

True Grit Home Inspection

Property Inspection Report



Inspector: Eric Labardini

TREC License #24107 TDA #0838706

Phone: 832-422-8440 (Office) 832-860-4108 (Mobile)

Email: atceric@gmail.com

www.truegrithomeinspection.com

5515 W Airport Blvd, Houston, TX 77035

Inspection prepared for: Seth Carlsen

Real Estate Agent: Stephen Kingsberry -

Date of Inspection: 1/22/2022 Time: 10:00 AM

Age of Home: 1958 Size: 1747

Weather: 45F sunny

012222EL1

Home, pool, SS

PROPERTY INSPECTION REPORT FORM

Seth Carlsen

Name of Client

1/22/2022

Date of Inspection

5515 W Airport Blvd, Houston, TX 77035

Address of Inspected Property

Eric Labardini

Name of Inspector

TREC License #24107 TDA #0838706

TREC License #

Name of Sponsor (if applicable)

TREC License #

PURPOSE OF INSPECTION

A real estate inspection is a visual survey of a structure and a basic performance evaluation of the systems and components of a building. It provides information regarding the general condition of a residence at the time the inspection was conducted. It is important that you carefully read ALL of this information. Ask the inspector to clarify any items or comments that are unclear.

RESPONSIBILITY OF THE INSPECTOR

This inspection is governed by the Texas Real Estate Commission (TREC) Standards of Practice (SOPs), which dictates the minimum requirements for a real estate inspection.

The inspector IS required to:

- use this Property Inspection Report form for the inspection;
- inspect only those components and conditions that are present, visible, and accessible at the time of the inspection;
- indicate whether each item was inspected, not inspected, or not present;
- indicate an item as Deficient (D) if a condition exists that adversely and materially affects the performance of a system or component OR constitutes a hazard to life, limb or property as specified by the SOPs; and
- explain the inspector's findings in the corresponding section in the body of the report form.

The inspector IS NOT required to:

- identify all potential hazards;
- turn on decommissioned equipment, systems, utilities, or apply an open flame or light a pilot to operate any appliance;
- climb over obstacles, move furnishings or stored items;
- prioritize or emphasize the importance of one deficiency over another;
- provide follow-up services to verify that proper repairs have been made; or
- inspect system or component listed under the optional section of the SOPs (22 TAC 535.233).

RESPONSIBILITY OF THE CLIENT

While items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions, in the event that any further evaluations are needed, it is the responsibility of the client to obtain further evaluations and/or cost estimates from qualified service professionals regarding any items reported as Deficient (D). It is recommended that any further evaluations and/or cost estimates take place prior to the expiration of any contractual time limitations, such as option periods.

Please Note: Evaluations performed by service professionals in response to items reported as Deficient (D) on the report may lead to the discovery of additional deficiencies that were not present, visible, or accessible at the time of the inspection. Any repairs made after the date of the inspection may render information contained in this report obsolete or invalid.

REPORT LIMITATIONS

This report is provided for the benefit of the named client and is based on observations made by the named inspector on the date the inspection was performed (indicated above).

ONLY those items specifically noted as being inspected on the report were inspected.

This inspection IS NOT:

- a technically exhaustive inspection of the structure, its systems, or its components and may not reveal all deficiencies;
- an inspection to verify compliance with any building codes;
- an inspection to verify compliance with manufacturer's installation instructions for any system or component and DOES NOT imply insurability or warrantability of the structure or its components.

NOTICE CONCERNING HAZARDOUS CONDITIONS, DEFICIENCIES, AND CONTRACTUAL AGREEMENTS

Conditions may be present in your home that did not violate building codes or common practices in effect when the home was constructed but are considered hazardous by today's standards. Such conditions that were part of the home prior to the adoption of any current codes prohibiting them may not be required to be updated to meet current code requirements. However, if it can be reasonably determined that they are present at the time of the inspection, the potential for injury or property loss from these conditions is significant enough to require inspectors to report them as Deficient (D). Examples of such hazardous conditions include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices and arc-fault (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

Please Note: items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions. The decision to correct a hazard or any deficiency identified in an inspection report is left up to the parties to the contract for the sale or purchase of the home.

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR**TRUE GRIT HOME INSPECTION, PLLC. SERVICE AGREEMENT
THIS IS INTENDED TO BE A LEGALLY BINDING CONTRACT**

**BETWEEN YOU THE CLIENT AND TRUE GRIT HOME INSPECTION, PLLC. , ITS SUBSIDIARIES,
AND ALL SUBCONTRACTORS SCHEDULED OR ARRANGED THROUGH US**

PLEASE READ CAREFULLY

1. **SCOPE OF THE INSPECTION:** The inspector will perform a general, non-Invasive limited visual ("eyeball") inspection of the property structure at the address listed below to provide Client(s) with a written opinion as to the apparent general condition of the structure(s) components and systems at the time of the inspection. The inspection will be performed in a manner consistent with the "Standard of Practice" and "Code of Ethics" of "TREC" Texas Real Estate Commission and prepare a written report of the apparent condition of the readily accessible systems and components of the Property unless otherwise indicated existing at the time of the inspection. A copy of these Standards are readily available to the Client(s) at

http://www.trec.state.tx.us/inspector/rules_governing_inspectors.asp Only systems and components that can be reached, entered, or viewed without difficulty, moving obstructions, or requiring any action which may result in damage to the property or personal injury to the Inspector will be inspected. Latent and concealed defects and deficiencies are excluded from the inspection, and Inspector is not liable for latent and concealed defects and deficiencies. Any area which is not exposed to view, concealed, is inaccessible because of soil, walls, floors, carpets, ceilings, furnishings or other things, or areas/items which have been excluded by "TREC" Texas Real Estate Commission standards and/or by the agreement of the parties is not included in this inspection. The inspection does not include any destructive testing or dismantling. In the event that the property is a part of a condominium unit, such inspection will not include any other connected or external portions of a multi-unit building or any common areas covered by a joint use agreement or considered common areas.

2. **STANDARDS OF PRACTICE:** The parties agree that the Standards of Practice "TREC" Texas
REI 7-6 (8/9/21)

Real Estate Commission shall define the standard of duty and the conditions, limitations, scope, and exclusions of the inspection and are incorporated by reference herein.

3. **CLIENT'S DUTY:** Client agrees to read the entire report when it is received and promptly call the Inspector with any question or concern regarding the inspection or written report. The written report shall be the final exclusive findings of the Inspector. In the event client becomes aware of a reportable condition which was not reported by the Inspector, Client agrees to promptly notify Inspector and allow Inspector and/or Inspector's designated representative(s) to inspect said condition(s) before making any repair, alteration, or replacement.
4. **FURTHER EVALUATION:** Client acknowledges and agrees that the Inspector is a generalist and that further investigation of a reported condition by an appropriate certified licensed specialist may provide additional information that may affect a Client(s) decision to purchase the home. Client should seek further evaluation from licensed professionals regarding the deficiencies identified in the written report. Inspector is not liable for Client(s) failure to further investigate reported deficiencies.
5. **CHANGE IN CONDITION(S):** The parties agree and understand that conditions of systems and components may change between the inspection date and the time of closing. It is the Client's responsibility to further investigate before closing and the Inspector is not liable for any changes of conditions.
6. **NOT A WARRANTY:** The parties agree and understand the Inspector is not an insurer or guarantor against defects in the structure, items, components, or systems inspected. Client(s) understand that the inspection and inspection report does not constitute a guarantee or warranty of merchantability or fitness for a particular purpose, expressed or implied, or insurance policy, nor is it a substitute for real estate transfer disclosures which may be required by law. **INSPECTOR MAKES NO WARRANTY, EXPRESS OR IMPLIED, AS TO THE PRESENT OR FUTURE FITNESS FOR USE, CONDITION, PERFORMANCE OR ADEQUACY OF ANY INSPECTED STRUCTURE, ITEM, COMPONENT, OR SYSTEM, THE PRESENCE OR ABSENCE OF LATENT OR HIDDEN DEFECTS THAT ARE NOT REASONABLY ASCERTAIN IN A COMPETENTLY PERFORMED HOME INSPECTION, OR THE REMAINING USEFUL LIFE OF ANY SYSTEM OR COMPONENT OF THE PROPERTY.**
7. **NOT AN APPRAISAL:** The Inspection will not include an appraisal of the value or a survey of building and/or property lines. This inspection or the inspection report may not be construed as an appraisal or survey and may not be used as such for any purpose.
8. **NOT A COMPLIANCE INSPECTION:** This inspection or inspection report is NOT a code compliance inspection or certification for past or present governmental codes or regulations.
9. **INSURABILITY:** The inspection or inspection report does not determine whether the property is insurable.
10. **THIRD PARTIES AND SUBROGATION:** The inspection and written report are performed and prepared for the sole and exclusive use and possession of the Client. No other person or entity may rely on the report issued pursuant to this Agreement. In the event that any person, not a party to this Agreement, makes any claim against the Inspector, its employees or agents, arising out of the services performed by the Inspector under this Agreement, or claims alleging in whole or part any negligent act or omission of the Inspector, the Client agrees to indemnify, defend, and hold harmless Inspector from any and all damages, expenses, costs, and attorney fees, arising from such a claim.
11. **LIMITATION OF LEGAL ACTION:** The parties agree that any legal action must be brought within one (1) year from the date of the inspection(s), or will be deemed waived and forever banned.
12. **LIABILITY:** The parties agree that True Grit Home Inspection, PLLC. and its employees and its agents assume no liability or responsibility for cost of repairing or replacing any defects specified in the written report, as well as no liability for the costs of further evaluation or investigation of the

defects specified in the written report. Further, the parties agree and understand that the Inspector and its employees and its agents assume no liability for the costs of repairing or replacing any of the unreported defects or deficiencies either current or arising in the future or any property damage, consequential damage or bodily injury of any nature. In the event of a claim by the Client that an installed system, or component of the premises which was inspected by the inspector was not in the condition reported by the Inspector, the Client agrees to notify the Inspector at least 72 hours prior to repairing or replacing such system or component. If repairs or replacement are done without giving the Inspector the required notice, the Inspector will have no liability to the client. Client agrees that prior to taking any action, legal or otherwise, Client shall: submit a written claim to Inspection Company within 10 days of the deficiency discovery to 25410 Morgan Drive, Tomball TX 77375. The written claim shall describe the suspected deficiency. Allow the Inspection Company, their agent or legal representative to perform a re-inspection of the deficiencies stated in the claim. Agree to not to disturb or repair the disputed item prior to a re-inspection except in cases where injury or subsequent property damage may occur.

13. DISPUTES AND ARBITRATION In the event a dispute arises regarding an inspection that has been performed under this service agreement, Client(s) agree to notify True Grit Home Inspection, PLLC. within ten (10) days of the time of discovery to give True Grit Home Inspection, PLLC. a reasonable opportunity to re-inspect the property and resolved the dispute amicably. Upon the request of either party, all unresolved disputes relating to this agreement shall be submitted for arbitration in accordance with (AAA) American Association of Arbitrators and pursuant to the Federal Arbitration Act then in effect with costs shared equally. This provision shall be specifically enforceable and damages for breach of this provision shall include but not limited to court costs and attorney's fees. Client agrees that True Grit Home Inspection, PLLC. and its agents' liability, if any, shall be limited to the amount of the inspection fee paid for inspection. This limitation shall apply regardless of the cause of action or the legal theory pled or asserted specifically including, but not limited to, negligence.

14. SEVERABILITY: If any court of competent jurisdiction determines that any section, provision or part of this Agreement is void, unenforceable, or contrary to Texas law, the remaining sections of this Agreement shall remain in full force and effect.

15. DAMAGES: If the inspection company or any of its employees, agents, providers, officers, members, or shareholders, are found to be liable for any claim or damage due to the alleged negligence or willful misconduct of the Inspection company performing the home inspection or in the reporting on the condition of the property in the inspection report, **THE MAXIMUM DAMAGE THAT THE CLIENT CAN RECOVER SHALL NOT EXCEED THE COST OF THE INSPECTION FEE PAID BY THE CLIENT.** The Inspection Company shall not be liable to the Client for any loss of use of the property, repair or replacement cost, consequential or punitive damages or for attorneys' fees or court costs. The Inspection Company shall not be liable to the Client for any claims, loss or damage if the Client alters, tampers with or repairs or replaces the condition which is the subject matter of the Client's claim before the Inspection Company has had an opportunity to inspect the alleged defective condition.

16. CLIENT UNDERSTANDS: The integrity and moisture content of framing and sheathing behind finished wall coverings (exterior siding, stucco, cement stone coverings, fiber cement siding, drywall, interior bath and shower tile walls, etc) is not visible to inspect and beyond the scope of our services and is excluded within our services and is excluded within our inspection and inspection report. The lack of proper detailing and flashing may result in water penetration behind siding resulting in water penetration and structural damage which True Grit Home Inspection, PLLC makes no guarantee, warranty, or implied in the inspection or inspection report.

17. EXPERT TESTIMONY / LITIGATION FINANCIAL COMPENSATION CLAUSE: In the event our services are needed at any time in the future as expert testimony or in a litigation case, client agrees at this time / in advance to financially compensate this firm for it's time and services. Terms: Non-refundable retainer of \$2,500.00 upfront, Hourly rate of \$175.00 for any activities on our part for your case, including but not limited to; deposition, phone time, research, court time, travel time portal to

portal, review of case prior to court appearance, etc. Balance due invoiced weekly, submitted Friday, payable the next Friday

18. RE-INSPECTIONS: True Grit Home Inspection, PLLC does not normally conduct re-inspection services. We are not in the business of certifying the workmanship and/or warranting another company's repair work. Receipts and/or warranty for work performed should be obtained from the company or companies who have provided repairs. In the event a re-inspection is performed it is agreed to in advance that True Grit Home Inspection, PLLC does not assume responsibility of any kind for another company's work.

19. LIMITATION AND EXCLUSION CLAUSE: The Client expressly acknowledges and agrees that the following are not included in the scope of the inspection and the inspection report and further acknowledges that the Inspector makes no representations or warranties as to them. THE FOLLOWING SYSTEMS, ITEMS, AND CONDITIONS WHICH ARE NOT WITHIN THE SCOPE OF THE BUILDING INSPECTION INCLUDE BUT ARE NOT LIMITED TO: recreational, leisure, playground or decorative equipment or appliances including but not limited to pools, hot tubs, saunas, steam baths, landscape lighting, fountains, shrubs, trees, and tennis courts. Cosmetic conditions wallpapering, painting, carpeting, scratches, scrapes, dents, cracks, stains, soiled or faded surfaces on the structure, equipment or component, soiled, faded, torn, or dirty floor, wall or window coverings, etc. Noise pollution or air quality. Earthquake hazard, flood plain certification, liquefaction, soil, retaining walls, slide potential, wave action and hydrological stability, soil and earth measurements and stability, seismic safety, code and zoning, engineer level analysis, underground utilities, sink hole potential, formaldehyde, lead paint, asbestos, toxic or flammable materials, molds, mildew, fungi, other environmental hazards, pest infestation, security systems, fire protection systems, sump pumps, household appliances, humidifiers, paint, other treatment windows, interior walls, ceilings and floors, water purification systems, (ozone generator/saltwater, etc), underground storage tanks, energy efficiency measurements, motion or photo electric sensor lighting, concealed or private security systems, water wells, all over flow drains, heating system's accessories, solar heating systems, heat exchangers, wood burning stoves, sprinkler systems, water softener or purification systems, central vacuum systems, telephone intercom or cable TV systems, internet connections and cable connections, antennae, lightning arrestors, load controllers, governing codes, permits, ordinances, statutes, and covenants, and manufacturer specifications, recalls, EIFS, Chinese drywall and tainted materials, plasterboard, sheet rock, gypsum board, latent and concealed defects, and manufactured stone veneer, culture stone siding, fiber cement siding, flues or chimneys, coal stoves, water leaks, water intrusion, design and architect problems, circuit breaker operation, fireplace drafting, boundaries egress and ingress, quality of materials, private sewage, wattage and wiring, electromagnetic field, non-built in appliances, rodents, ants, birds, or other wood boring organisms, security locks and devices, thermostat and gauges. Client understands that these systems, items, and conditions, are excepted and excluded from this inspection and Inspection report. Any general comments about these systems, items, and conditions of the written report are informal only and DO NOT REPRESENT AN INSPECTION.

