

T-47 RESIDENTIAL REAL PROPERTY AFFIDAVIT
(May be Modified as Appropriate for Commercial Transactions)

Date: April 30, 2021 GF No. 21-01-8307
Name of Affiant(s): Gold Coast Equity, LLC
Address of Affiant: 116 West 10th Street, Houston, TX 77008
Description of Property: 0.0917 acres (3,997 square feet), situated in the J. L. Stanley Survey, Abstract 700, being known as Lot 5, Block 3, Liberty Road Manor, Section 22, Unrecorded Subdivision
County: Harris, Texas
Name of Title Company: Momentum Title, LLC

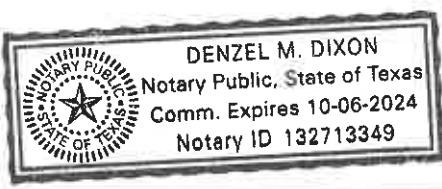
"Title Company" as used herein is the Title Insurance Company whose policy of title insurance is issued in reliance upon the statements contained herein.

Before me, the undersigned notary for the State of Texas, personally appeared Affiant(s) who after by me being duly sworn, stated:

1. We are the owners of the Property. (Or state other basis for knowledge by Affiant(s) of the Property, such as lease, management, neighbor, etc. For example, "Affiant is the manager of the Property for the record title owners.")
2. We are familiar with the property and the improvements located on the Property.
3. We are closing a transaction requiring title insurance and the proposed insured owner or lender has requested area and boundary coverage in the title insurance policy(ies) to be issued in this transaction. We understand that the Title Company may make exceptions to the coverage of the title insurance as Title Company may deem appropriate. We understand that the owner of the property, if the current transaction is a sale, may request a similar amendment to the area and boundary coverage in the Owner's Policy of Title Insurance upon payment of the promulgated premium.
4. To the best of our actual knowledge and belief, since _____, 20____ there have been no:
 - a. construction projects such as new structures, additional buildings, rooms, garages, swimming pools or other permanent improvements or fixtures;
 - b. changes in the location of boundary fences or boundary walls;
 - c. construction projects on immediately adjoining property(ies) which encroach on the Property;
 - d. conveyances, replattings, easement grants and/or easement dedications (such as a utility line) by any party affecting the Property.
5. EXCEPT for the following:
Changes: (if blank then None)
6. We understand that Title Company is relying on the truthfulness of the statements made in this affidavit to provide the area and boundary coverage and upon the evidence of the existing real property survey of the Property. This Affidavit is not made for the benefit of any other parties and this Affidavit does not constitute a warranty or guarantee of the location of improvements.
7. We understand that we have no liability to Title Company or the title insurance company that will issue the policy(ies) should the information in this Affidavit be incorrect other than information that we personally know to be incorrect and which we do not disclose to the Title Company.

Gold Coast Equity, LLC, a Texas Limited Liability Company
By: *K. Barnes*
Kevin Barnes, Member

SWORN AND SUBSCRIBED this 30 day of April, 2021



Denzel M. Dixon
Notary Public

Momentum Title

TITLE COMPANY:



G.F. # 52-02076

ISSUE DATE: DECEMBER 31, 2018

J. L. STANLEY SURVEY ABSTRACT 700

The undersigned have received and reviewed this survey and accept all matters appearing hereon.

