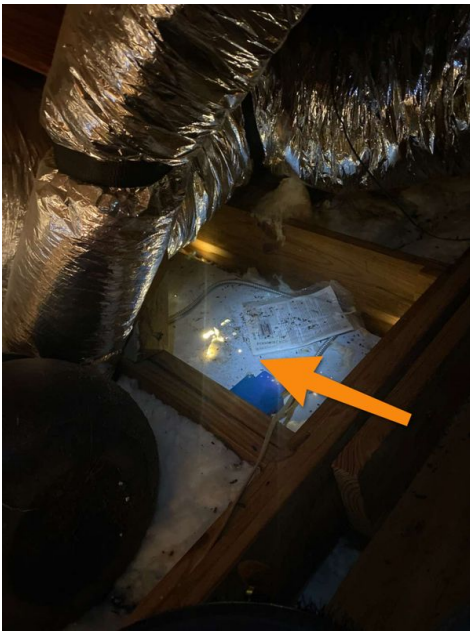
 Recommendation

Insulation depth was inadequate. Recommend a qualified attic insulation contractor install additional insulation.

Recommendation  
Contact a qualified insulation contractor.

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Garage Attic



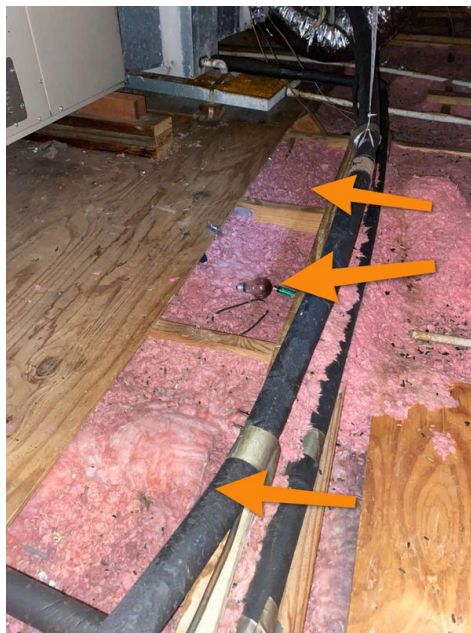
Garage Attic



Garage Attic



Garage Attic



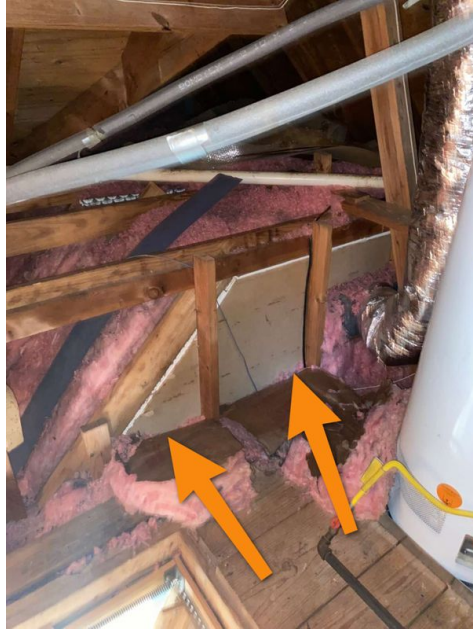
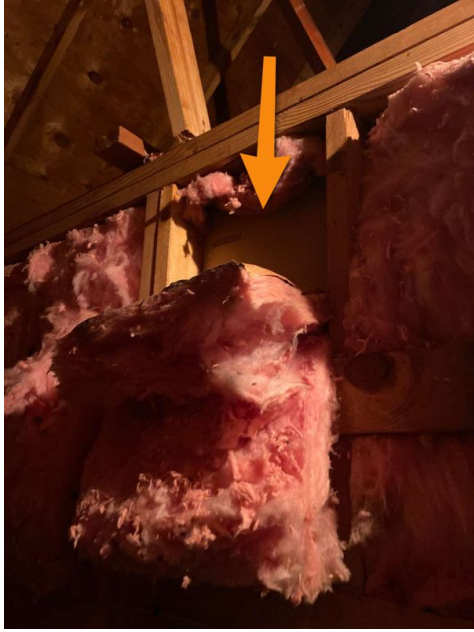
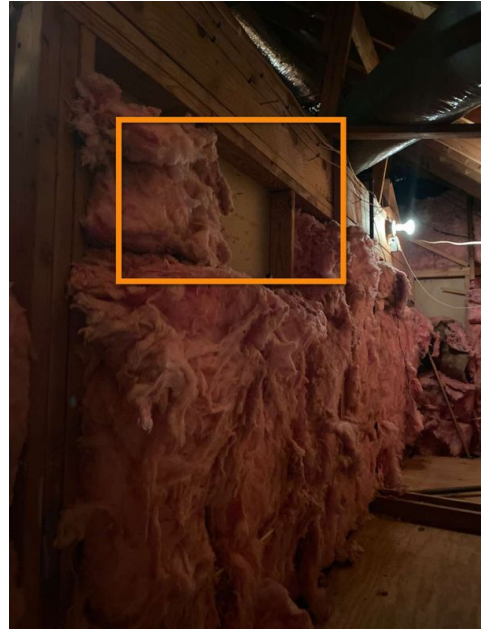
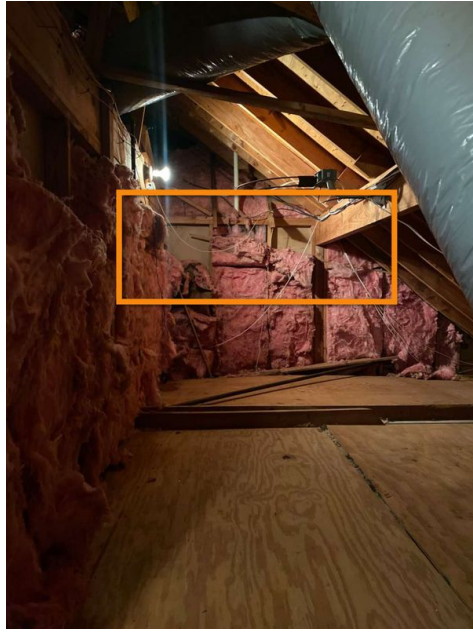


### DAMAGED INSULATION

Insulation appears to have been pulled out and/or damaged by contractors and/or pests. Recommend a qualified insulation contractor evaluate and repair.

Recommendation

Contact a qualified insulation contractor.







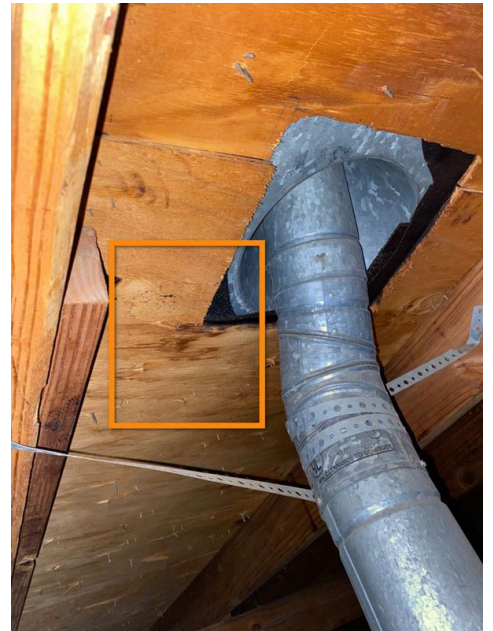
#### 2.4.3 D. Roof Structures & Attics

### ROOF LEAKAGE

Visible roof leaks were observed in the attic. Recommend a qualified roofer evaluate and repair.