20. THIRD PARTY SERVICE PROVIDERS: YOUR INSPECTOR MAY HAVE AN AFFILIATION WITH A THIRD PARTY SERVICE PROVIDER ("TPSP") IN ORDER TO OFFER YOU ADDITIONAL VALUE- ADDED SERVICES. BY ENTERING INTO THIS AGREEMENT YOU (A) AUTHORIZE YOUR INSPECTOR TO PROVIDE YOUR CONTACT INFORMATION (INCLUDING TELEPHONE NUMBER) TO THE TPSP, (B) WAIVE AND RELEASE ANY RESTRICTIONS THAT MAY PREVENT THE TPSP FROM CONTACTING YOU (INCLUDING BY TELEPHONE USING AUTOMATED DIALING TECHNOLOGY), AND (C) AUTHORIZE THE TPSP TO CONTACT YOU (INCLUDING BY TELEPHONE) REGARDING SPECIAL HOME ALARM SYSTEM OFFERS.

21. PERSONAL SAFETY: We are not responsible for another participant's personal safety during the inspection process. Client, their representative's, or others participation shall be at his/her own risk for falls, injuries, property damage, etc. We reserve the right to refuse service to anyone for any reason.

22. This Agreement, including the terms and conditions on all pages, represents the entire

agreement between the parties and there are no other agreements either written or oral between them. This Agreement shall be amended only by written agreement signed by both parties.

23. ACKNOWLEDGMENT: the undersigned has reviewed this document, understands its content and agrees to the terms and conditions contained. The client further represents and warrants that he or she has full and complete authority to execute this contract on behalf of any spouse or significant other, and to fully bind any spouse or significant other to all terms, conditions, exclusions and limitations of this agreement.

If after walking thru the property with the inspector, if you are in anyway dissatisfied with the services provided by True Grit Home Inspection, PLLC., you are under no obligation to pay the inspection fee, but the inspection report will not be delivered. State "three-day right to cancel" may apply.

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I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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I. STRUCTURAL SYSTEMS

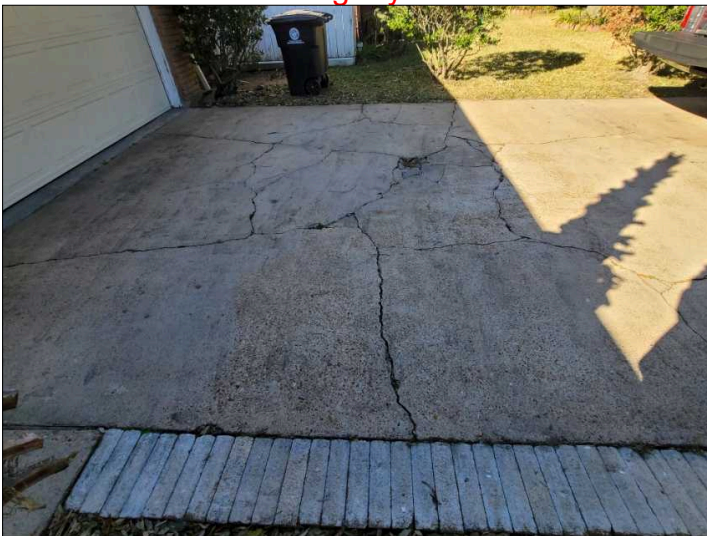
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. Foundations
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Type of Foundation(s):

- Slab Foundation

Comments:

- Spalling observed. Spalling is a result of water entering brick, concrete or natural stone and forcing the surface to peel, pop out or flake off
- High soil levels do not allow for proper visual inspection around outside.
- Note: Growth of nearby trees may cause issues.
- Driveway / sidewalk is cracked and has some tripping hazards.
- **It is my opinion that the foundation has several deficiencies and should be further evaluated by a reputable foundation contractor or structural engineer. Based primarily on floor slope, several exterior brick cracks, and numerous wall and ceiling drywall cracks.**



Driveway / sidewalk is cracked and has some tripping hazards.



Spalling observed. Spalling is a result of water entering brick, concrete or natural stone and forcing the surface to peel, pop out or flake off

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Note: Growth of nearby trees may cause issues.

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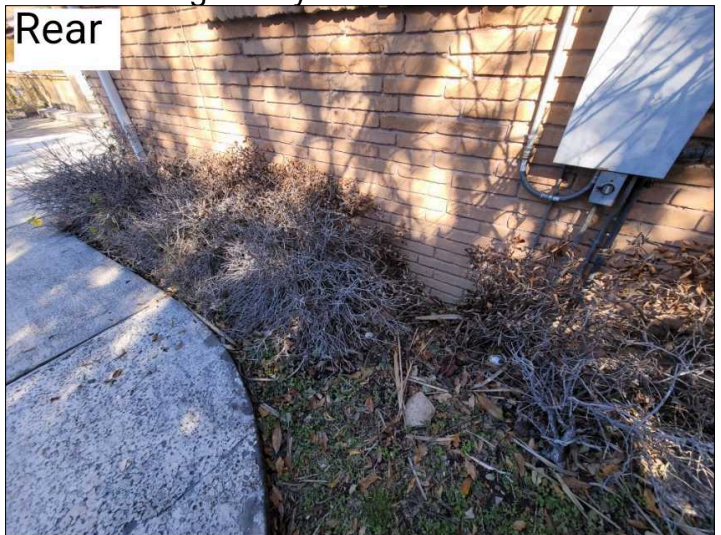
B. Grading and Drainage

Comments:

- Grade level (dirt) too close to top of foundation. 6" from siding, and 4" minimum from brick / stone.
- Recommend a gutter system to aid in drainage away from house.



Recommend a gutter system to aid in drainage away from house.



Grade level (dirt) too close to top of foundation. 6" from siding, and 4" minimum from brick / stone.

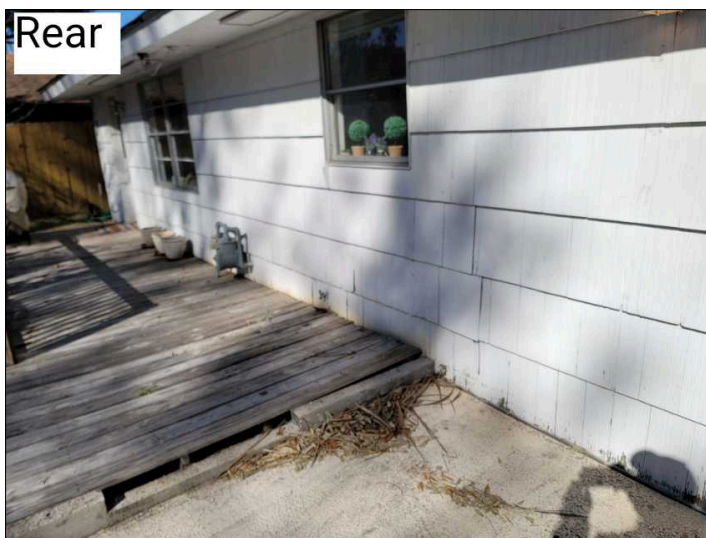
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Grade level (dirt) too close to top of foundation. 6" from siding, and 4" minimum from brick / stone.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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C. Roof Covering Materials

Type(s) of Roof Covering:

- Three tab composition shingles noted. (15 year life estimated)

Viewed From:

- Roof
- Ladder
- Ground

Comments:

- Lifted flashing, missing fasteners. Should be flat and prevent water and wind penetration.
- Exposed nails should be sealed over.
- Rusted vents and flashing on roof.
- Lifted shingles noted. Ridge shingles installed improperly. These are subject to wind drive rain and water entering house.
- Antenna mounted directly to shingles. Sealant prevents water penetration through screws/nails. Monitor sealant to reduce the risk of water leaks.

I=Inspected

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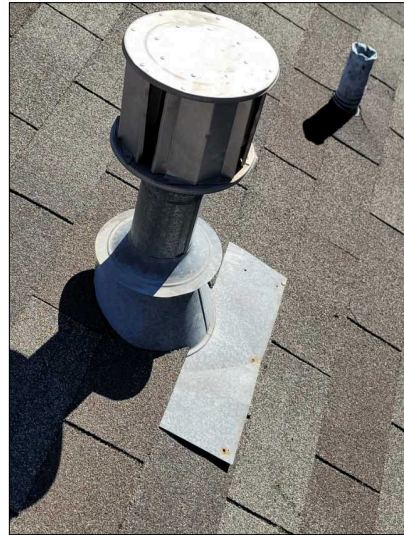
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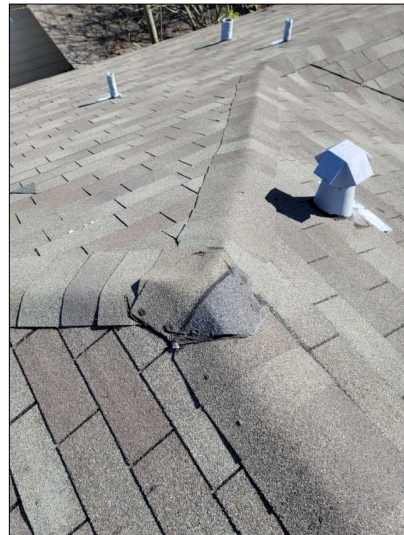
Lifted shingles noted. Ridge shingles installed improperly. These are subject to wind drive rain and water entering house.



Lifted flashing, missing fasteners. Should be flat and prevent water and wind penetration.



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D. Roof Structure and Attics

Viewed From:

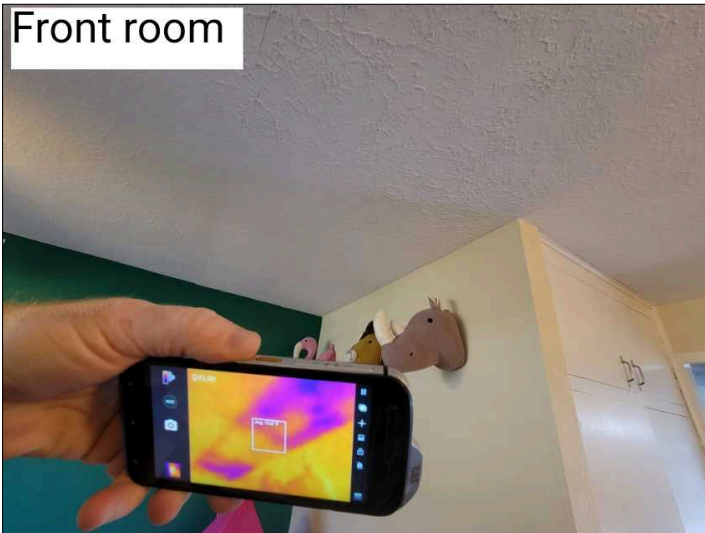
- Roof
- Ladder
- Ground
- Attic

Approximate Average Depth of Insulation:

- Insulation varies in thickness. 0 - 6 inches

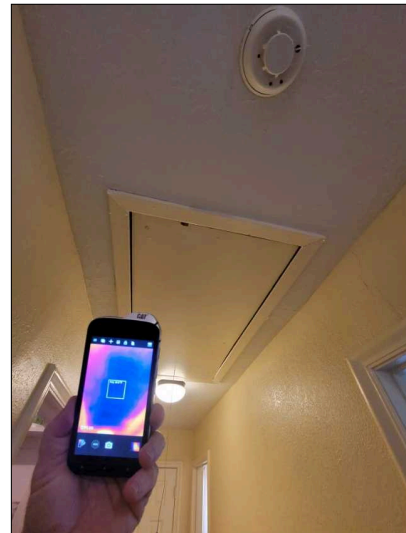
Comments:

- Insulation type(s): Blown Cellulose
- Attic ladder has loose or damaged hardware. Suggest repairs prior to using access ladder.
- Attic access ladder is missing insulation. This door should be insulated at the same R Value as the attic space.
- Missing insulation in several places.
- Insulation thickness varies. Suggest additional insulation to meet R30 requirements for our area.
- Multiple locations of deterioration around soffit and eave. Wood rot is subject to WDI
- Compacted insulation will reduce energy efficiency. Several locations noted.
- Trees in contact with house eaves. Suggest tree trimming to avoid damage.
- Open holes noted at edge of attic space. These could be a location for rodents to enter.



Front room

Missing insulation in several places.



Attic access ladder is missing insulation. This door should be insulated at the same R Value as the attic space.

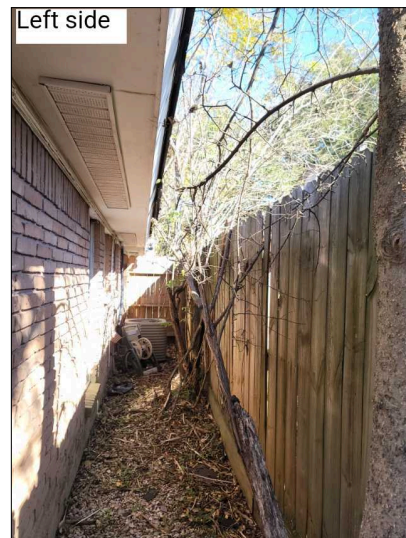
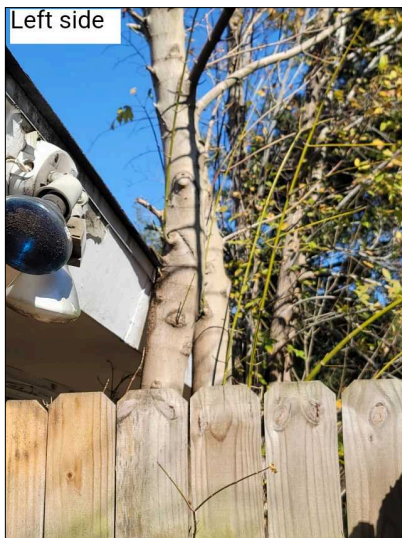
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Trees in contact with house eaves. Suggest tree trimming to avoid damage.

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Open holes noted at edge of attic space. These could be a location for rodents to enter.



Multiple locations of deterioration around soffit and eave. Wood rot is subject to WDI

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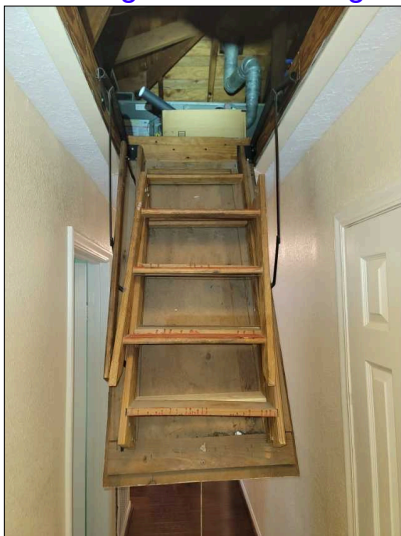
Left side

Trees in contact with house eaves. Suggest tree trimming to avoid damage.



Left side

Open holes noted at edge of attic space. These could be a location for rodents to enter.



Attic ladder has loose or damaged hardware. Suggest repairs prior to using access ladder.



Attic ladder has loose or damaged hardware. Suggest repairs prior to using access ladder.

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Insulation thickness varies. Suggest additional insulation to meet R30 requirements for our area.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. Walls (Interior and Exterior)
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Wall Materials:

- Interior walls are made of Drywall
- Exterior walls are made of brick
- Exterior walls are made of wood

Comments:

- Bushes and shrubs should be clear of house walls by 12" or more. Some in contact with house.
- Wood in contact with house.
- Evidence of previous repair on drywall. No moisture found at time of inspection.
- Recommend exterior siding weather proofing
- Exterior board siding is damaged.
- Exterior cracks in brick and/or mortar noted.
- Cracks and/or holes in drywall noted.
- Heavy debris against walls.
- This property may contain older paints that contain lead. This inspection is not a lead based inspection.
- Patched areas
- Cracks in grout in shower/tub. Recommend sealing to prevent water intrusion.
- Walls in garage covered with plyboard. Inaccessible due to owner property.
- Holes in drywall in garage. These are breaks in the "firewall" and should be repaired to ensure fire rating.
- Walls of garage could not be accessed due to belongings.
- Appears to be missing insulation in numerous locations.
- Some windows/walls inaccessible due to personal items stored.