By: *F. Barnes*

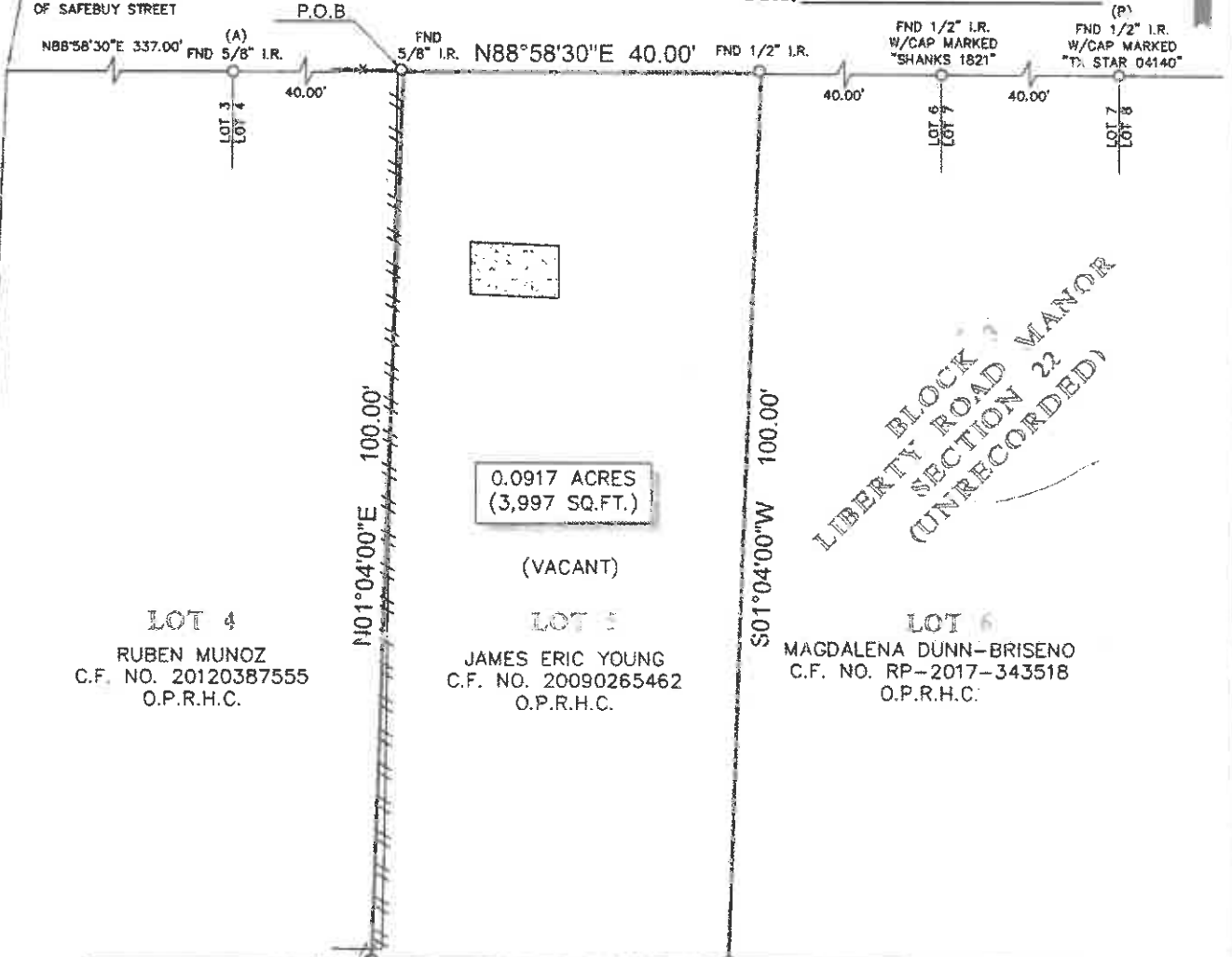
Date: 4/30/21

SCALE 1" = 20'

REFERENCE POINT INTERSECTION OF THE E. R.O.W. LINE OF WAYSIDE DRIVE AND THE S. R.O.W. LINE OF SAFEBUY STREET

SAFEBUY STREET (50' R.O.W.)

NORTH WAYSIDE DRIVE (100' R.O.W.)



0.0917 ACRES (3,997 SQ.FT.)

(VACANT)

BLOCK 3 LIBERTY ROAD MANOR SECTION 22 (UNRECORDED)

LOT 4 RUBEN MUNOZ C.F. NO. 20120387555 O.P.R.H.C.

LOT 5 JAMES ERIC YOUNG C.F. NO. 20090265462 O.P.R.H.C.

LOT 6 MAGDALENA DUNN-BRISENO C.F. NO. RP-2017-343518 O.P.R.H.C.

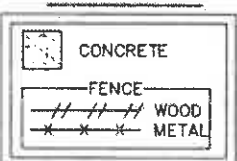
LOT 25 MICHAEL W. GOODEN REGINALD GOODEN ESTATE OF C.F. NO. RP-2017-121585 O.P.R.H.C.

LOT 26 GADI ISAI CABANAS C.F. NO. 20150314120 O.P.R.H.C.

LOT 27 HERMELINDA DELGADO C.F. NO. RP-2016-141831 O.P.R.H.C.