Recommendation

Contact a qualified roofing professional.



2nd Floor Attic

#### 2.4.4 D. Roof Structures & Attics

### ATTIC LADDER DAMAGED

The attic ladder is damaged or was installed at an incorrect height. Unsafe. Recommend replacement of the ladder.

Recommendation

Contact a qualified general contractor.







2nd Floor

2.5.1 E. Walls (Interior and Exterior)

**WOOD ROT AND/OR PEELING PAINT**

 Recommendation

There exists evidence of non-structural rot and/or peeling paint in these areas. Areas of wood that are exposed to the elements and missing paint will begin to rot if not corrected. Recommend sanding and repainting. Recommend areas of rotten wood to be replaced.

Recommendation

Contact a qualified general contractor.



2.5.2 E. Walls (Interior and Exterior)

**SIDING IS DAMAGED OR MISSING**

 Recommendation

The siding is damaged in these areas. Recommend a general contractor to resolve, as necessary.

Recommendation

Contact a qualified general contractor.

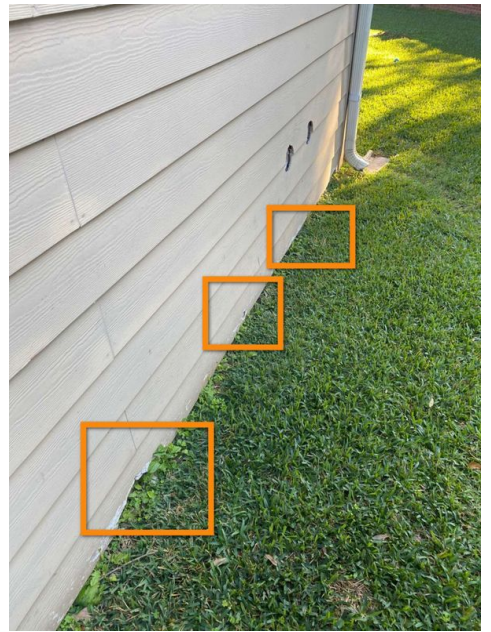




Garage Right



Garage Right



Garage Back

2.5.3 E. Walls (Interior and Exterior)

**CRACKS MINOR**

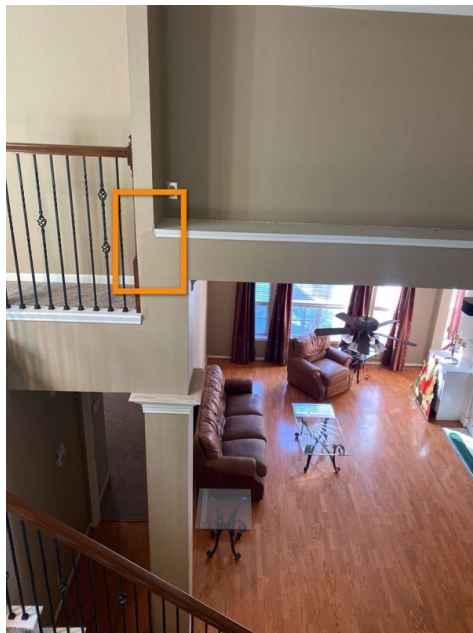
Recommendation

Minor cracking was observed in wall structure. This is common in homes this age and is often determined to be cosmetic. Cracks can grow over time; recommend monitoring.

Recommendation  
Recommended DIY Project



2nd Floor Hall



2nd Floor

2.5.4 E. Walls (Interior and Exterior)

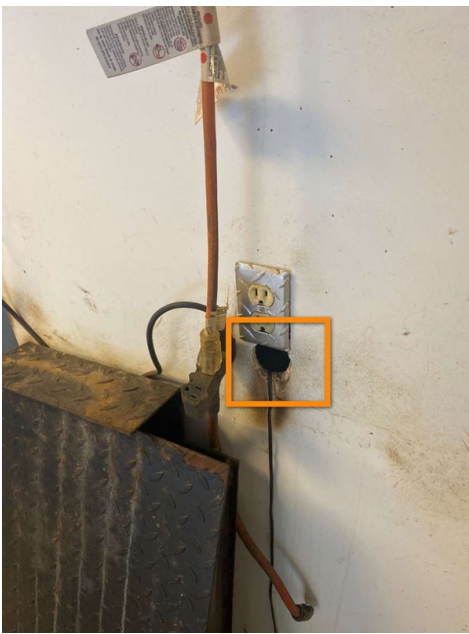
**HOLE IN WALL**

Recommendation

There is a hole in the wall that should be patched. Wall holes could allow for insects to enter, water infiltration (if exterior), but also allow for airflow escape causing a HVAC inefficiency. Recommend repairing the hole or sealing off the hole as necessary.

Recommendation  
Contact a qualified professional.





Garage



Garage



Garage Left



2.6.1 F. Ceilings and Floors  
**CEILING - CRACKS MINOR**

 Recommendation

Minor cracking was observed on the ceiling. This is common in homes this age and is often determined to be cosmetic, most often the separation of drywall tape joints. Recommend monitoring.

Recommendation  
Recommended DIY Project



Dining



2.6.2 F. Ceilings and Floors

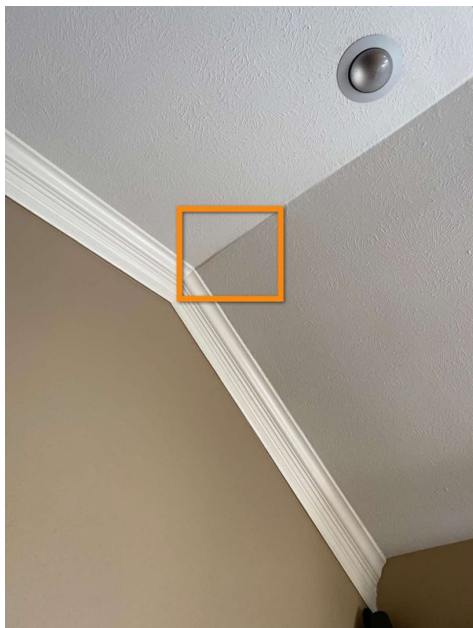
**CEILING - WATER STAIN OBSERVED**

 Recommendation

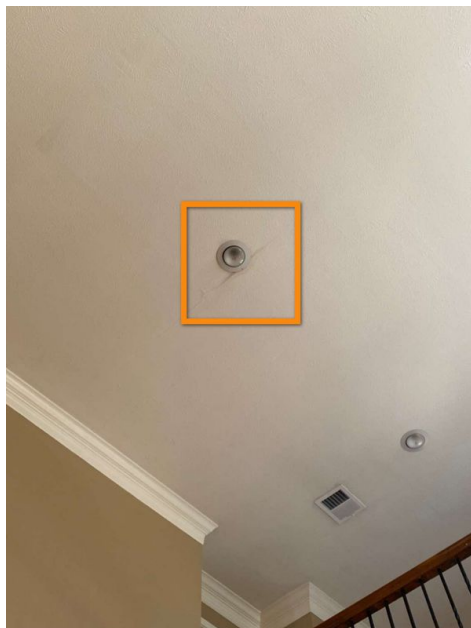
A stain on the ceiling is present. This stain did not visually appear damp and could be from a previously resolved water leak. Inspector is not always able to perform a spot moisture test on ceiling water stains because of the location and height. Recommend monitoring and addressing as necessary.