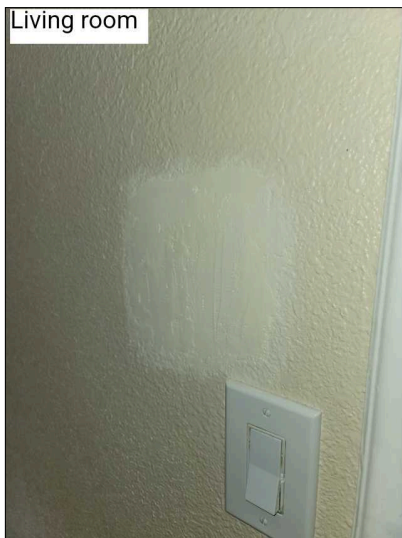
I=Inspected

NI=Not Inspected

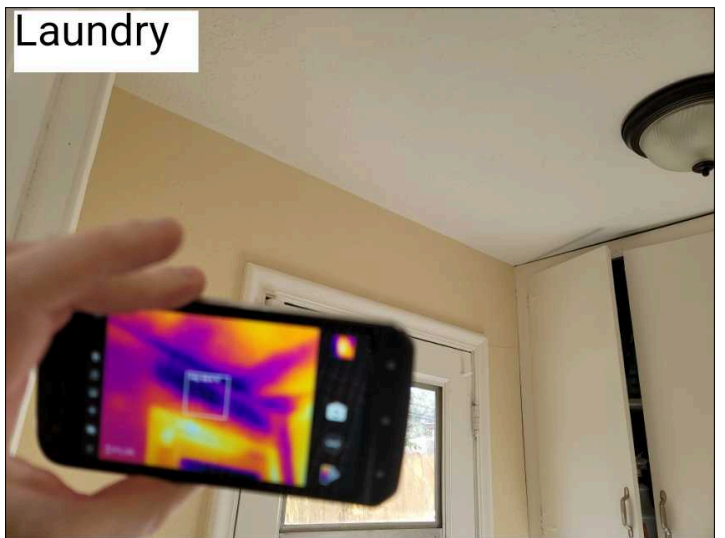
NP=Not Present

D=Deficient

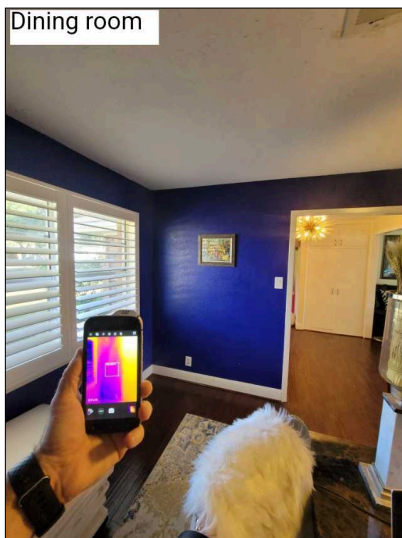
I	NI	NP	D
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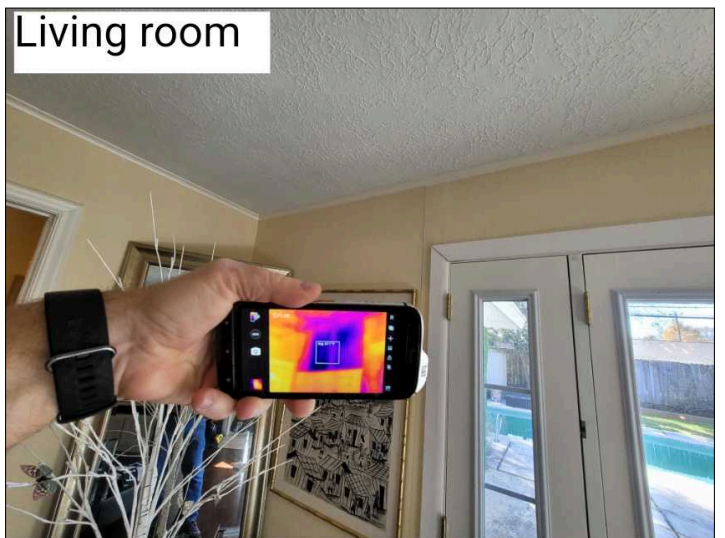
Patched areas



Appears to be missing insulation in numerous locations.



Appears to be missing insulation in numerous locations.



Appears to be missing insulation in numerous locations.

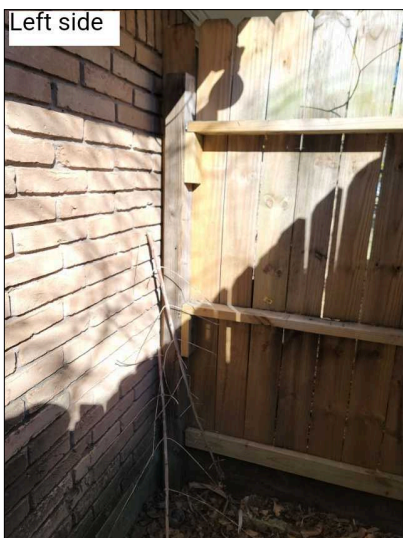
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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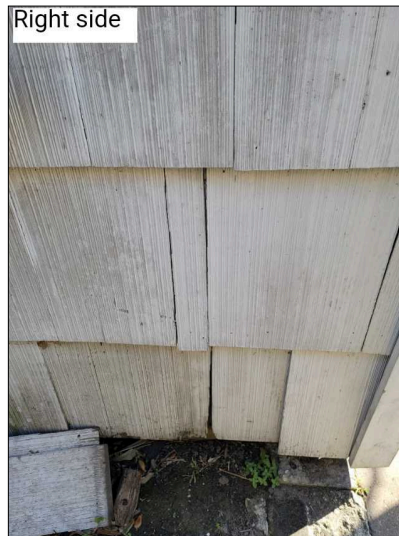
Wood in contact with house.



Bushes and shrubs should be clear of house walls by 12" or more. Some in contact with house.



Heavy debris against walls.



Exterior board siding is damaged.

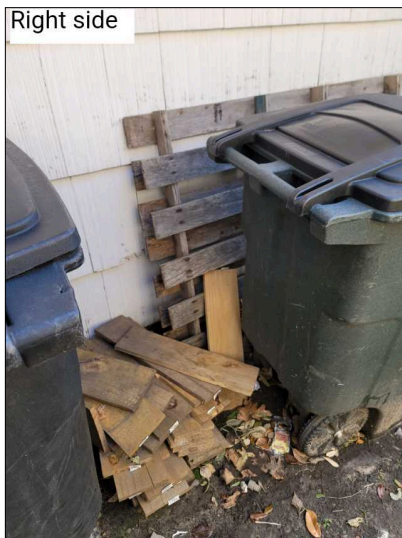
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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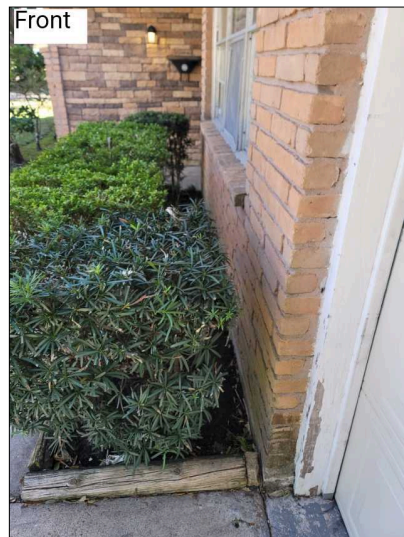
Heavy debris against walls.



Wood in contact with house.



Bushes and shrubs should be clear of house walls by 12" or more. Some in contact with house.



Bushes and shrubs should be clear of house walls by 12" or more. Some in contact with house.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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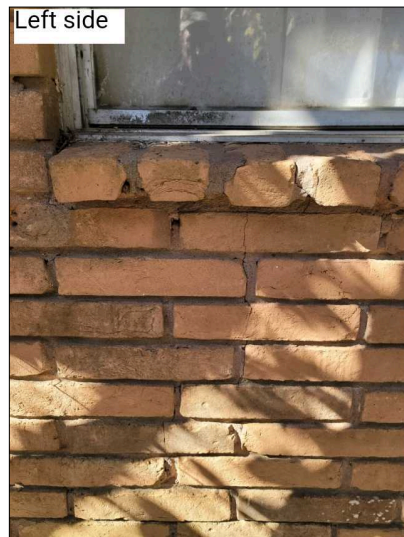
Exterior cracks in brick and/or mortar noted.



Exterior cracks in brick and/or mortar noted.



Exterior cracks in brick and/or mortar noted.



Exterior cracks in brick and/or mortar noted.

I=Inspected

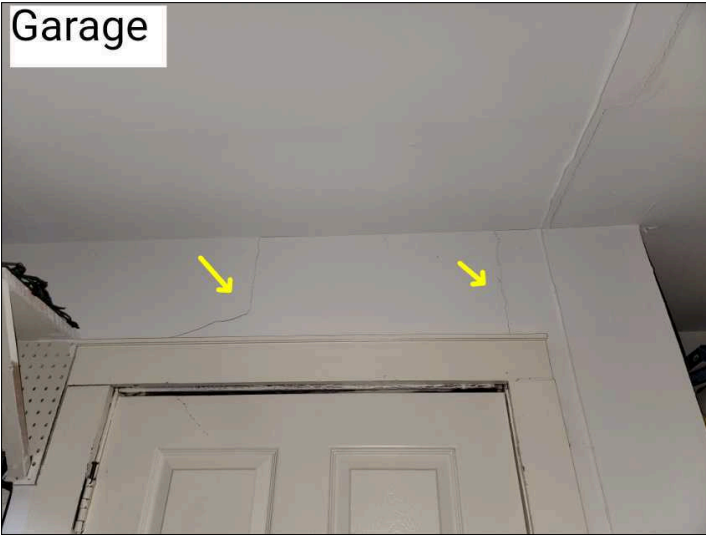
NI=Not Inspected

NP=Not Present

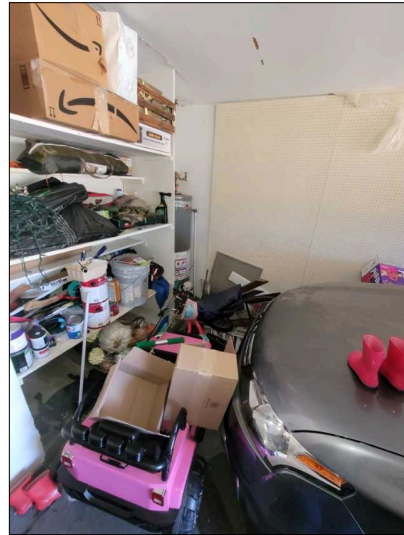
D=Deficient

I	NI	NP	D
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Garage



Cracks and/or holes in drywall noted.



Walls in garage covered with plywood. Inaccessible due to owner property. Walls of garage could not be accessed due to belongings.

Garage



Holes in drywall in garage. These are breaks in the "firewall" and should be repaired to ensure fire rating.

Living room



Cracks and/or holes in drywall noted.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

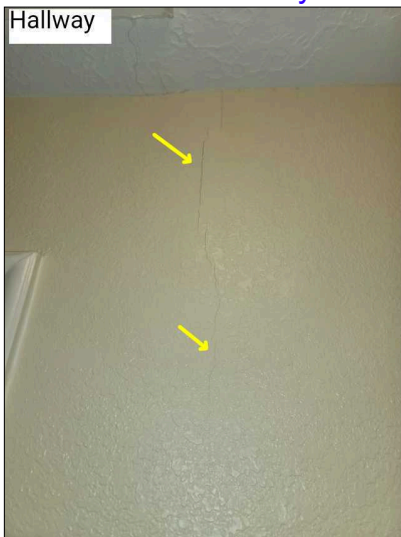
I	NI	NP	D
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Cracks and/or holes in drywall noted.



Cracks and/or holes in drywall noted.



Cracks and/or holes in drywall noted.



Cracks in grout in shower/tub. Recommend sealing to prevent water intrusion.



F. Ceilings and Floors

Ceiling and Floor Materials:

- Ceiling is made of drywall
- Floors appear to be wood.
- Floors have tile on them.

Comments:

- Water stain noted on ceiling. Inaccessible for moisture readings.
- Cracks on ceiling noted.
- Patched areas on the ceiling.
- Broken tile noted.
- Paint delamination at ceiling. Likely due to high humidity bathroom and lack of exhaust fan.
- Floor slope noted in a few locations
- Loose trim

I=Inspected

NI=Not Inspected

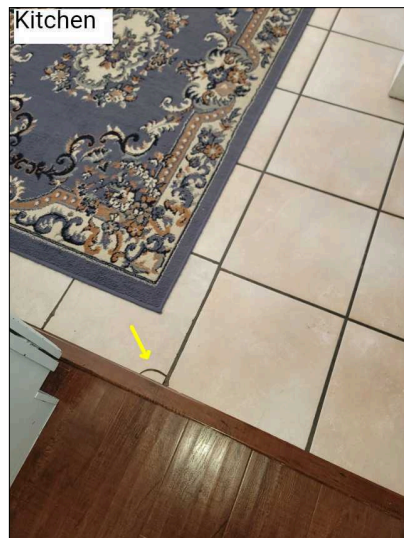
NP=Not Present

D=Deficient

I	NI	NP	D
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Water stain noted on ceiling. Inaccessible for moisture readings.



Broken tile noted.



Cracks on ceiling noted.



Cracks on ceiling noted. Patched areas on the ceiling.

I=Inspected

NI=Not Inspected

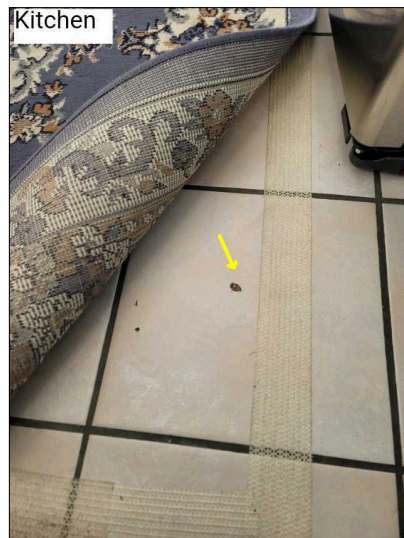
NP=Not Present

D=Deficient

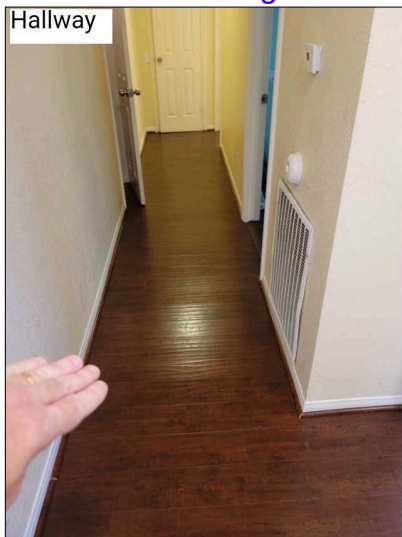
I	NI	NP	D
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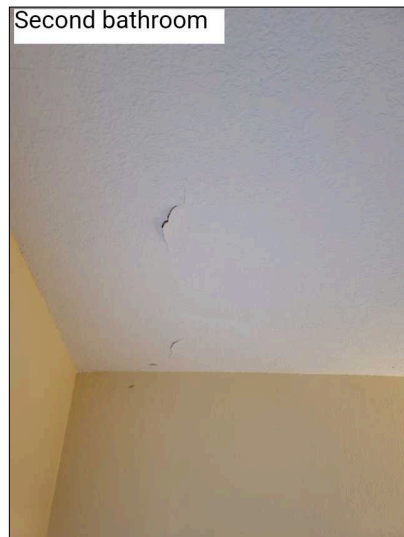
Cracks on ceiling noted.



Broken tile noted.



Floor slope noted in a few locations



Paint delamination at ceiling. Likely due to high humidity bathroom and lack of exhaust fan.

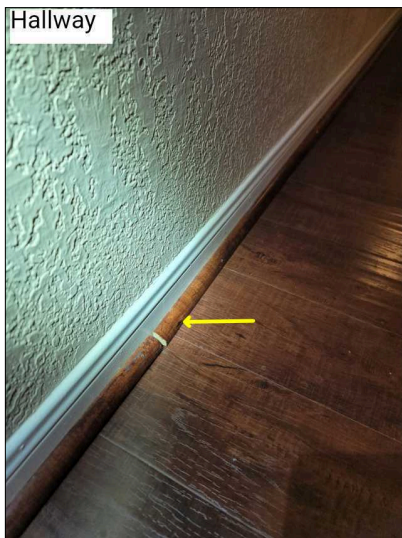
I=Inspected

NI=Not Inspected

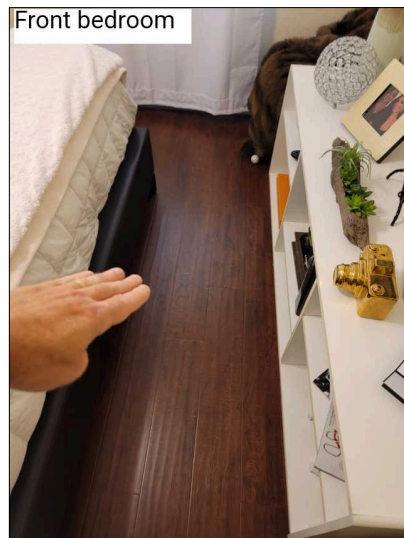
NP=Not Present

D=Deficient

I	NI	NP	D
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Loose trim



Floor slope noted in a few locations



Cracks on ceiling noted.