North West Houston 7938 Safebuy St. Get the east Subd

LEGEND



NOTES:

- 1. ALL BEARINGS SHOWN HEREON ARE REFERENCED TO A PRIOR DEED CONVEYED UNTO MARCO A. RAMIREZ JR. RECORDED IN COUNTY CLERK'S FILE NO. RP-2018-403147 OF THE OFFICIAL PUBLIC RECORDS OF HARRIS COUNTY, TEXAS. POINTS (A) AND (B) WERE HELD FOR HORIZONTAL CONTROL.
2. ABSTRACT INFORMATION FOR THE SUBJECT TRACT WAS PROVIDED BY THE TITLE INSURANCE COMPANY LISTED ABOVE.
3. THIS SURVEY IS CERTIFIED TO THE TITLE INSURANCE COMPANY LISTED ABOVE FOR THIS TRANSACTION ONLY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
4. ALL EASEMENTS AND BUILDING LINES SHOWN ARE PER THE RECORDED PLAT UNLESS OTHERWISE NOTED.
5. THERE ARE NO NATURAL DRAINAGE COURSES ON SUBJECT PROPERTY.

LEGAL DESCRIPTION: A TRACT OF LAND CONTAINING 0.0917 ACRES (3,997 SQUARE FEET) SITUATED IN THE J. L. STANLEY SURVEY, ABSTRACT 700, HARRIS COUNTY, TEXAS, BEING KNOWN AS LOT 5, BLOCK 3, LIBERTY ROAD MANOR, SECTION 22, AN UNRECORDED SUBDIVISION IN HARRIS COUNTY, TEXAS. SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS ATTACHED.



SURVEYORS CERTIFICATE: IN MY PROFESSIONAL OPINION, THIS PLAT REPRESENTS THE FACTS FOUND ON THE GROUND DURING THE COURSE OF A BOUNDARY SURVEY CONDUCTED UNDER MY SUPERVISION ON JANUARY 22, 2019 AND THAT THIS PLAT SUBSTANTIALLY COMPLIES WITH THE CURRENT STANDARDS AS ADOPTED BY THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING; AND THAT THERE ARE NO ENCUMBRANCES OR PROTRUSIONS EXCEPT AS SHOWN.

CLIENT: 1014 BALL REALTY, LLC
ADDRESS: 7938 SAFEBUY STREET
www.survey1inc.com
survey1@survey1inc.com
FIELD CREW: JO SF
TECH: SF
DRAFTER: LT
FINAL CHECK: EF
DATE: 1-22-19
JOB#: 1-69722-19

**DESCRIPTION OF A TRACT OF LAND CONTAINING
0.0917 ACRES (3,997 SQUARE FEET) SITUATED
IN THE J. L. STANLEY SURVEY, ABSTRACT 700
HARRIS COUNTY, TEXAS**

Being a tract of land containing 0.0917 acres (3,997 square feet), situated in the J. L. Stanley Survey, Abstract 700, Harris County, Texas, being known as Lot 5, Block 3, Liberty Road Manor, Section 22, an unrecorded subdivision in Harris County, Texas, being all of a tract of land conveyed unto James Eric Young by deed recorded under County Clerk's File No. 20090265462 of the Official Public Records of Harris County, Texas. Said 0.0917-acre tract being more particularly described by metes and bounds as follows:

COMMENCING FOR REFERENCE at the intersection of the east right-of-way line of North Wayside Drive (100.00 feet wide) and the south right-of-way line of Safebuy Street (50.00 feet wide);

THENCE North $88^{\circ}58'30''$ East, along the south right-of-way line of said Safebuy Street, a distance of 377.00 feet to a found 5/8-inch iron rod for the POINT OF BEGINNING and the northwest corner of the said tract herein described;

THENCE continuing North $88^{\circ}58'30''$ East, along the south right-of-way line of said Safebuy Street, a distance of 40.00 feet to a found 1/2-inch iron rod for the northeast corner of the said tract herein described;

THENCE South $01^{\circ}04'00''$ West, a distance of 100.00 feet to a found 1/2-inch iron rod for the southeast corner of the said tract herein described;

THENCE South $88^{\circ}58'30''$ West, a distance of 40.00 feet to a set 1/2-inch iron rod with cap marked "SURVEY 1" for the southwest corner of the said tract herein described;

THENCE North $01^{\circ}04'00''$ East, a distance of 100.00 feet to the POINT OF BEGINNING and containing 0.0917 acres (3,997 square feet), more or less.

Note: This metes and bounds description is referenced to a survey drawing prepared by Survey 1, Inc. (Firm Registration No. 100758-00) dated January 22, 2019, job number 1-69722-19.



A handwritten signature in black ink, appearing to read "R. Fussell", written over a light blue horizontal line.