Recommendation

Contact a qualified general contractor.



Living



Living 2nd Floor

2.6.3 F. Ceilings and Floors

**FLOORING - DAMAGED**

 Recommendation

The home flooring had general moderate damage visible at the time of the inspection. Damaged flooring may be primarily cosmetic and should be resolved as necessary. Recommend evaluation by a qualified flooring contractor.

Recommendation

Contact a qualified professional.



Entry

2.7.1 G. Doors (Interior and Exterior)

**DOOR DOESN'T LATCH OR CLOSE**

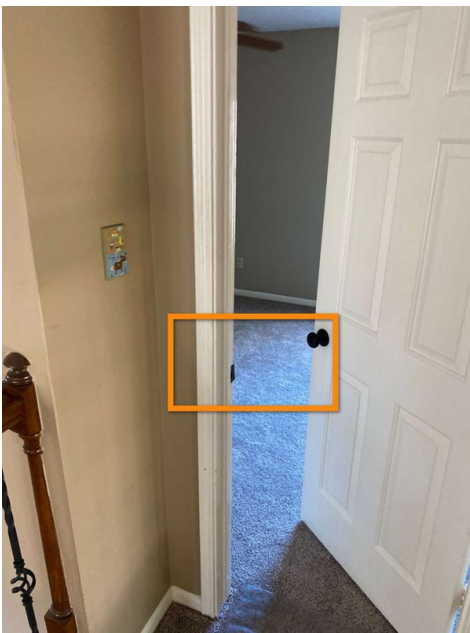
 Recommendation

Door doesn't latch or close properly. Recommend handyman repair door, latch, and/or strike plate.

Recommendation

Contact a qualified handyman.





2nd Floor Bedroom

### 2.7.2 G. Doors (Interior and Exterior)

#### **DOOR LOCKS FROM THE INSIDE (OR BOTH SIDES)**

 Safety Hazard

Doors should not lock from the inside, particularly when they are used as a method of escape to the exterior of the home in the event of an emergency. Doors that lock from the opposite side are reported as a safety hazard and should be replaced with a single-side lock.

#### Recommendation

Contact a qualified door repair/installation contractor.



Back Kitchen



Garage

### 2.7.3 G. Doors (Interior and Exterior)

#### **DOOR RAIL ISSUE**

 Recommendation

The door is not sliding on its tracks / rails correctly or is off the tracks completely. Recommend a contractor evaluate and reinstall correctly.

#### Recommendation

Contact a qualified door repair/installation contractor.





Primary Bathroom

#### 2.7.4 G. Doors (Interior and Exterior)

### **DAMAGED DOORSTOP**

Recommendation

Contact a qualified professional.



Recommendation



2nd Floor Hall

#### 2.8.1 H. Windows

### **SINGLE PANE WINDOWS (KITCHEN AND LIVING)**



Recommendation

Some windows in the home appear to be single pane. Single pane windows are less efficient and will lead to higher utility bills. Not all window photos are documented in the section, and photos here should be used as an example. Recommend budgeting for replacement of windows, as necessary, in the future for the entire property to undergo a window replacement.

Note: some historic single pane windows are protected by historical societies. Client should consult relator or the City/County to better understand property's that are located within jurisdictional historic areas where window replacements are more difficult.

Recommendation

Contact a qualified window repair/installation contractor.



Living



Living



Kitchen

2.9.1 I. Stairways (Interior and Exterior)

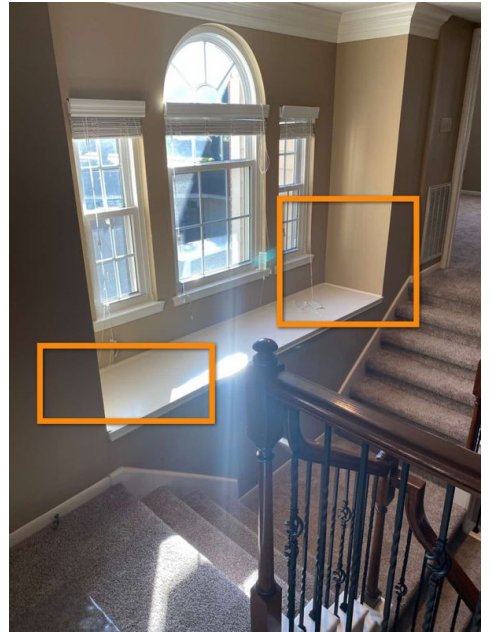
**HANDRAIL MISSING**

Staircase had no handrails. This is a safety hazard. Recommend a qualified handyman install a handrail.

Recommendation

Contact a qualified handyman.

 Recommendation



2.10.1 J. Fireplaces and Chimneys

**UNABLE TO LOCATE GAS VALVE**

Recommendation

Contact a qualified professional.

 Recommendation





2.12.1 L. Other

### OLD CONCRETE - CRACKS, SEPARATION, AND HEAVING

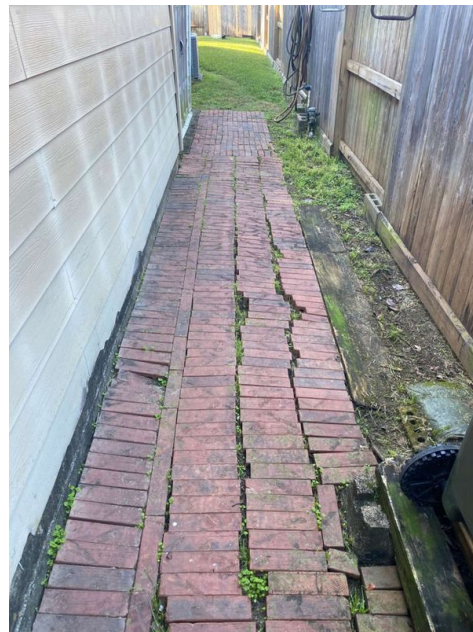
 Recommendation

The driveway and/or sidewalks show signs of aged cracking, separation, heaving, and/or deterioration. This is common in areas of Texas that have clay-based soils. Compromised concrete will continue to exhibit decay, failure, collapse, and uplift if not remediated. Cracking can also be a safety hazard for pedestrians if it becomes (or is currently) a trip hazard.

Recommendation  
Recommend monitoring.