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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G. Doors (Interior and Exterior)

Comments:

- Missing door stops in a few locations. These help prevent wall damage.
- Exterior door to garage should be spring loaded to automatically close.
- Damaged garage door.
- Exterior door has double deadbolt lock. This is a potential life hazard. In the event of a fire, if this is locked and no key is available. People may be trapped inside.
- Wood rot / damage noted at door and door trim.
- Missing / damaged weatherstripping at door.
- Exterior door is fully exposed to the weather and elements. A storm door may help protect the door and door frame from accelerated deterioration.
- Damaged doors.
- Several closet doors have privacy locks installed backwards. Possible entrapment hazard.
- Closet doors difficult to operate, off tracks
- Wood to ground contact at garage door trim. Conducive to wood destroying insects.



Wood rot / damage noted at door and door trim.



Exterior door has double deadbolt lock. This is a potential life hazard. In the event of a fire, if this is locked and no key is available. People may be trapped inside.

I=Inspected

NI=Not Inspected

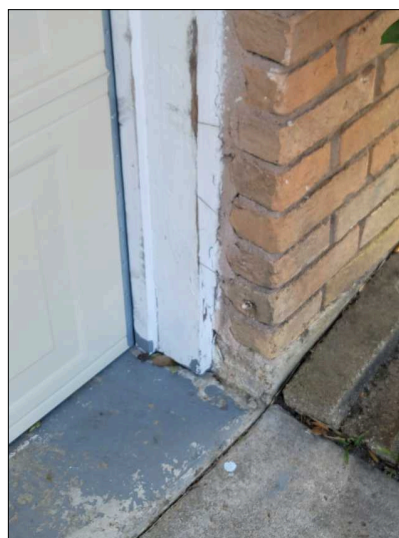
NP=Not Present

D=Deficient

I	NI	NP	D
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Exterior door is fully exposed to the weather and elements. Paint delamination and damaged. A storm door may help protect the door and door frame from accelerated deterioration.



Wood to ground contact at garage door trim. Conducive to wood destroying insects.



Wood to ground contact at garage door trim. Conducive to wood destroying insects.



Wood rot / damage noted at door and door trim.

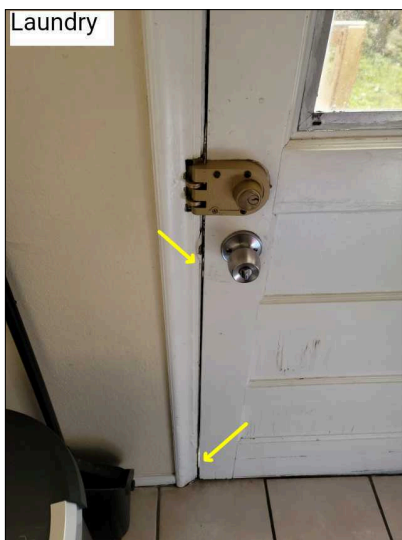
I=Inspected

NI=Not Inspected

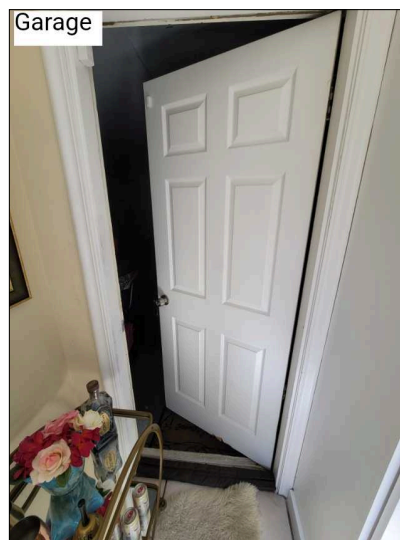
NP=Not Present

D=Deficient

I	NI	NP	D
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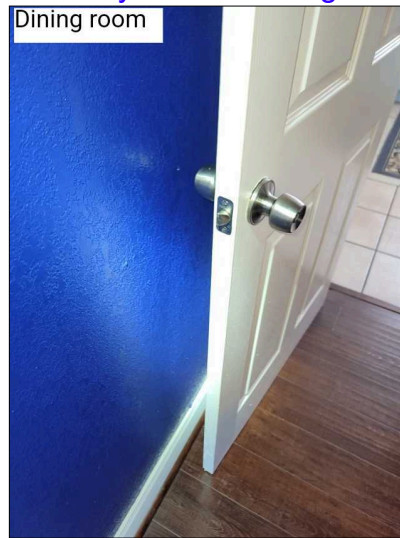
Missing / damaged weatherstripping at door.



Exterior door to garage should be spring loaded to automatically close. Damaged doors.



Damaged garage door.



Missing door stops in a few locations. These help prevent wall damage.

I=Inspected

NI=Not Inspected

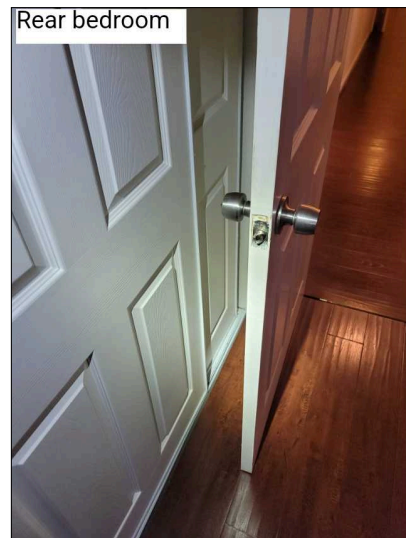
NP=Not Present

D=Deficient

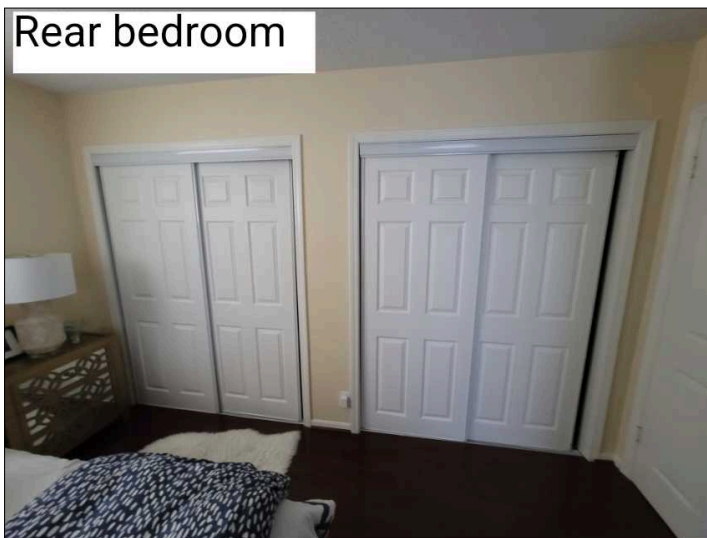
I	NI	NP	D
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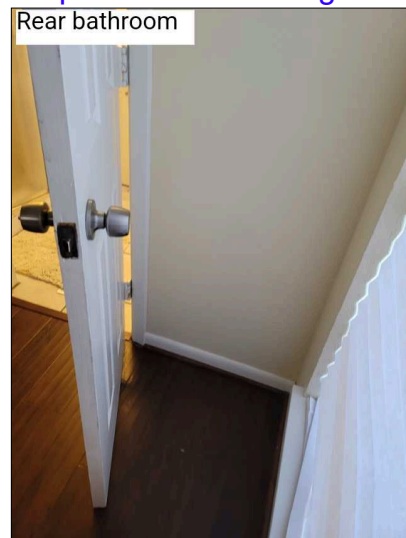
Missing / damaged weatherstripping at door.



Missing door stops in a few locations. These help prevent wall damage.



Closet doors difficult to operate, off tracks



Missing door stops in a few locations. These help prevent wall damage.

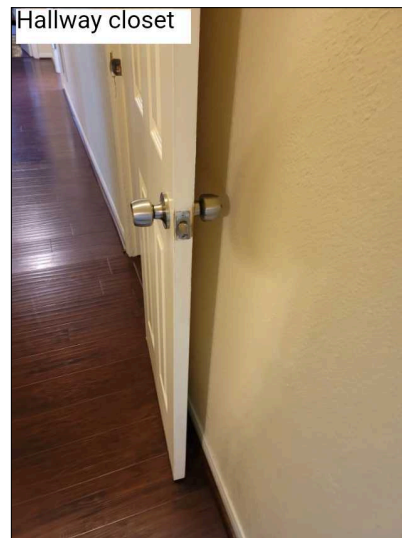
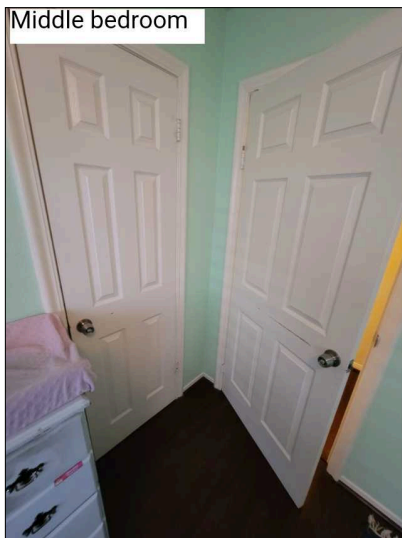
I=Inspected

NI=Not Inspected

NP=Not Present

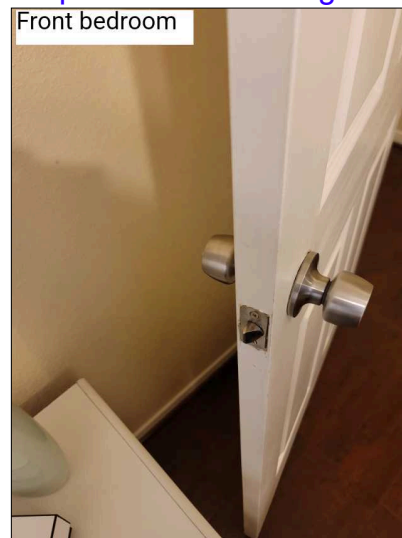
D=Deficient

I	NI	NP	D
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Missing door stops in a few locations. These help prevent wall damage. Damaged doors.

Missing door stops in a few locations. These help prevent wall damage.



Several closet doors have privacy locks installed backwards. Possible entrapment hazard.

Missing door stops in a few locations. These help prevent wall damage.

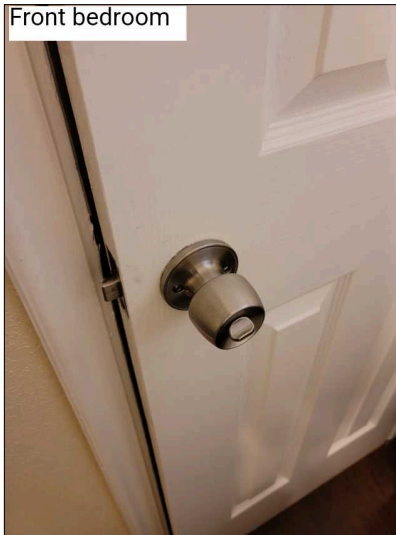
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Several closet doors have privacy locks installed backwards. Possible entrapment hazard.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	H. Windows
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Window Types:

- Windows are single pane.
- Windows are made of aluminum

Comments:

- Broken hardware found.
- Some windows trims in need of weather proofing (caulk).
- Window did not open in several locations.
- Missing and/or damaged screens noted.
- Evidence of present/previous water staining on window ledge, dry at time of inspection. May still leak.
- Did not lock / latch
- Difficult to operate
- Some windows/walls inaccessible due to personal items stored.



Missing and/or damaged screens noted.



Missing and/or damaged screens noted.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Left side

Missing and/or damaged screens noted.



Rear

Missing and/or damaged screens noted.



Rear

Missing and/or damaged screens noted.



Front

Missing and/or damaged screens noted.

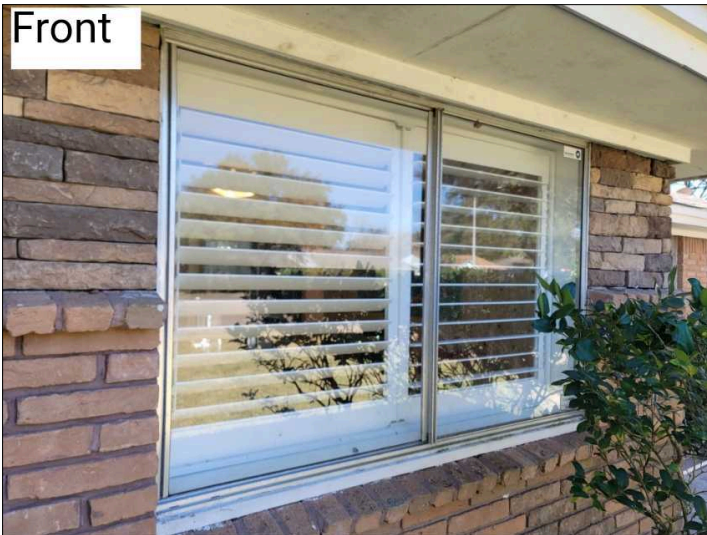
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Missing and/or damaged screens noted.



Missing and/or damaged screens noted.



Missing and/or damaged screens noted.



Window did not open in several locations.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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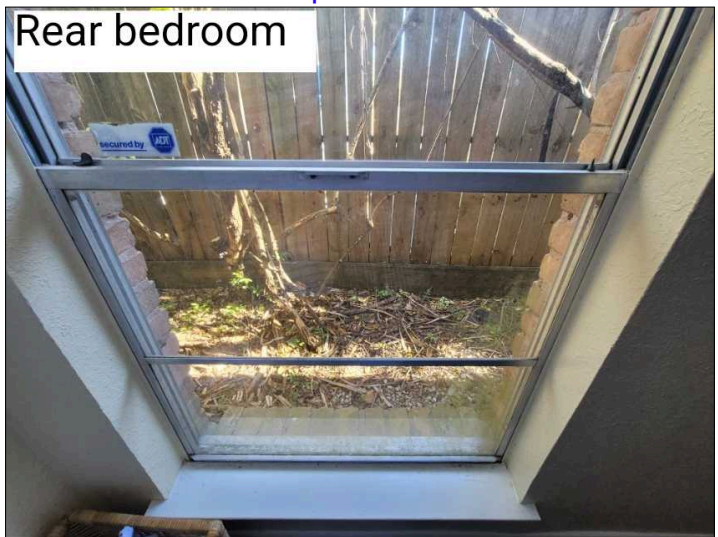
Broken hardware found.



Window did not open in several locations.



Did not lock / latch



Window did not open in several locations. Evidence of present/previous water staining on window ledge, dry at time of inspection. May still leak.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Rear bathroom



Broken hardware found.

Middle bedroom



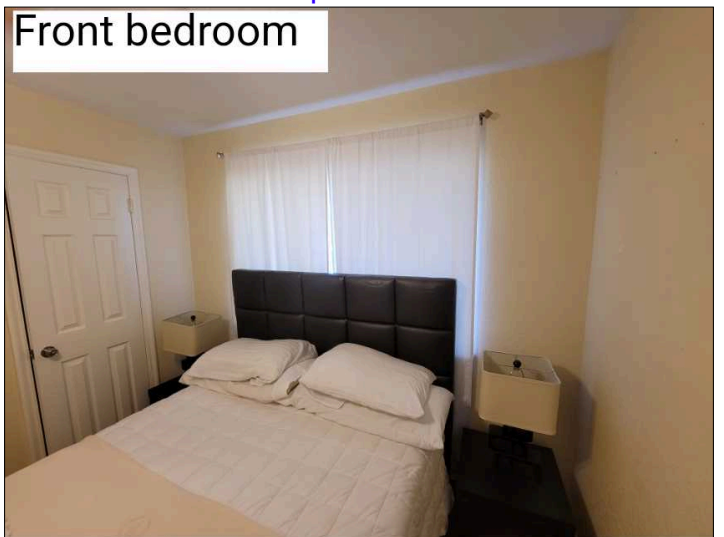
Window did not open in several locations.

Front bedroom



Broken hardware found.

Front bedroom



Some windows/walls inaccessible due to personal items stored.

I. Stairways (Interior and Exterior)

Comments:

J. Fireplaces and Chimneys

Locations:

Types:

Comments:

K. Porches, Balconies, Decks, and Carports

Comments:

- Deck in contact with house. Possible termite penetration location.

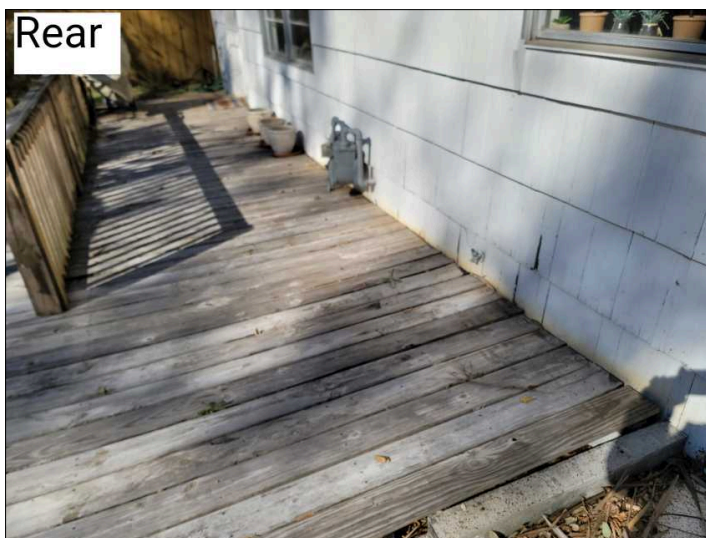
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Deck in contact with house. Possible termite penetration location.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. Other
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Materials:

Comments:

- Fence has a significant lean. May pose a hazard, needs repair.



Fence has a significant lean. May pose a hazard, needs repair.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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II. ELECTRICAL SYSTEMS

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. Service Entrance and Panels
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Panel Locations:

- Service conductors enter overhead from power pole.
- Electrical panel is located on the rear of the building if looking at front of house from the street.

Materials and Amp Rating:

- Copper wiring
- 125 Amp Service Entrance

Comments:

- The electrical panel is not properly labeled.
- There are white wires in the panel that should be labeled as hot wires
- Grounding rod should be driven level to ground and 8' long total. Unable to verify length.
- There is a wire joint made up in the panel. This should be made up outside of the panel in a junction box
- Service entry lugs should be protected with barriers.
- Arc fault circuit interrupters (**AFCI**) should be installed on all circuits except bathrooms, outdoor outlets, and 220 volt outlets. **GFCI** (ground fault) protection is still required at these locations.
- The main service wires are in direct contact with tree limbs in the back yard
- **The breaker for the AC compressor unit is 40 amps. The maximum rated fuse or breaker on the AC compressor is 30 amps, meaning that the breaker in the panel is too large for the unit. This could be a fire hazard. Recommend further evaluation by a licensed electrician**



Electric meter and service panel



The electrical panel is not properly labeled.

I=Inspected

NI=Not Inspected

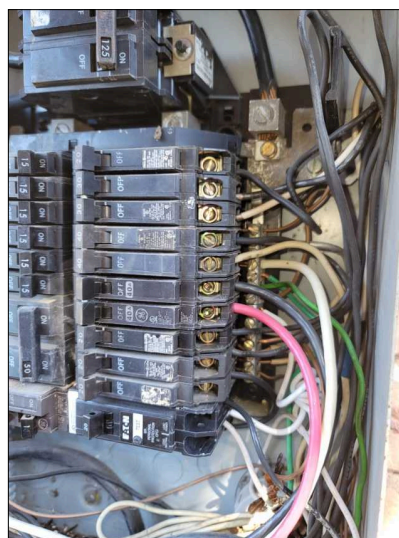
NP=Not Present

D=Deficient

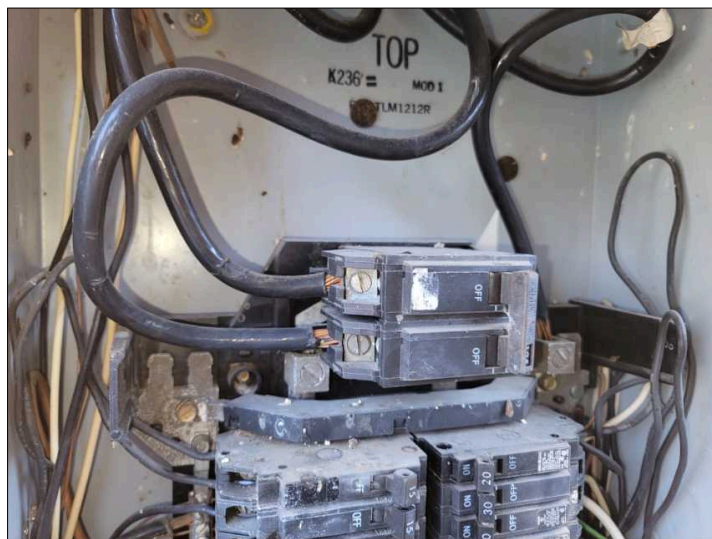
I	NI	NP	D
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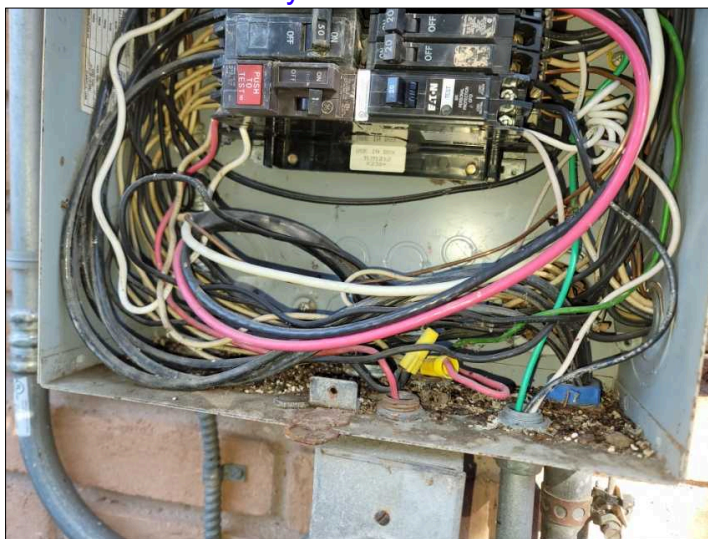
There are white wires in the panel that should be labeled as hot wires



The breaker for the AC compressor unit is 40 amps. The maximum rated fuse or breaker on the AC compressor is 30 amps, meaning that the breaker in the panel is too large for the unit. This could be a fire hazard. Recommend further evaluation by a licensed electrician



Service entry lugs should be protected with barriers.



There is a wire joint made up in the panel. This should be made up outside of the panel in a junction box

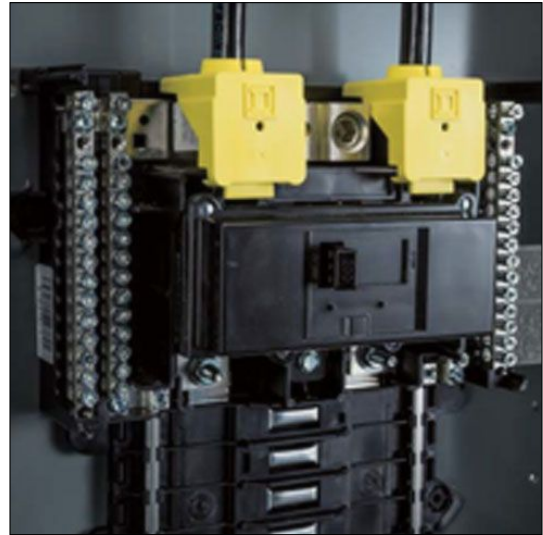
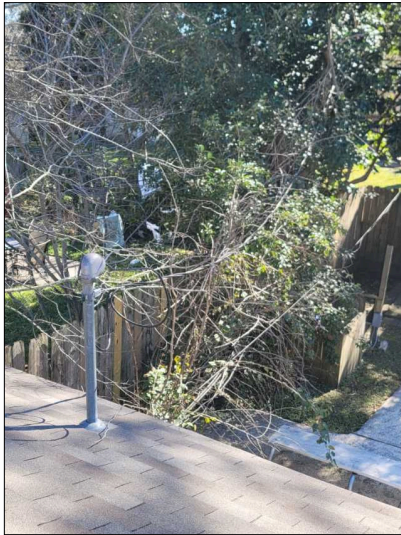
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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The main service wires are in direct contact with tree limbs in the back yard



I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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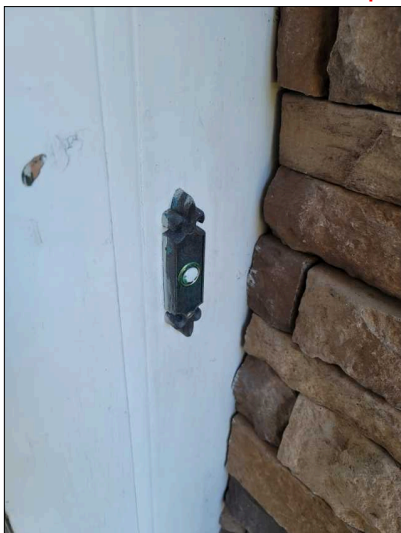
B. Branch Circuits, Connected Devices, and Fixtures

Type of Wiring:

- Copper wiring

Comments:

- Exterior light fixtures should be weatherproofed.
- Door bell did not operate at time of inspection.
- Outdoor receptacles should be GFCI protected and have an "in-use" weatherproof cover. Additionally "WR" (weather resistant) receptacles should be used. All these items are to help prevent electrocution.
- Some lights / switches did not function at time of inspection.
- Open bulb light fixtures in closets are not allowed. Should be covered to reduce risk of fire.
- Loose receptacle found.
- Numerous outlets tested as "Open Ground" These plugs should be evaluated and corrected / replaced.
- Fans missing pull string and weights.
- Extension cord used through wall as permanent wiring. Suggest full repair.
- Exterior wiring should be protected by proper conduit.
- Fixture hangs too low, can hit a person walking in front door. Bulb out.
- Missing cover, damaged switch
- Inoperable ceiling fixture, no switch located.
- Missing light bulbs
- Loose switch at wall heater, not tested
- Smoke detector not recommended in kitchen. Inoperable.
- Ceiling fan makes clicking noises on high
- Bathroom should have at least one GFCI protected outlet. None installed.
- **Smoke detectors should be located in each bedroom, and in an adjacent hall way with at least 1 on each floor. Smoke detectors not present / or not working.**
- **All receptacles near "wet" locations should be GFCI protected. This includes bathrooms, kitchen counter area, outside receptacles, garage and utility areas.**
- **Older cloth insulated wiring present. This is an outdated building material and should consider replacement as failed or frayed wire insulation may be a hazard.**



Door bell did not operate at time of inspection.



Fixture hangs too low, can hit a person walking in front door. Bulb out.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Exterior light fixtures should be weatherproofed.



Exterior wiring should be protected by proper conduit.



Exterior light fixtures should be weatherproofed.
Exterior wiring should be protected by proper conduit.



Exterior light fixtures should be weatherproofed.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

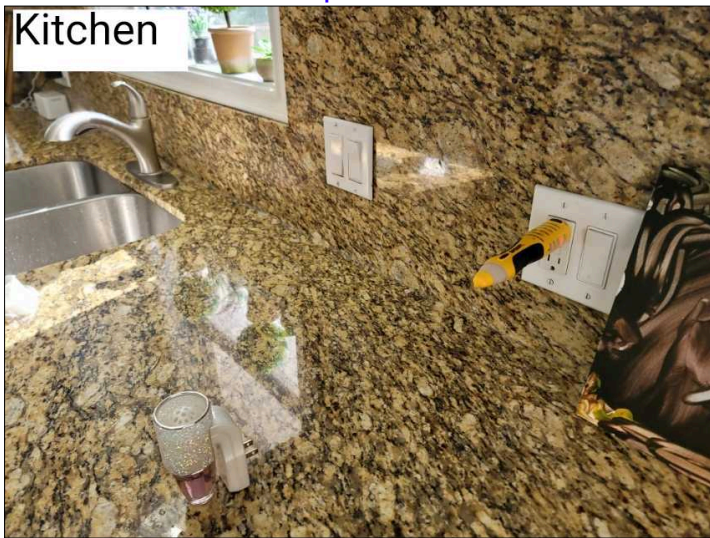
I	NI	NP	D
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Some lights / switches did not function at time of inspection.

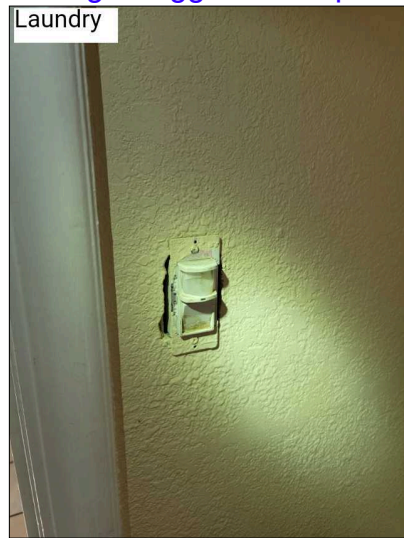


Extension cord used through wall as permanent wiring. Suggest full repair.



All receptacles near "wet" locations should be GFCI protected. This includes bathrooms, kitchen counter area, outside receptacles, garage and utility areas.

Numerous outlets tested as "Open Ground" These plugs should be evaluated and corrected / replaced.



Missing cover, damaged switch

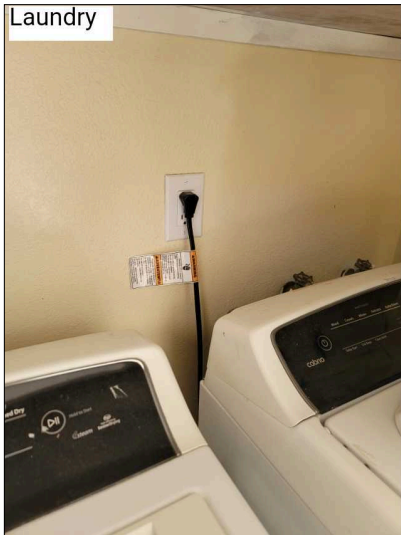
I=Inspected

NI=Not Inspected

NP=Not Present

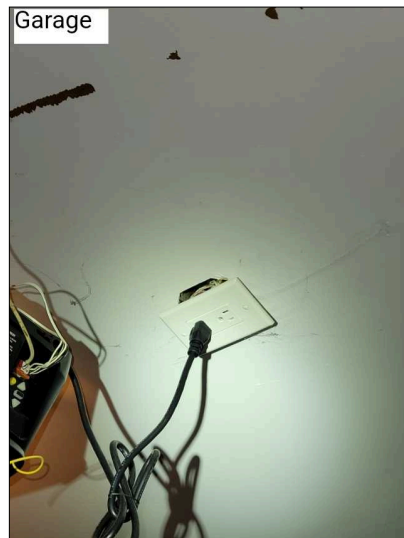
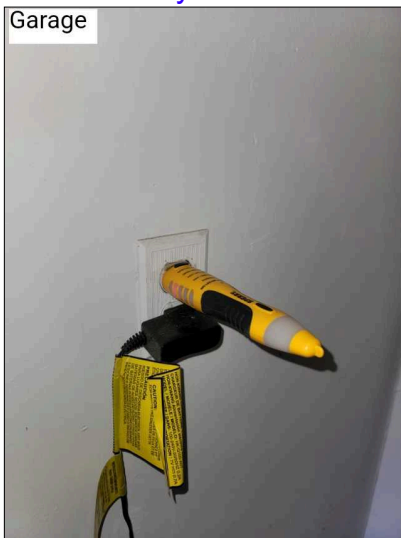
D=Deficient

I	NI	NP	D
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All receptacles near "wet" locations should be GFCI protected. This includes bathrooms, kitchen counter area, outside receptacles, garage and utility areas.

Some lights / switches did not function at time of inspection.



All receptacles near "wet" locations should be GFCI protected. This includes bathrooms, kitchen counter area, outside receptacles, garage and utility areas.

Loose receptacle found.

Numerous outlets tested as "Open Ground"
These plugs should be evaluated and corrected / replaced.