Back



2.12.2 L. Other

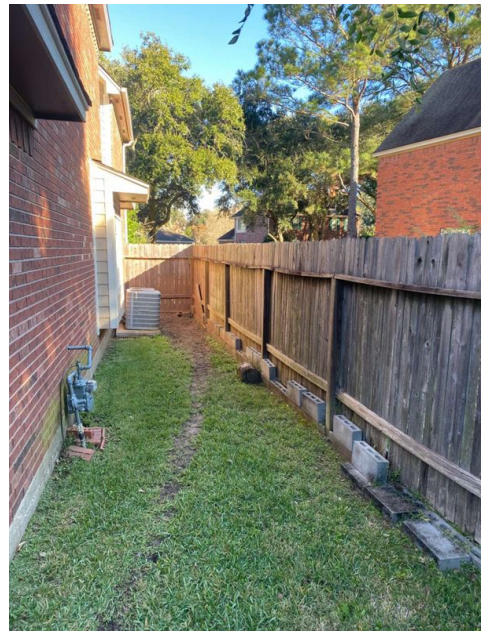
### MINOR FENCE DEFICIENCIES - ROT AND/OR STRUCTURAL ISSUES

 Maintenance Item

Fence appears to have minor rot damage and/or structural issues. Recommend contract a fencing contractor for repair and/or replacement of the elements that are exhibiting rot or structural issues.

Recommendation  
Contact a qualified fencing contractor





2.12.3 L. Other

**GATE WON'T OPEN OR DIFFICULT TO OPEN/CLOSE**

Fence gate will not open, or is difficult to open/close and/or will not latch. This could be because of rot damage and/or support issues. Recommend a fencing contractor to resolve the gate issue.

Recommendation

Contact a qualified fencing contractor



Recommendation





### 3.1.1 A. Service Entrance and Panels

#### **MISSING AFCI BREAKERS**

 Recommendation

Arc Fault Circuit Interrupters (AFCI) safety devices are not installed for all of the living and bedroom areas. The National Electric Code made this protection a requirement for homes built after 2008, The Texas Real Estate Commission requires inspectors regardless of the home's age to mark as "deficient" where any (AFCI) protection is not installed in these areas.

Recommendation

Contact a qualified electrical contractor.

### 3.1.2 A. Service Entrance and Panels

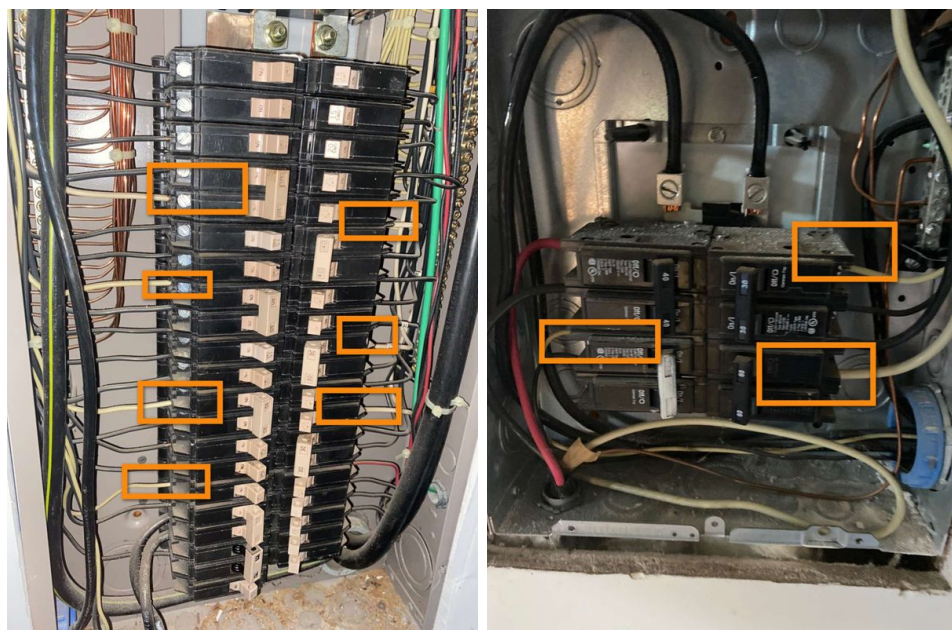
#### **WHITE NEUTRAL WIRE NOT TAPED BLACK**

 Recommendation

A white wire is connected directly to a breaker without black electrical tape, which would indicate that it is a hot conductor. This white wire is being used as a phase or hot conductor rather than neutral, which in itself is not an issue, but should be denoted as such with black electrical tape wrapped around a portion of it. This will allow an electrician servicing the panel to better understand how the electrical wires are routed. Recommend denoting the white wire as a hot conductor by wrapping it with black electrical tape.

Recommendation

Contact a qualified electrical contractor.



### 3.1.3 A. Service Entrance and Panels

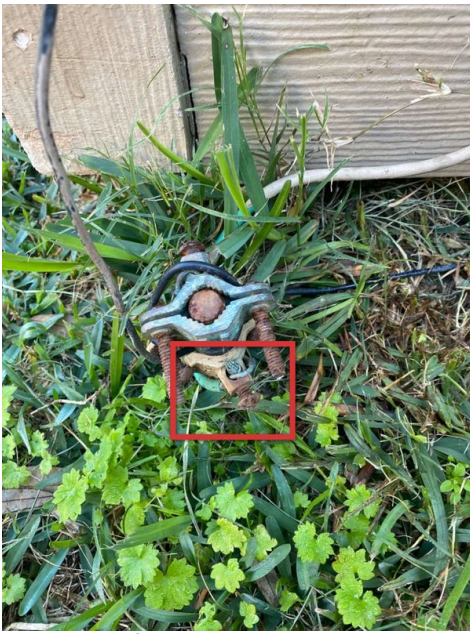
#### **GROUNDING ROD LOOSE OR DISCONNECTED**

 Safety Hazard

The grounding rod is loose and/or disconnected from the main service panel. Recommend an electrical contractor re-establish local grounding to the panel by correcting the grounding deficiency.

Recommendation

Contact a qualified electrical contractor.



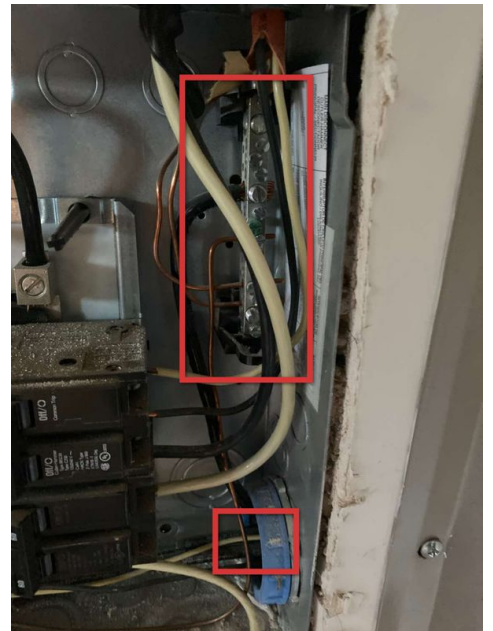
Garage Back

### 3.1.4 A. Service Entrance and Panels **NO SUBPANEL GROUNDING**

 Safety Hazard

Code requires subpanels to have a ground connection that's independent of the main panel's. Panel does not appear to have a ground connection.