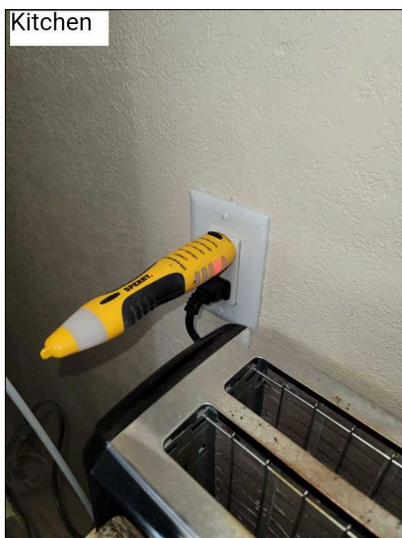
I=Inspected

NI=Not Inspected

NP=Not Present

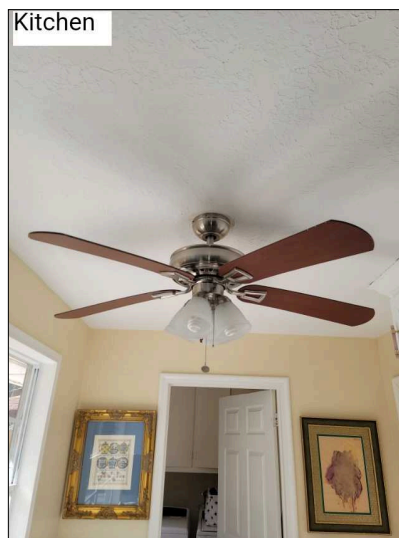
D=Deficient

I	NI	NP	D
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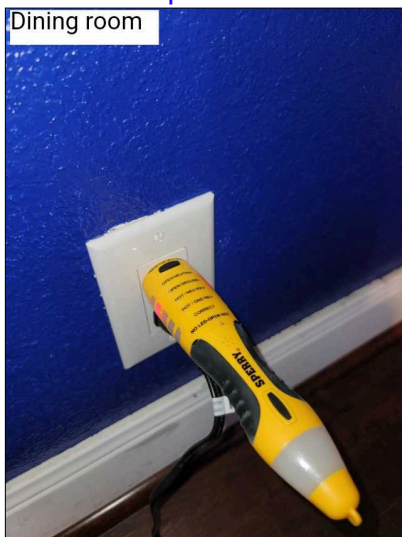
Kitchen

Numerous outlets tested as "Open Ground"
These plugs should be evaluated and corrected / replaced.



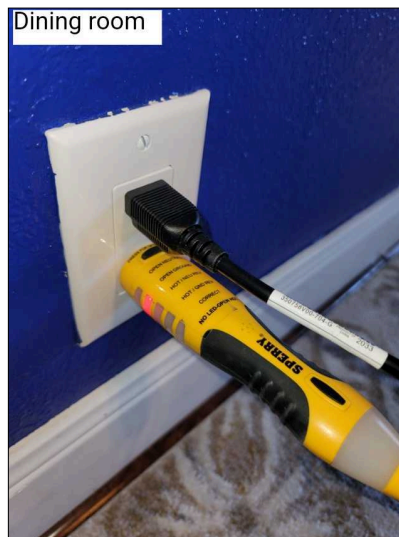
Kitchen

Inoperable ceiling fixture, no switch located.



Dining room

Numerous outlets tested as "Open Ground"
These plugs should be evaluated and corrected / replaced.



Dining room

Numerous outlets tested as "Open Ground"
These plugs should be evaluated and corrected / replaced.

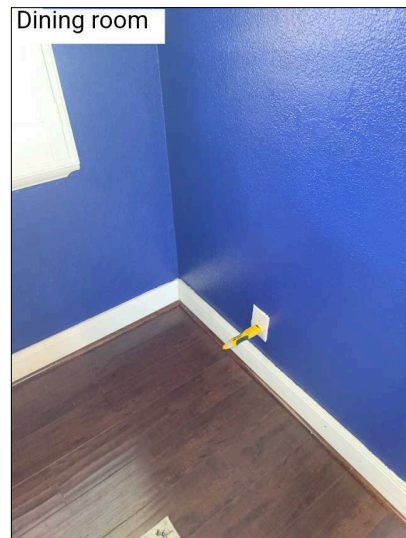
I=Inspected

NI=Not Inspected

NP=Not Present

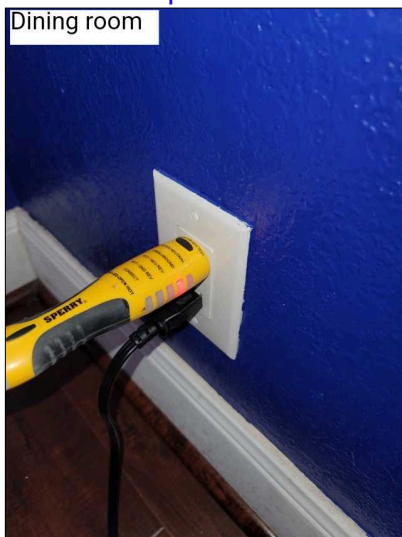
D=Deficient

I	NI	NP	D
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Numerous outlets tested as "Open Ground"
These plugs should be evaluated and corrected / replaced.

No power at outlet



Numerous outlets tested as "Open Ground"
These plugs should be evaluated and corrected / replaced.

Numerous outlets tested as "Open Ground"
These plugs should be evaluated and corrected / replaced.

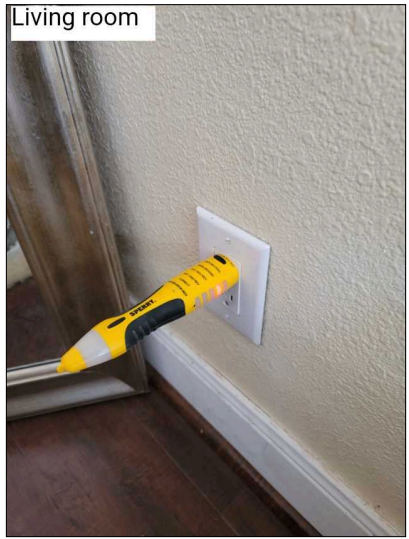
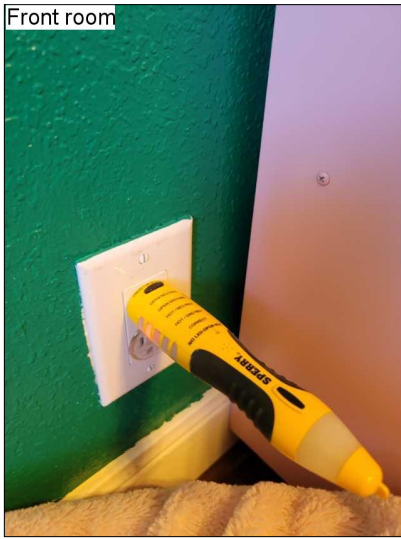
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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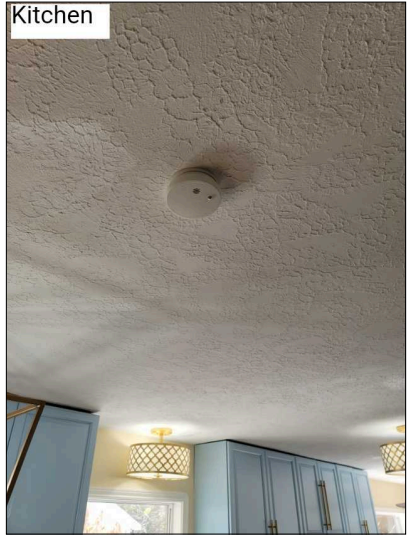


Numerous outlets tested as "Open Ground"
 These plugs should be evaluated and corrected / replaced.

Numerous outlets tested as "Open Ground"
 These plugs should be evaluated and corrected / replaced. Loose receptacle found.



Inoperable ceiling fixture, no switch located.



Smoke detector not recommended in kitchen.
 Inoperable.

I=Inspected

NI=Not Inspected

NP=Not Present

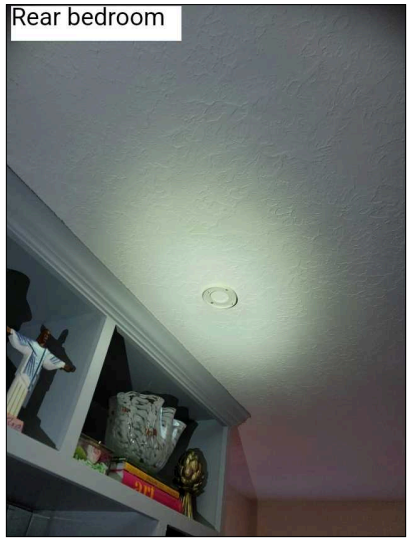
D=Deficient

I	NI	NP	D
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Hallway

Numerous outlets tested as "Open Ground" These plugs should be evaluated and corrected / replaced.



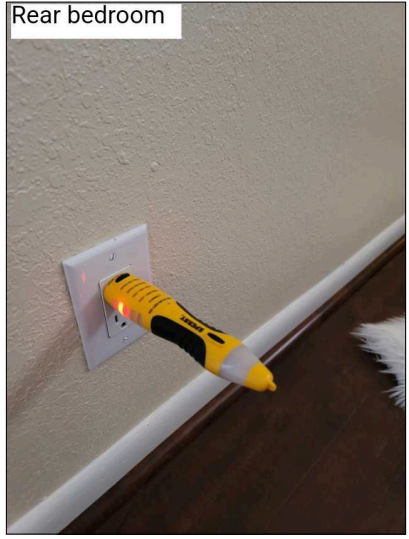
Rear bedroom

Smoke detectors should be located in each bedroom, and in an adjacent hall way with at least 1 on each floor. Smoke detectors not present / or not working.



Rear bedroom

Fans missing pull string and weights. Missing bulbs.



Rear bedroom

Numerous outlets tested as "Open Ground" These plugs should be evaluated and corrected / replaced.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Rear bathroom

Bathroom should have at least one GFCI protected outlet. None installed.



Second bathroom

Some lights / switches did not function at time of inspection.



Middle bedroom

Smoke detectors should be located in each bedroom, and in an adjacent hall way with at least 1 on each floor. Smoke detectors not present / or not working.



Middle bedroom

Numerous outlets tested as "Open Ground" These plugs should be evaluated and corrected / replaced.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Some lights / switches did not function at time of inspection.

Open bulb light fixtures in closets are not allowed. Should be covered to reduce risk of fire.



Numerous outlets tested as "Open Ground" These plugs should be evaluated and corrected / replaced.

Numerous outlets tested as "Open Ground" These plugs should be evaluated and corrected / replaced.

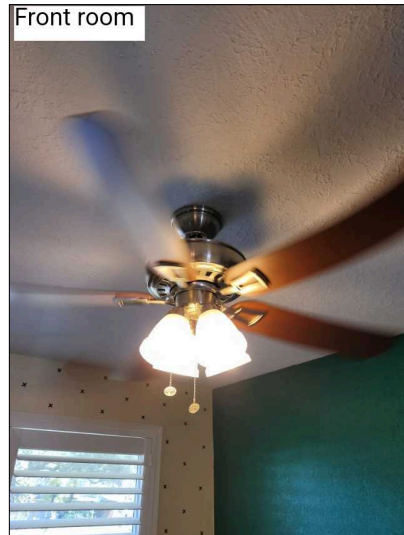
I=Inspected

NI=Not Inspected

NP=Not Present

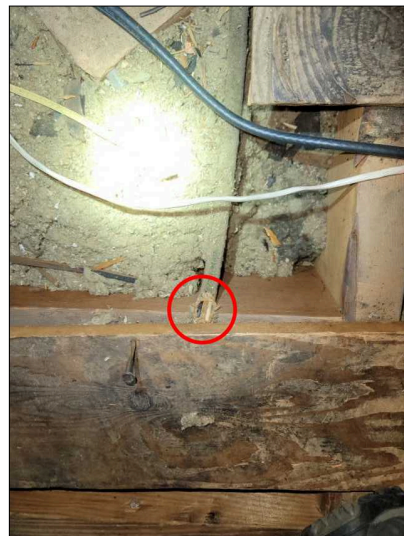
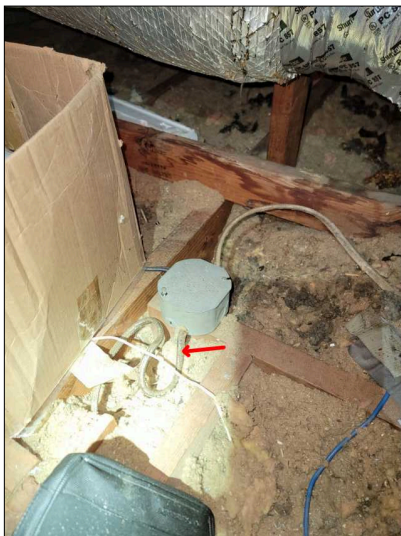
D=Deficient

I	NI	NP	D
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Open bulb light fixtures in closets are not allowed. Should be covered to reduce risk of fire.

Ceiling fan makes clicking noises on high



Older cloth insulated wiring present. This is an outdated building material and should consider replacement as failed or frayed wire insulation may be a hazard.

Older cloth insulated wiring present. This is an outdated building material and should consider replacement as failed or frayed wire insulation may be a hazard.

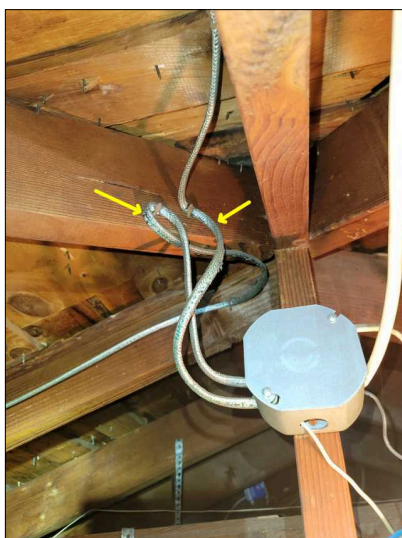
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Older cloth insulated wiring present. This is an outdated building material and should consider replacement as failed or frayed wire insulation may be a hazard.



Loose switch at wall heater, not tested



Outdoor receptacles should be GFCI protected and have an "in-use" weatherproof cover. Additionally "WR" (weather resistant) receptacles should be used. All these items are to help prevent electrocution.



Exterior wiring should be protected by proper conduit.

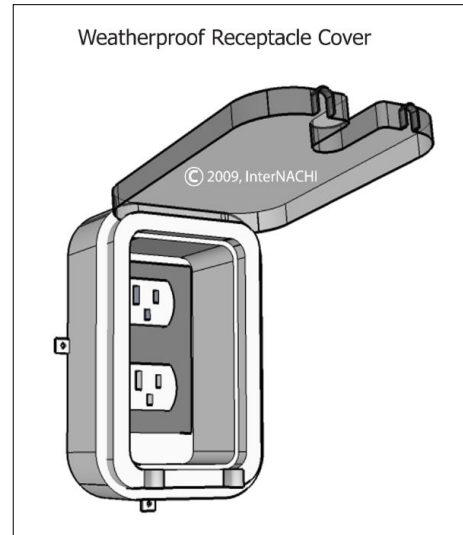
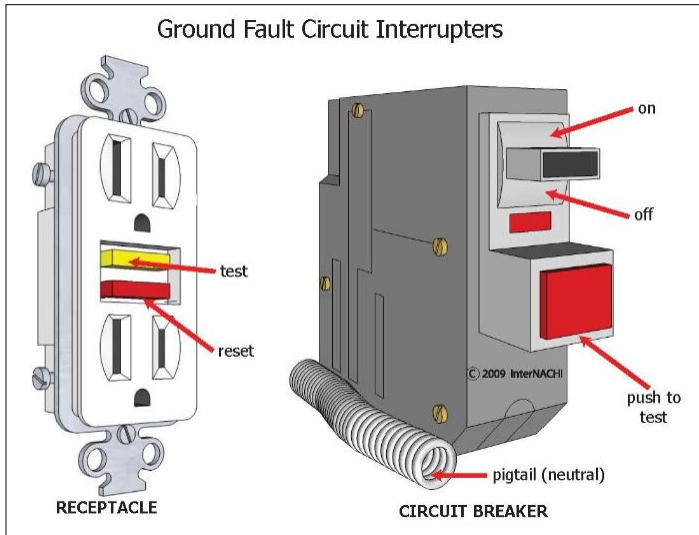
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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C. Other

Comments:

III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

A. Heating Equipment

Type of Systems:

- Gas fired forced hot air.