Recommendation  
Contact a qualified professional.



### 3.2.1 B. Branch Circuits, Connected Devices, and Fixtures **LIGHT INOPERABLE / BULB NEEDS REPLACEMENT**

 Recommendation

One or more light fixtures were inoperable (didn't turn on when nearby switches were operated). Recommend further evaluation by replacing bulbs and/or consulting with the property owner. If replacing bulbs doesn't work and/or no other switch(es) can be found, then recommend that a qualified electrician evaluate and repair or replace light fixtures as necessary.

Recommendation  
Contact a qualified electrical contractor.





2nd Floor Bedroom



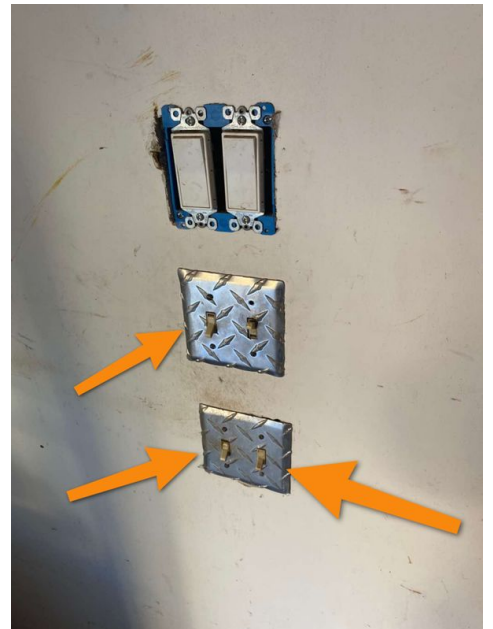
2nd Floor Bedroom

3.2.2 B. Branch Circuits, Connected Devices, and Fixtures

**SWITCH - INOPERABLE**

Switch did not appear to operate a light or devise in the home. This can sometimes occur if switches operate outlets or if bulbs are burnt. Recommend further investigation by the client or evaluation by an electrical contractor if the switch's use remains undetermined.

Recommendation  
Contact a qualified electrical contractor.



Garage

3.2.3 B. Branch Circuits, Connected Devices, and Fixtures

**COVER PLATES MISSING, DAMAGED, OR ARE THE WRONG TYPE**



One or more receptacles are missing a cover plate, the cover plate is damaged, or the wrong type of cover plate is being used. This causes short and shock risk. External cover plates must always be present and sealed to protect against water intrusion.

Recommend installation of correct cover plate.

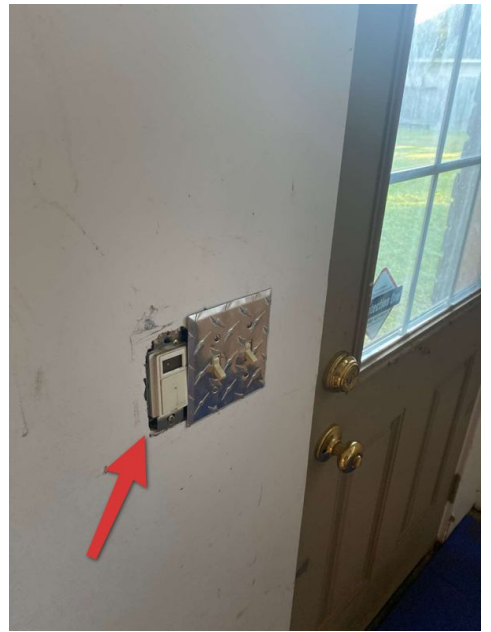
Recommendation  
Contact a qualified electrical contractor.



Garage



Garage



Garage



Garage



Left Middle



Attic



Front



### CLOSET OR ATTIC HAS OPEN BULB

Closets used to store clothing and/or all attic areas must have light fixtures that cover the bulb (with a pendant shade) or a cage. This will prevent the possibility of fire or physical harm from a bulb burst.

Recommendation

Recommended DIY Project



Garage Attic



Attic



2nd Floor Bedroom

### 3.2.5 B. Branch Circuits, Connected Devices, and Fixtures

 Recommendation

### SMOKE ALARMS MISSING (ENTIRE HOUSE)

Smoke alarms/detectors are missing in the house in multiple locations. It is recommended that smoke alarms be installed inside each bedroom, outside each sleeping area and on every level of the home. On levels without bedrooms, it is recommended that alarms be installed in the living room (or den or family room) or near the stairway to the upper level, or in both locations. Recommend installation of smoke alarms/detectors in all areas of the home that require them.

Please see recommendations provided by the National Fire Protection Association (NFPA) about smoke alarms and their recommended placement. All smoke detectors should be installed in accordance with the manufacturer's recommendation and be UL listed.

Recommendation

Recommended DIY Project



2nd Floor Hall

### 3.2.6 B. Branch Circuits, Connected Devices, and Fixtures

 Recommendation

### LIGHT IS FALLING

Recommendation

Contact a qualified professional.



Garage

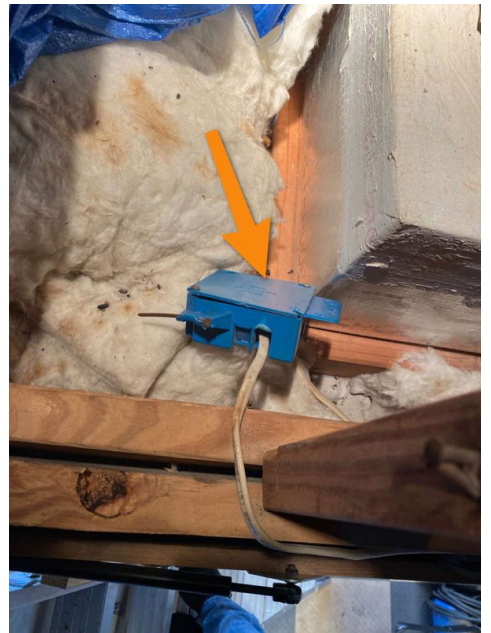
3.2.7 B. Branch Circuits, Connected Devices, and Fixtures

**BLUE BOX SHOULD BE MOUNTED**

Recommendation

Contact a qualified professional.

 Recommendation



Attic

3.2.8 B. Branch Circuits, Connected Devices, and Fixtures

**INTERCOM NOT OPERATIONAL**

Recommendation

Contact a qualified professional.

 Recommendation





Back

3.2.9 B. Branch Circuits, Connected Devices, and Fixtures  
**SWITCHES ARE OUTSIDE OF THE BEDROOM**

 Recommendation

The switches for the bedroom are outside. This is not necessarily a deficiency but just an FYI.

Recommendation  
Contact a qualified professional.



2nd Floor Bedroom

3.2.10 B. Branch Circuits, Connected Devices, and Fixtures  
**FIXTURE IS FALLING**

 Recommendation

Recommendation  
Contact a qualified professional.



2nd Floor Bathroom

#### 4.1.1 A. Heating Equipment

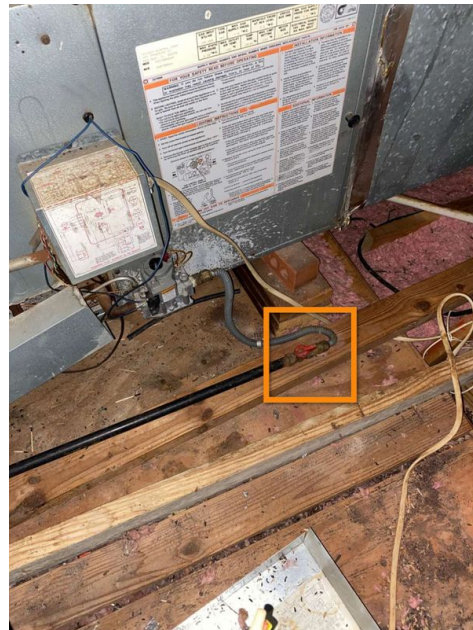
### FURNACE - SEDIMENT/DRIP TRAP MISSING OR INCORRECTLY ORIENTED

 Recommendation

The sediment/debris and drip trap/leg on the gas line is incorrectly oriented or is missing. The trap should allow for condensation or sediment in the gas line to fall into the trap. Additionally the shut-off valve should be located before the trap to allow for cleanout. Recommend installing a correctly oriented sediment/debris trap on the gas line prior to entering the unit.

#### Recommendation

Contact a qualified plumbing contractor.



#### 4.1.2 A. Heating Equipment

### FURNACE - RISER NOT SUFFICIENT LENGTH

 Safety Hazard

The furnace vent should rise a minimum of 12-inches vertically after the vent connector before extending in any direction horizontally. The rise after the vent connector is not sufficient and could lead to carbon monoxide backdraft. Recommend reinstallation of the riser.

#### Recommendation

Contact a qualified HVAC professional.





#### 4.1.3 A. Heating Equipment

### **FURNACE - HEATING EQUIPMENT NEARING END OF ITS USEFUL LIFE**

 Recommendation

The heating equipment is nearing the end of its useful life. It is anticipated that the equipment will need to be replaced within the next five (5) years.

Recommendation

Contact a qualified HVAC professional.

#### 4.1.4 A. Heating Equipment

### **FURNACE - NO DISCONNECT**

 Recommendation

The furnace has no electrical disconnect. This is important because it would allow a person to directly disconnect the power to the furnace in the event of an emergency. Recommend hiring an electrical contractor to install a disconnect.

Recommendation

Contact a qualified HVAC professional.

#### 4.1.5 A. Heating Equipment

### **FURNACE - 2ND HEATING SYSTEM INOPERABLE**

 Recommendation

2nd Heating system (Downstairs home) was inoperable at time of inspection and was not producing hot air. Recommend qualified HVAC professional evaluate & ensure functionality.

Recommendation

Contact a qualified HVAC professional.



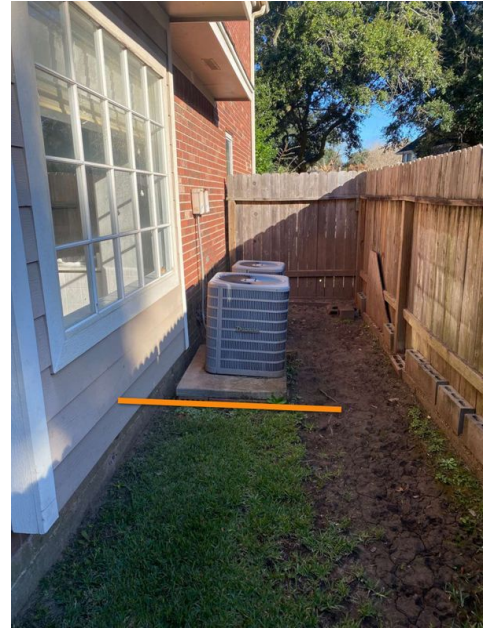
#### 4.2.1 B. Cooling Equipment **CONDENSER - UNIT NOT LEVEL**

 Recommendation

Concrete pad supporting the outdoor condensing unit is not level. This can cause accelerated deterioration of components. Recommend licensed HVAC contractor level the unit.

Recommendation

Contact a qualified HVAC professional.



#### 4.2.2 B. Cooling Equipment **EVAPORATOR - CAP MISSING**

 Maintenance Item

Cap Missing. Recommend installing cap.

Recommendation

Recommended DIY Project



#### 4.2.3 B. Cooling Equipment **EVAPORATOR - RUST PRESENT IN PAN**

 Recommendation

Rust is present in the cooling system emergency overflow pan under the AC evaporator (inside unit). This could be caused by malfunctioning with consistent overflows. No active condensation leak into the pan is observed. Recommend careful monitoring.



Recommendation  
Contact a qualified HVAC professional.



#### 4.2.4 B. Cooling Equipment **EVAPORATOR - CONDENSATE DRAIN INSULATION MISSING OR DAMAGED**

 Recommendation

Missing or damaged insulation on the condensation drain line can cause damage to equipment and/or an overflow if the space reaches freezing temperatures. Recommend contacting an HVAC professional to replace the missing or damaged insulation.

Recommendation  
Contact a qualified HVAC professional.



#### 4.2.5 B. Cooling Equipment **EVAPORATOR - MISSING CONDENSATION DRAIN CLEANOUT**

 Maintenance Item

The condensation drain line from the evaporator (inside unit) should have a cleanout location to add bleach for treatment. This is typically done with a vertical T with a removable cap. Recommend adding a cleanout in the drain line.

Recommendation  
Contact a qualified plumbing contractor.



#### 4.2.6 B. Cooling Equipment

### EVAPORATOR - MISSING CONDENSATE P-TRAP

Recommendation

A condensate p-trap on the primary evaporator drain is recommended in all cases, but is necessary when tying the condensate line directly into a plumbing stack vent. If the condensate line terminates into sink plumbing containing its own p-trap, a p-trap is not necessarily required.

Without a condensate p-trap, cooled or heated air is diverted into the condensate drain line causing a lower efficiency. Also, if the condensate line is tied into a plumbing stack vent, septic gases may leak back into the HVAC system. Recommend consulting a plumbing contractor to install p-trap on the condensate line.

Recommendation

Contact a qualified professional.

#### 4.2.7 B. Cooling Equipment

### EVAPORATOR - COOLING EQUIPMENT NEARING END OF ITS USEFUL LIFE

Recommendation

The evaporator (inside unit) cooling equipment is nearing the end of its useful life. It is anticipated that the equipment will need to be replaced within the next five (5) years.

Recommendation

Contact a qualified HVAC professional.

#### 4.2.8 B. Cooling Equipment

### HVAC - R-22 FREON SYSTEM

Recommendation

The HVAC system uses R-22 freon. Older HVAC compressors and evaporators use R-22, which is a sign that the system is nearing the end of its useful life and will need to be replaced in the near future (even if it is fully functional). Newer air conditioning models are designed to be used with R-410A for reliable and more efficient operation. Because R-410A can absorb and release more heat than R-22, your air conditioning compressor can run cooler, reducing the risk of compressor burnout due to overheating.