Energy Sources:

- The furnace is gas powered

Comments:

- Furnace visually inspected and checked.
- Access to equipment should have an open 30" x 30" landing to work, with 3/4" minimum decking.
- The heater is an old unit
- Burners inaccessible. Recommend further evaluation by HVAC contractor.

I=Inspected

NI=Not Inspected

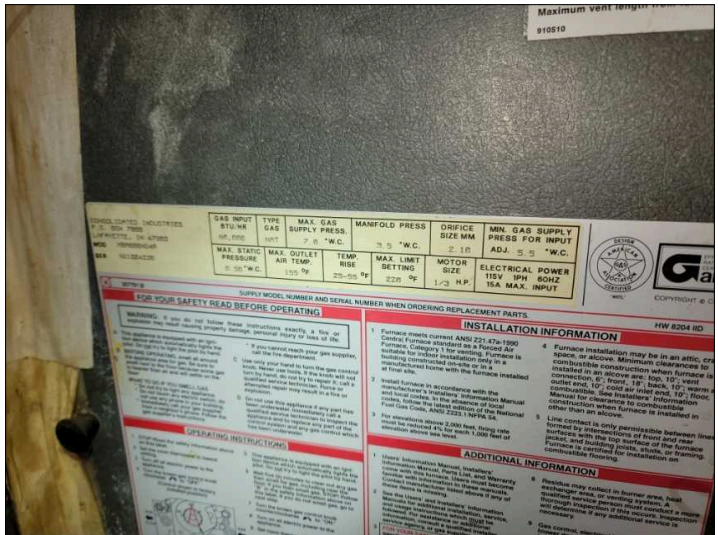
NP=Not Present

D=Deficient

I	NI	NP	D
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Access to equipment should have an open 30" x 30" landing to work, with 3/4" minimum decking.



The heater is an old unit

B. Cooling Equipment

Type of Systems:

• Split Unit Size: 3.5 ton

Refrigerant: R22

MFG Dates: 1993 coil (inside) 2010 compressor (outside)

Comments:

- Due to the exterior temperature being below 60F at the time of the inspection, the AC was cooling system was not fully tested, operated for function check only. Most systems are not designed to operate below 60F and damage may occur if tested.
- Light rust in condenser pan. Heavy rust may cause pan to leak. Recommend replacement or evaluation over time.
- Access to equipment should have an open 30" x 30" landing to work, with 3/4" minimum decking.
- Secondary Drain line discharge location is at eaves on rear side of house. If water is seen coming from here, the primary drain line may be clogged. Contact HVAC service immediately to prevent possible damage.
- Missing locking refrigerant caps. These caps prevent tampering and possible chemical abuse.
- Primary drain drains next to foundation. This constant water source may cause foundation deterioration or elevated mildew growth in area. Typical drain is connected to sanitary side of the sewer trap.
- R-22 refrigerant present. This refrigerant is no longer being used, and may be very difficult to have serviced or parts replaced. Suggest contact with a HVAC contractor to see if unit can be retrofit with R410A or other.

I=Inspected

NI=Not Inspected

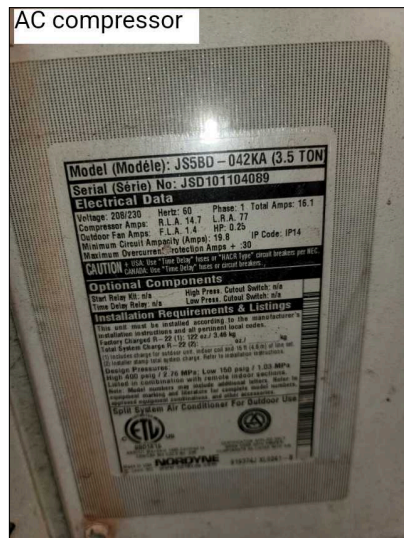
NP=Not Present

D=Deficient

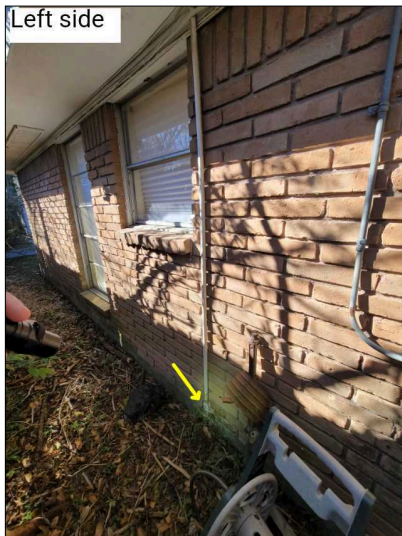
I	NI	NP	D
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AC compressor, 3.5 ton, R22 refrigerant, manufactured 2010



Reference photo



Primary drain drains next to foundation. This constant water source may cause foundation deterioration or elevated mildew growth in area. Typical drain is connected to sanitary side of the sewer trap.



Missing locking refrigerant caps. These caps prevent tampering and possible chemical abuse.

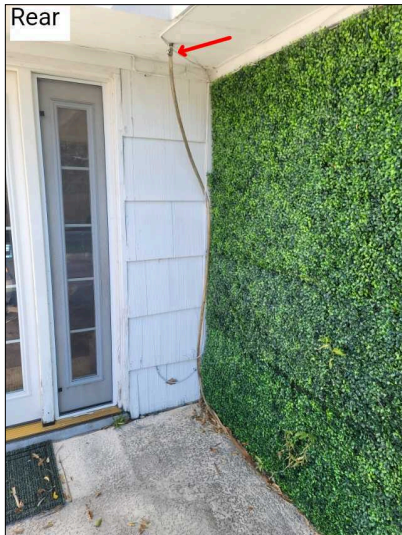
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Secondary Drain line discharge location is at eaves on rear side of house. If water is seen coming from here, the primary drain line may be clogged. Contact HVAC service immediately to prevent possible damage.

AC evaporator coil, R22 refrigerant, manufactured 1993

AC evaporator coil



Reference photo



Light rust in condenser pan. Heavy rust may cause pan to leak. Recommend replacement or evaluation over time.

C. Duct Systems, Chases, and Vents

Comments:

- Rigid metal ducting present. This ducting is insulated with fiber blanket.
- Damaged and missing insulation on metal ducting. Insulation factors may not reach R6.
- Change 1" filters every 30-60 days.
- Filter is dirty
- Supply register in garage. This added square footage may be more than the HVAC system was intended to climate control.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Rigid metal ducting present. This ducting is insulated with fiber blanket.



Damaged and missing insulation on metal ducting. Insulation factors may not reach R6.



Change 1" filters every 30-60 days. Filter is dirty



Supply register in garage. This added square footage may be more than the HVAC system was intended to climate control.

D. Other

Comments:

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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IV. PLUMBING SYSTEM

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. Plumbing Supply, Distribution System and Fixtures
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Location of Water Meter: At street

Location of Main Water Supply Valve:

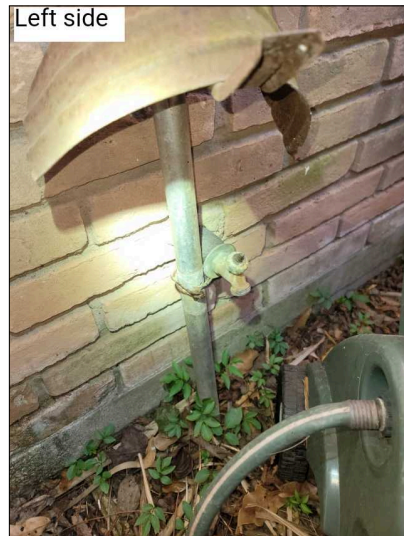
- Exterior of structure on the right side.

Comments:

- Type of Supply Piping Material: Galvanized Steel
- Static Water Pressure Reading: 60 psi
- Missing stopper in sink / tub.
- Backflow preventer not present on exterior hose bib. This will prevent contaminants from flowing back into the potable water system.
- Loose fixture noted.
- The main water supply pipe was 3/4" galvanized pipe. This is an outdated material and as corrosion reduces the diameter of the pipe interior, water flow will be increasingly restricted.
- Chip in sink / tub enamel.
- Poor water flow noted at fixture(s).
- Suggest sealing around faucets in shower to prevent water from entering wall.
- Rust present



Water meter



Backflow preventer not present on exterior hose bib. This will prevent contaminants from flowing back into the potable water system.

I=Inspected

NI=Not Inspected

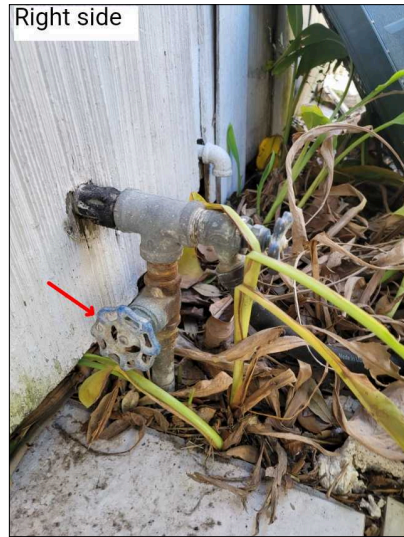
NP=Not Present

D=Deficient

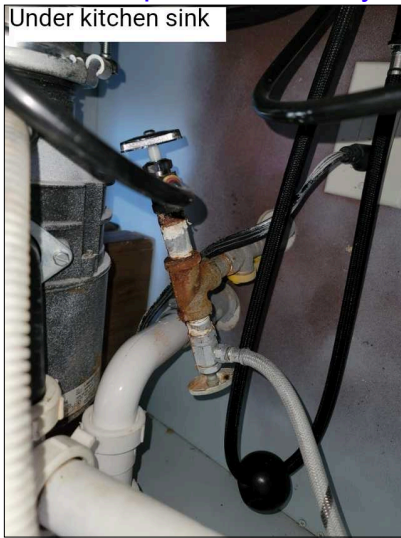
I	NI	NP	D
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Static Water Pressure Reading: 60 psi.
 Backflow preventer not present on exterior hose bib. This will prevent contaminants from flowing back into the potable water system.



Water shutoff.
 Backflow preventer not present on exterior hose bib. This will prevent contaminants from flowing back into the potable water system.



Rust present



Missing stopper in sink / tub.

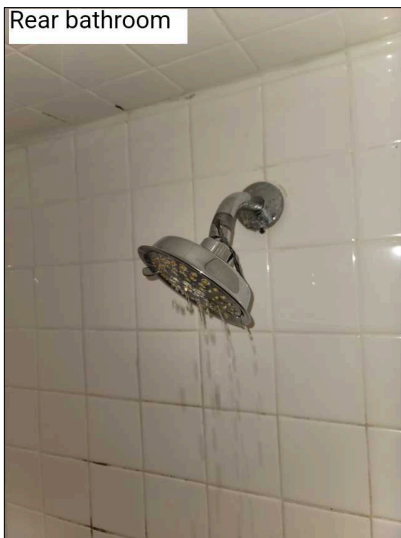
I=Inspected

NI=Not Inspected

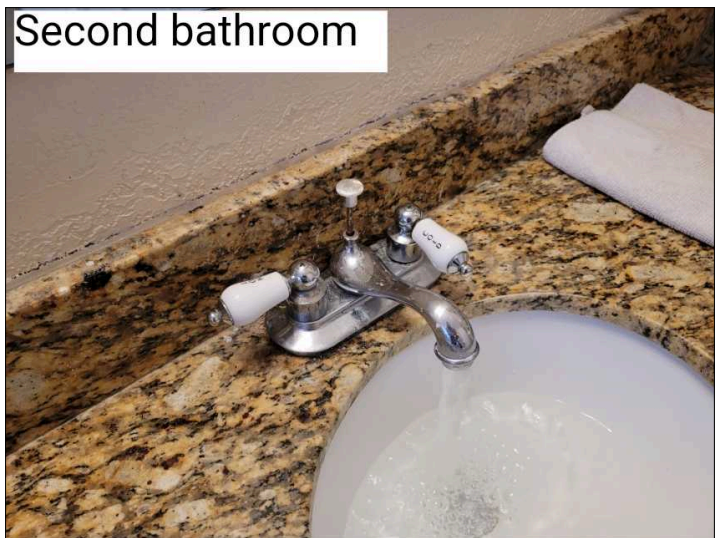
NP=Not Present

D=Deficient

I	NI	NP	D
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Poor water flow noted at fixture(s).



Loose fixture noted.



Chip in sink / tub enamel.



Suggest sealing around faucets in shower to prevent water from entering wall.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. Drains, Wastes, and Vents
-------------------------------------	--------------------------	--------------------------	-------------------------------------	-------------------------------------

Comments:

- Type of Drain Piping Material: PVC / Plastic, Cast Iron / Metal, Concrete
- Drains slow. Suggest having plumber to snake drains.
- Could not fully inspect vents on roof.
- A sewer camera main drain inspection was performed. By nature these have some limitations. The inspection is intended to reduce risk but cannot eliminate all risk. Not every inch of the line will be inspected, and even the sections that are inspected may have hidden damages not visible with the camera, or maybe the outside of the pipe. This inspection is intended to provide additional information, but is not exhaustive and does not guarantee or warranty the sewer lines.
- Tree roots were observed with a camera inspection. Tree roots are intrusive, may cause clogs and can grow very rapidly.
- A sewer camera inspection found a significant belly or dip in the pipe. This will hold water and debris and does not fully drain the system. These bellies can cause clogs and excessive pipe deterioration.
- A sewer camera inspection revealed heavily rusted and deteriorated piping materials. Breaks or collapse can be costly repairs and should be repaired or prepared for repair.
- Grease, soap or debris build up noted



Sewer cleanout



Drains slow. Suggest having plumber to snake drains.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Could not fully inspect vents on roof.



Tree roots were observed with a camera inspection. Tree roots are intrusive, may cause clogs and can grow very rapidly. Main Lateral Sewer -Yard to City Connections



Tree roots were observed with a camera inspection. Tree roots are intrusive, may cause clogs and can grow very rapidly. Main Lateral Sewer -Yard to City Connections



A sewer camera inspection found a significant belly or dip in the pipe. This will hold water and debris and does not fully drain the system. These bellies can cause clogs and excessive pipe deterioration. Main Lateral Sewer -Yard to City Connections

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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A sewer camera inspection revealed heavily rusted and deteriorated piping materials. Breaks or collapse can be costly repairs and should be repaired or prepared for repair. Grease, soap or debris build up noted (red arrow). Possible root penetration (orange arrow). Main Lateral Drain- Under House

C. Water Heating Equipment

Energy Source:

- Water heater is gas powered
- Water heater is located in the garage

Capacity:

- Unit is 50 gallons

Comments:

- Estimated MFG year of water heater : 2015
- Temperature and pressure valve does not have proper discharge line. This min. 3/4" cpvc line should exit attic space and discharge within 6" of the ground outside.
- Drip pan missing from under unit. Pan and drain should be installed when house damage can occur from a leaking water heater.
- Water heater should be drained once every year to remove sediment.
- Base should be 18" above garage slab
- Slow leak at drain valve
- Exhaust flue disconnected, carbon monoxide hazard. Needs repair.

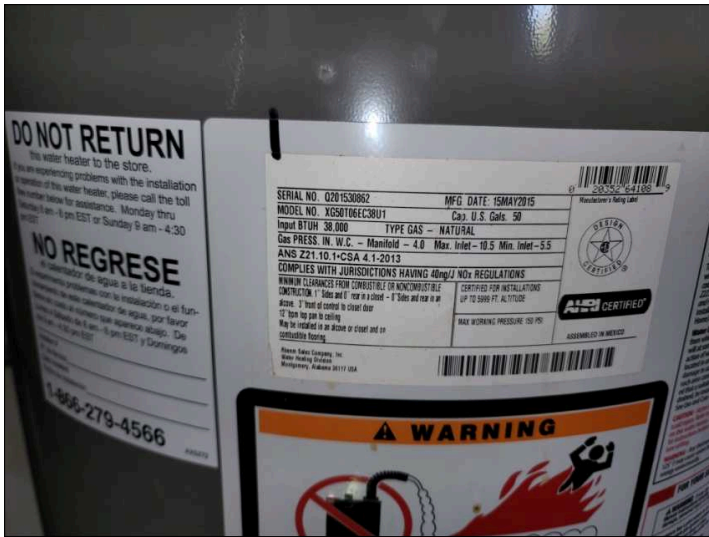
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

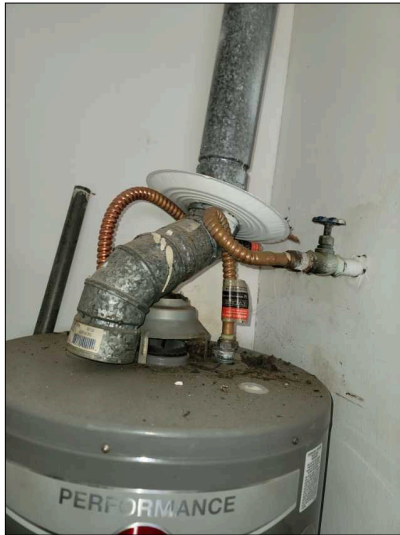
I	NI	NP	D
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Estimated MFG year of water heater : 2015



Base should be 18" above garage slab



Exhaust flue disconnected, carbon monoxide hazard. Needs repair.