R-22 systems are currently being phased out, with a complete obsolete target date of 2030. R-22 freon has also drastically increased in price due to a decrease in supply. Client should budget for a replacement HVAC system in the near future.

Recommendation

Recommend monitoring.



4.2.9 B. Cooling Equipment

**INSIDE AND OUTSIDE FREON MISMATCH**

 Recommendation

The outside units indicate in R-410A Freon. The inside units indicate an R-22 Freon. Unable to determine Freon type and mismatch is a deficiency.

Recommendation

Contact a qualified professional.

4.2.10 B. Cooling Equipment

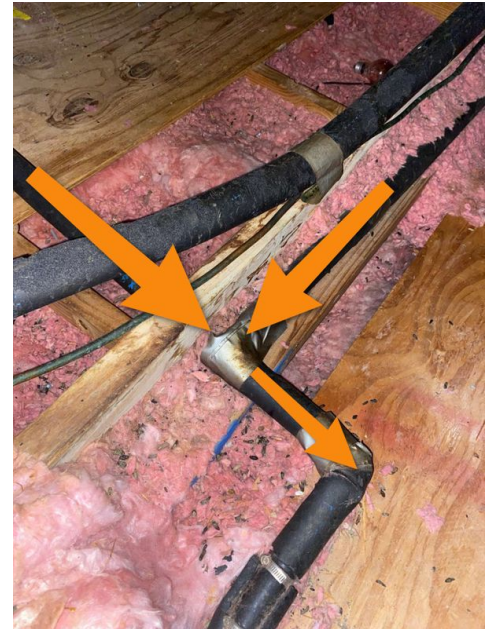
**EVAPORATOR CONDENSATE LINES ARE ROUTED TOGETHER**

 Recommendation

The evaporator condensate lines are routed together which means that when one overflows it will overflow into the next unit.

Recommendation

Contact a qualified professional.



4.3.1 C. Duct System, Chases, and Vents

**DUCT DAMAGED**

 Recommendation

Air supply duct was damaged. Recommend a qualified HVAC contractor repair.

Recommendation

Contact a qualified HVAC professional.



4.3.2 C. Duct System, Chases, and Vents

**FILTER REQUIRES REPLACEMENT**

 Maintenance Item

The furnace filter appears to be beyond its expected lifespan. Recommend replacement.

Recommendation

Contact a qualified HVAC professional.



Garage



Kitchen

#### 4.3.3 C. Duct System, Chases, and Vents **SUPPLY VENT DAMAGED / MISSING**

 Recommendation

Supply air vents were damaged or missing. This can result in a leak and poor heating / cooling efficiency. Recommend a qualified HVAC contractor evaluate and remedy.

Recommendation  
Contact a qualified HVAC professional.



2nd Floor Bedroom

#### 5.1.1 A. Plumbing Supply, Distribution Systems, and Fixtures **PIPE INSULATION DAMAGED / MISSING**

 Maintenance Item

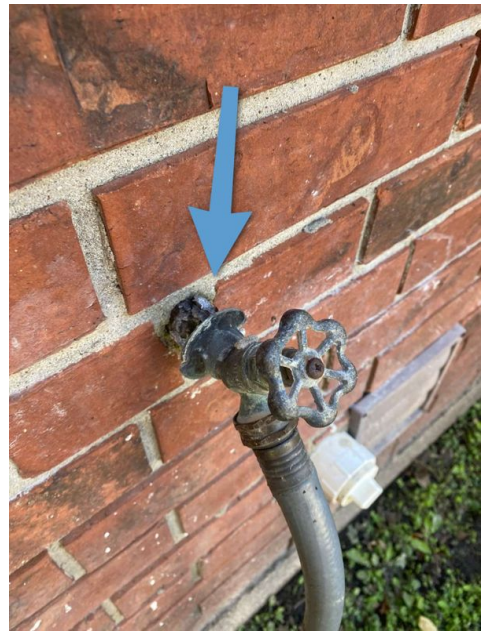
Water line insulation is important to keep distribution lines from freezing and bursting in cold weather. This includes areas in the attic, garage, or exterior areas where freezing temperatures can occur. Water lines should be insulated regardless of their type. Missing or damaged water line insulation was discovered and should be replaced.

Recommendation  
Recommended DIY Project





Garage Right



### 5.1.2 A. Plumbing Supply, Distribution Systems, and Fixtures

#### **TOILET IS LOOSE**

The toilet is loose and not stable. This could be at the connection with the ground or at the bowl connection with the tank.

Recommend tightening the toilet bolts or hiring a qualified plumbing contractor to tighten and further investigate.

Recommendation

Contact a qualified plumbing contractor.

 Recommendation



2nd Floor Bathroom

### 5.1.3 A. Plumbing Supply, Distribution Systems, and Fixtures

#### **VALVE OPERATION ODD**

Inspector knows that the valve operation for the upstairs bathroom is odd. Water is off in the up direction and cold to the left heart to the right. Likely a wall plumbing issue.

Recommendation

Contact a qualified professional.

 Recommendation



2nd Floor Bathroom

### 5.3.1 C. Water Heating Equipment

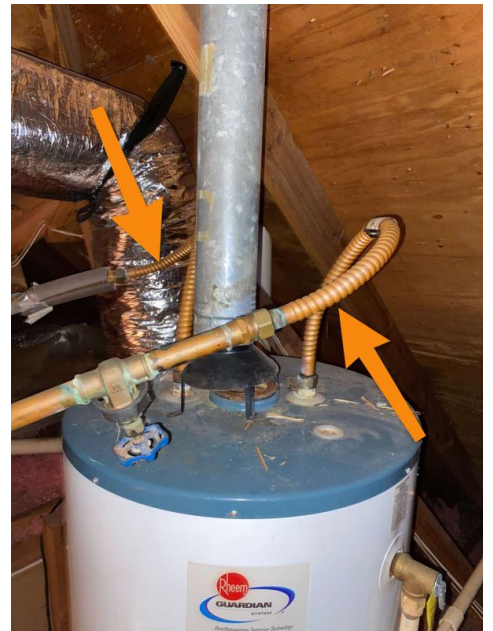
#### **PIPE INSULATION DAMAGED / MISSING**

 Recommendation

The water heater distribution water pipes (both the hot side and the cold side) should be insulated. Recommend installing insulation on the pipes to protect in the event of a freeze.

Recommendation

Contact a qualified plumbing contractor.



### 5.3.2 C. Water Heating Equipment

#### **CORROSION AT VALVE OR PIPE CONNECTORS**

 Recommendation

The water heater shows signs of extensive corrosion where the cold and/or hot water pipes connect to the unit and/or at the shutoff valve. It is recommended that the connectors to the water heater be zinc plated steel or have a polypropylene liner. Some types are heat trap plastic lined to prevent corrosion at the pipe transitions. The goal is to prevent brass and copper pipes from touching the steel lining that cause increases corrosion. Recommend replacing the areas of corrosion and if too extensive, replace the water heater unit with a new one.

Recommendation

Contact a qualified plumbing contractor.





5.3.3 C. Water Heating Equipment

**GAS - SEDIMENT/DRIP TRAP MISSING OR INCORRECTLY ORIENTED**

 Recommendation

The sediment/debris and drip trap/leg on the gas line is incorrectly oriented or is missing. The trap should allow for condensation or sediment in the gas line to fall into the trap. Additionally the shut-off valve should be located before the trap to allow for cleanout. Recommend installing a correctly oriented sediment/debris trap on the gas line prior to entering the unit.

Recommendation  
Contact a qualified plumbing contractor.

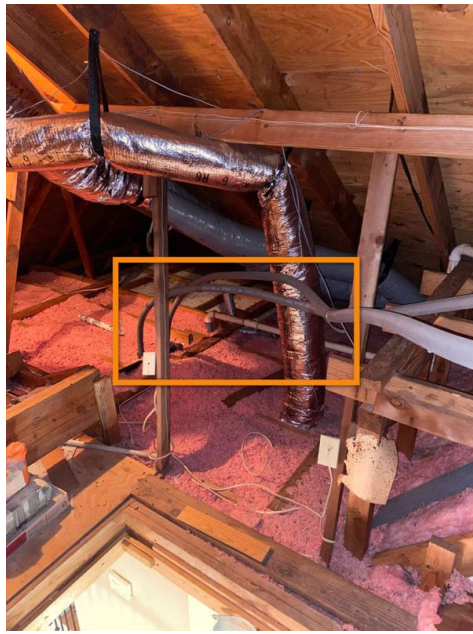


5.3.4 C. Water Heating Equipment

**PIPE IS UNSUPPORTED**

 Recommendation

Recommendation  
Contact a qualified professional.



5.4.1 D. Hydro-Massage Therapy Equipment  
**UNABLE TO LOCATE GFCI**

 Safety Hazard

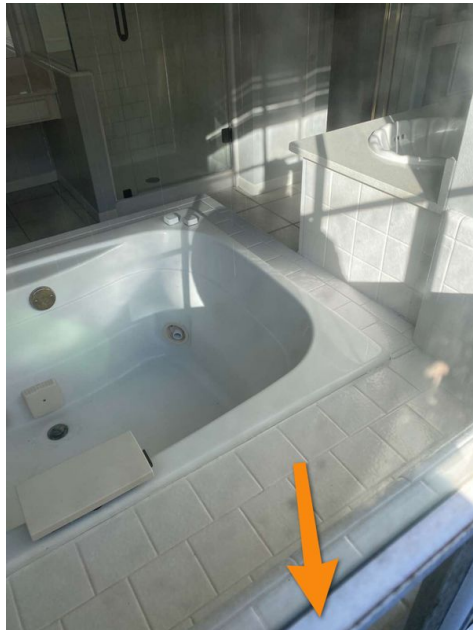
Hydro massage tubs should have a GFCI trip breaker installed at a receptacle. These are commonly located in the master closet or the toilet room at a distance from the tub itself. No GFCI trip breaker was discovered.

Recommendation  
Contact a qualified electrical contractor.

5.4.2 D. Hydro-Massage Therapy Equipment  
**HYDRO TUB IS LEAKING**

 Recommendation

Recommendation  
Contact a qualified professional.





### 5.4.3 D. Hydro-Massage Therapy Equipment **NO ENRTY TO HYDRO TUB COMPONENTS**

Recommendation  
Contact a qualified professional.

 Recommendation



Primary Bathroom

### 6.2.1 A. Dishwashers

#### **NO HIGH-LOOP**

 Maintenance Item

Dishwasher has no high-loop. The high-loop in the drain hose of your dishwasher is to keep water from settling in the hose if it were hanging down any lower or horizontally. This keeps the drain hose dried out and keeps any odors from backing up into the dishwasher.

Recommendation  
Recommended DIY Project



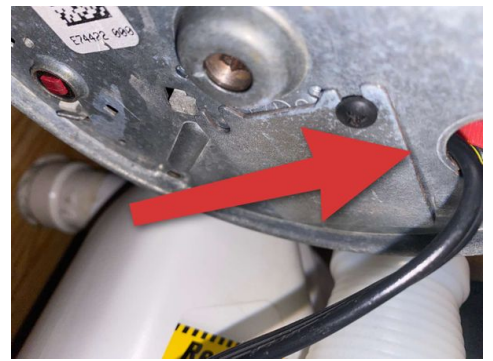
### 6.3.1 B. Food Waste Disposers

#### **MISSING OR DAMAGED STRAIN RELIEF CONNECTOR**

 Safety Hazard

The food disposer wiring has a missing or damaged strain relief connector (sometimes referred to as a Romex connector or anti-strain device). Recommend re-installation.

Recommendation  
Contact a qualified electrical contractor.



6.7.1 F. Mechanical Exhaust Vents and Bathroom Heaters

**VENT FAN IS NOISY**

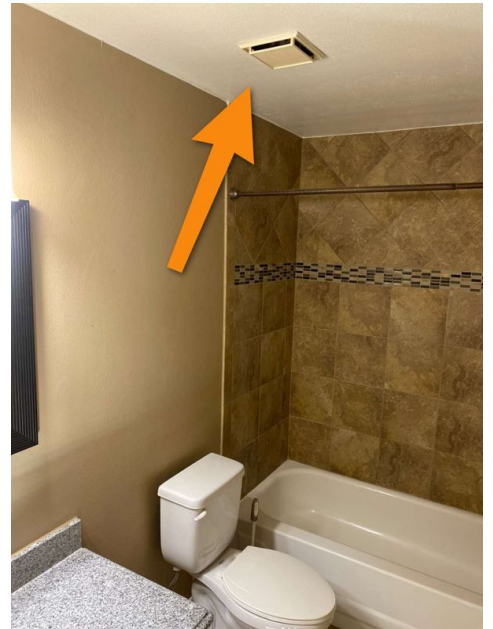
The vent fan is unusually noisy when powered on. Recommend further investigation to determine the cause of the problem.

Recommendation

Contact a qualified electrical contractor.



Recommendation



2nd Floor Bathroom

6.8.1 G. Garage Door Operators

**OPENER LIGHT INOPERABLE**

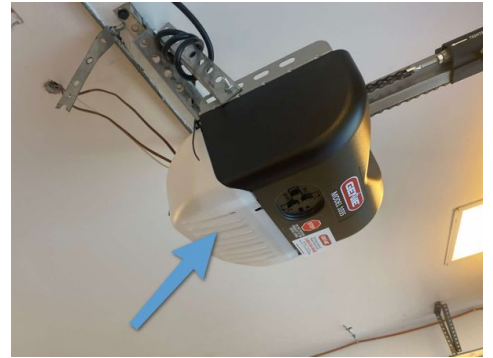
The garage door opener light was inoperable. This is likely caused by a burnt out lightbulb. Recommend replacement of bulb and/or further investigation for possible deficiency.

Recommendation

Contact a qualified professional.



Maintenance Item



6.9.1 H. Dryer Exhaust Systems

**VENT IS DIRTY**

The dryer vent is dirty and may be partially clogged. Consider cleaning the vent prior to use to prevent the buildup of debris and possible fire hazard.

Recommendation

Recommended DIY Project



Safety Hazard