Temperature and pressure valve does not have proper discharge line. This min. 3/4" cpvc line should exit attic space and discharge within 6" of the ground outside.

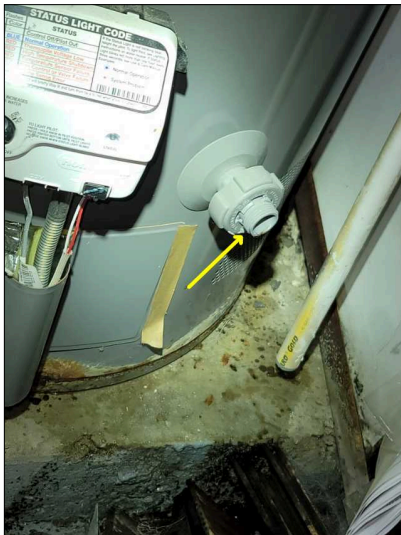
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Slow leak at drain valve



Appears to be abandoned water heater drain line

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	D. Hydro-Massage Therapy Equipment
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Comments:

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. Gas Distribution Systems and Gas Appliances
-------------------------------------	--------------------------	--------------------------	-------------------------------------	--

Location of Gas Meter:

- Rear of structure

Type of Gas Distribution Piping Material:

- Black iron
- Galvanized steel

Comments:

- Sediment trap missing / not correct at fuel fired appliance.



Gas meter and shutoff



Sediment trap missing / not correct at fuel fired appliance.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Sediment trap missing / not correct at fuel fired appliance.

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	F. Other
--------------------------	-------------------------------------	--------------------------	--------------------------	----------

Materials:
Comments:

V. APPLIANCES

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. Dishwashers
-------------------------------------	--------------------------	--------------------------	-------------------------------------	----------------

Comments:

- Operated.
- Drain line should create a trap by moving the flex drain line to the bottom of the counter top and securing.
- Dishwasher not secured in place.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Drain line should create a trap by moving the flex drain line to the bottom of the counter top and securing.



Dishwasher not secured in place.

B. Food Waste Disposers

Comments:

- Operated - appeared functional at time of inspection.
- There is rust present on or inside the disposal unit.



There is rust present on or inside the disposal unit.

C. Range Hood and Exhaust Systems

Comments:

- Operated.
- Flex tubing into attic used. This should be rigid and sealed piping.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Flex tubing into attic used. This should be rigid and sealed piping.

D. Ranges, Cooktops, and Ovens

Comments:

- SAFETY CONCERN: Free standing range missing anti-tip bracket/device. Should be installed.
- All heating elements operated when tested.
- Oven(s) operated when tested.
- Oven: Electric radiant heating coils or infrared halogen.
- Range: electric radiant coil or infrared halogen



SAFETY CONCERN: Free standing range missing anti-tip bracket/device. Should be installed.



All heating elements operated when tested.

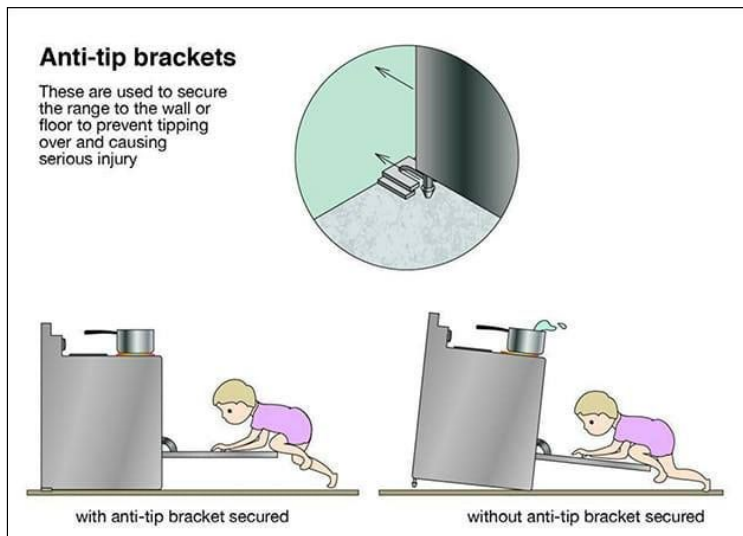
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	E. Microwave Ovens
-------------------------------------	--------------------------	--------------------------	--------------------------	---------------------------

Comments:

- Microwave operated normally
- Unable to determine if microwave is on a dedicated circuit as it should be, because panel is not properly labeled.

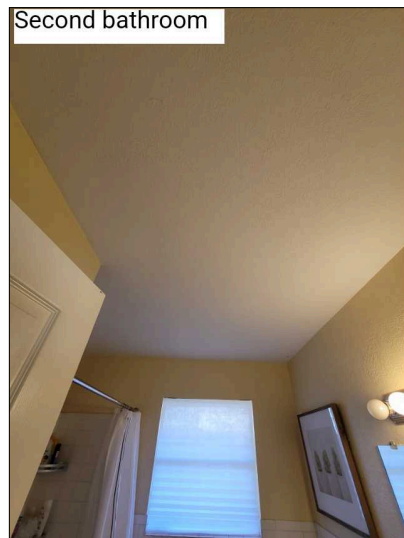
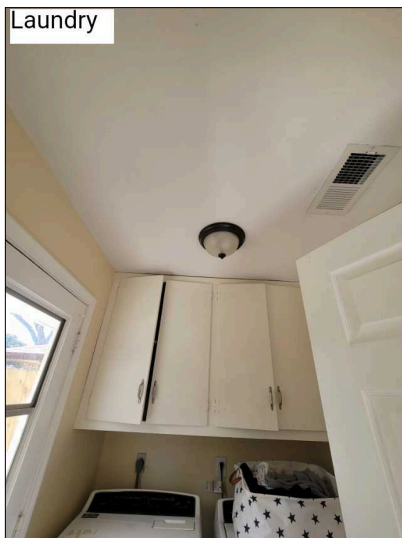
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	F. Mechanical Exhaust Vents and Bathroom Heaters
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Comments:

- Ventilation fans should be located in areas with a toilet and shower/tub. High humidity levels may occur in these locations. Exhausted air should leave the house through the roof and not in the attic space.
- While not required, it is suggested and common building practice to install an exhaust fan in the laundry room to remove excess humidity and heat caused by washing clothes.

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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While not required, it is suggested and common building practice to install an exhaust fan in the laundry room to remove excess humidity and heat caused by washing clothes.

Ventilation fans should be located in areas with a toilet and shower/tub. High humidity levels may occur in these locations. Exhausted air should leave the house through the roof and not in the attic space.



Ventilation fans should be located in areas with a toilet and shower/tub. High humidity levels may occur in these locations. Exhausted air should leave the house through the roof and not in the attic space.

G. Garage Door Operators

Door Type:

- One 16' steel door

Comments:

- Missing safety test instructions on wall next to the operators.
- Opener sensing eyes higher than 6" above floor level.
- Garage door did not want to close. Suggest adjustment to operator.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Missing safety test instructions on wall next to the operators.

Opener sensing eyes higher than 6" above floor level.



Garage door did not want to close. Suggest adjustment to operator.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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H. Dryer Exhaust Systems

Comments:

- Could not fully inspect the dryer vent, due to access.
- The dryer vent is missing the exterior cover.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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The dryer vent is missing the exterior cover.



Could not fully inspect the dryer vent, due to access.

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	I. Other
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Observations:

VI. OPTIONAL SYSTEMS

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	A. Landscape Irrigation (Sprinkler) Systems
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Comments:

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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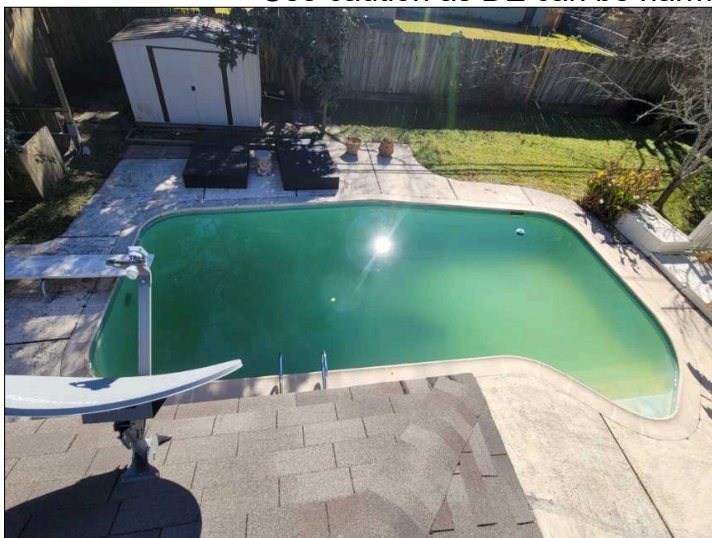
B. Swimming Pools, Spas, Hot Tubs, and Equipment

Type of Construction:

- Pool Volume: 11,000 gallons (estimated)
- In-Ground
- Gunite

Comments:

- Pool missing safety fence or audible alarms on back doors and gates. Highly recommend for the safety of children, both yours or local kids, that may enter pool without your knowing.
- Floor drain covers should be VGBA compliant, unable to read markings to verify...
<https://dshs.texas.gov/poolspa/baker.aspx>
- Floor drain covers should be spaced 3' or more apart to be VGBA compliant...
<https://dshs.texas.gov/poolspa/baker.aspx>
- All PVC piping should be painted with UV protectant paint to prevent sun damage and cracking. Along with proper labeling.
- Filter appears operative
- Water fill unit could not be located. Water fill unit should be present with proper backflow preventer.
- Leaf filters full of debris.
- Missing bonding wire from pump
- Basket cover is cracked
- Pool light switch at service panel. Missing weatherproof cover.
- Floating basket chlorinator noted. No automated disinfectant installed.
- Diving board noted. Pool depth appears shallow for diving. Diving boards can increase the risk of injury or drowning if pool design is improper.
- Pool water cloudy, dirty at time of inspection. Unable to determine condition of plaster, drains, jets, etc.
- Diatomaceous earth (DE) pool filter. Follow MFR instructions when servicing. Use caution as DE can be harmful if inhaled or ingested.



Pool Volume: 11,000 gallons (estimated)



Pool water cloudy, dirty at time of inspection. Unable to determine condition of plaster, drains, jets, etc.

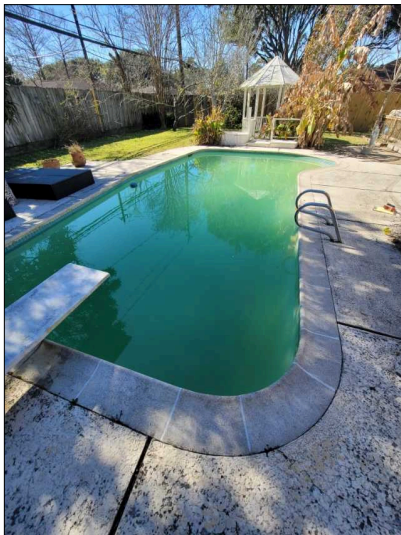
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

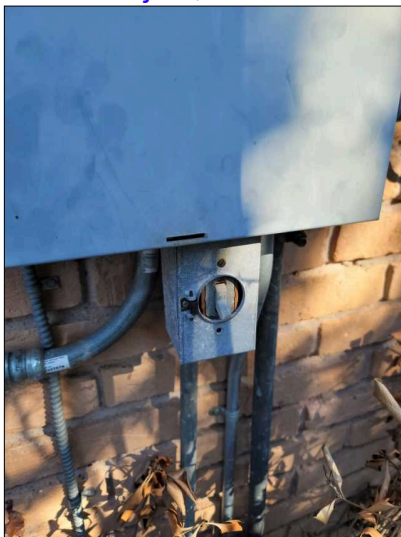
I	NI	NP	D
---	----	----	---



Pool water cloudy, dirty at time of inspection. Unable to determine condition of plaster, drains, jets, etc.



Diving board noted. Pool depth appears shallow for diving. Diving boards can increase the risk of injury or drowning if pool design is improper.



Pool light switch at service panel. Missing weatherproof cover.



Leaf filters full of debris. Basket cover is cracked.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Pool equipment



Mechanical pump timer



Diatomaceous earth (DE) pool filter. Follow MFR instructions when servicing. Use caution as DE can be harmful if inhaled or ingested.



Filter pressure appears normal

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I NI NP D



Reference photo



Missing bonding wire from pump



Floating basket chlorinator noted. No automated disinfectant installed.

C. Outbuildings

Materials:

Comments:

- Outbuilding fully excluded from this inspection.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Outbuilding fully excluded from this inspection.

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	D. Private Water Wells (A coliform analysis is recommended)
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Type of Pump:
 Type of Storage Equipment:
 Comments:

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	E. Private Sewage Disposal Systems
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Type of System:
 Location of Drain Field:
 Comments:

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	F. Other Built-In Appliances
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Comments:

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	G. Other
--------------------------	-------------------------------------	--------------------------	--------------------------	----------

Comments:

Glossary

Term	Definition
AFCI	Arc-fault circuit interrupter: A device intended to provide protection from the effects of arc faults by recognizing characteristics unique to arcing and by functioning to de-energize the circuit when an arc fault is detected.
Cellulose	Cellulose insulation: Ground-up newspaper that is treated with fire-retardant.
GFCI	A special device that is intended for the protection of personnel by de-energizing a circuit, capable of opening the circuit when even a small amount of current is flowing through the grounding system.
PVC	Polyvinyl chloride, which is used in the manufacture of white plastic pipe typically used for water supply lines.

Report Summary

On this page you will find, in **RED**, a brief summary of any **CRITICAL** concerns of the inspection, as they relate to Safety and Function. Examples would be bare electrical wires, or active drain leaks. The complete list of items noted is found throughout the body of the report, including Normal Maintenance items. Be sure to read your entire report!

For your safety and liability, we recommend that you hire only licensed contractors when having any work done. If the living area has been remodeled or part of an addition, we recommend that you verify the permit and certificate of occupancy. This is important because our inspection does not tacitly approve, endorse, or guarantee the integrity of any work that was done without a permit, and latent defects could exist.

Depending upon your needs and those who will be on this property, items listed in the body of the report may also be a concern for you; be sure to read your Inspection Report in its entirety.

Note: If there are no comments in **RED** below, there were no **CRITICAL** system or safety concerns with this property at the time of inspection.

STRUCTURAL SYSTEMS		
Page 8 Item: A	Foundations	<ul style="list-style-type: none"> It is my opinion that the foundation has several deficiencies and should be further evaluated by a reputable foundation contractor or structural engineer. Based primarily on floor slope, several exterior brick cracks, and numerous wall and ceiling drywall cracks.
ELECTRICAL SYSTEMS		
Page 37 Item: A	Service Entrance and Panels	<ul style="list-style-type: none"> The breaker for the AC compressor unit is 40 amps. The maximum rated fuse or breaker on the AC compressor is 30 amps, meaning that the breaker in the panel is too large for the unit. This could be a fire hazard. Recommend further evaluation by a licensed electrician
Page 40 Item: B	Branch Circuits, Connected Devices, and Fixtures	<ul style="list-style-type: none"> Smoke detectors should be located in each bedroom, and in an adjacent hall way with at least 1 on each floor. Smoke detectors not present / or not working. All receptacles near "wet" locations should be GFCI protected. This includes bathrooms, kitchen counter area, outside receptacles, garage and utility areas. Older cloth insulated wiring present. This is an outdated building material and should consider replacement as failed or frayed wire insulation may be a hazard.
HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS		
Page 53 Item: B	Cooling Equipment	<ul style="list-style-type: none"> R-22 refrigerant present. This refrigerant is no longer being used, and may be very difficult to have serviced or parts replaced. Suggest contact with a HVAC contractor to see if unit can be retrofit with R410A or other.
PLUMBING SYSTEM		
Page 62 Item: C	Water Heating Equipment	<ul style="list-style-type: none"> Exhaust flue disconnected, carbon monoxide hazard. Needs repair.